

Abbreviations

(E)	Existing	F.A.	Fire Alarm	P.H.	Panic Hardware
(N)	New	F.D.	Floor Drain	P.LAM.	Plastic Laminate
(R)	Remove	F.E.	Fire Extinguisher	P.T.D.	Paper Towel Disp.
A.B.	Anchor Bolt	F.E.C.	Fire Extinguisher Cab	PL.	Plate
A.C.	Asphalt Concrete	F.H.	Fire Hydrant	PLAS.	Plaster
ADJ.	Adjustable	F.H.C.	Fire Hose Cabinet	P.LWD.	Plywood
ALUM.	Aluminum	F.P.	Fireproof	PR.	Pair
ANCH.	Anchor	FDN.	Foundation	PTDF	Pressure Treated Douglas Fir
APPROX.	Approximately	FIN.	Finish	R.D.	Roof Drain
ARCH.	Architectural	F.O.C.	Face Of Conc	R.O.	Rough Opening
ASPH.	Asphalt	F.O.F.	Face Of Finish	R.W.L.	Rain Water Leader
B.U.	Built-Up	F.O.S.	Face Of Stud	REF.	Refer To:
BD.	Board	FRMG.	Framing	REINF.	Reinforced
BITUM.	Bituminous	FTG.	Footing	REQD.	Required
BLDG.	Building	FUT.	Future	RESIL.	Resilient
BLK.	Block	G.B.	Grab Bar	RM.	Room
BLKG.	Blocking	G.I.	Galvanized Iron	RWD.	Redwood
BM.	Beam	GA.	Gauge	S.B.	Solid Blocking
BOT.	Bottom	GALV.	Galvanized	S.C.	Solid Core
C.	Conduit	GL.	Glass	S.C.D.	Seat Cover Disp.
C. BD.	Chalk Board	GR.	Grade	S.D.	Soap Dispenser
C.B.	Catch Basin	H.B.	Hose Bib	S.N.D.	Sanitary Napkin Dispenser
C.I.	Cast Iron	H.C.	Hollow Core	S.O.V.	Shut Off Valve
C.J.	Construction Joint	H.M.	Hollow Metal	S.S.	Sewer System
C.O.T.G.	Clean Out To Grade	HR.	Hour	SCH.	Schedule
CAB.	Cabinet	HT.	Height	SEC.	Section
CEM.	Cement	I.D.	Inside Diameter	SHT.	Sheet
CLG.	Ceiling	I.D.F.	Intermed. Dist. Frame	SHTHG.	Sheathing
CLO.	Closet	I.E.	Invert Elevation	SPEC.	Specification
CLR.	Clear	INSUL.	Insulation	SPL.	Splash
COL.	Column	INT.	Interior	STA.	Station
COMP.	Composition	INV.	Invert	STD.	Standard
CONC.	Concrete	J.H.	Joist Hanger	STRUC.	Structural
CONST.	Construction	JAN.	Janitor	SUSP.	Suspended
CONT.	Continuous	JT.	Joint	T.B.	Tack Board
CORR.	Corridor	LAB.	Laboratory	T.O.C.	Top Of Concrete
CTR.	Center	LAM.	Laminate	T.O.P.	Top Of Pavement
CTSK.	Countersink	LAV.	Lavatory	T.O.S.	Top Of Sidewalk
CW.	Cold Water	LT.	Light	T.O.W.	Top Of Wall
D.F.	Drinking Fountain	MAX.	Maximum	T.P.D.	Toilet Paper Disp.
D.S.	Downspout	M.B.	Marker Board	U.O.N.	Unless Otherwise Noted
D.S.P.	Dry Standpipe	M.D.F.	Main Dist. Frame	UR.	Urinal
DBL.	Double	MEMB.	Membrane	V.C.T.	Vinyl Comp. Tile
DEPT.	Department	MFR.	Manufacturer	V.C.TB.	Vinyl Covered Tackboard
DET.	Detail	M.H.	Manhole	VEST.	Vestibule
DIA.	Diameter	MIN.	Minimum	W	Waste
DIM.	Dimension	MIR.	Mirror	W.B.	White Board
DISP.	Dispenser	M.O.	Masonry Opening	W.C.	Water Closet
DN.	Down	MTD.	Mounted	W.	With
DWG.	Drawing	MTL.	Metal	W/O	Without
E.F.	Exhaust Fan	MUL.	Mullion	WD.	Wood
E.J.	Expansion Joint	N	North	W.M.	Water Meter
E.P.	Electrical Panel	N.I.C.	Not In Contract	WP.	Waterproof
EA.	Each	NOM.	Nominal	WT.	Weight
ELEC.	Electrical	N.T.S.	Not To Scale		
ELEV.	Elevation	O.C.	On Center		
E.M.	Electrical Meter	O.D.	Overflow Drain		
ENCL.	Enclosure	O.H.	Overhang		
EQ.	Equal	OPG.	Opening		
EQUIP.	Equipment	OPP.	Opposite		
EWC.	Electric Water Cooler				

Project Directory

Owner

Serhiy Kybych
Dmitry Kovalyov
3934 Rley Anton Way
Rancho Cordova, CA 95742
Voice: (916) 214-5461
sserhiyk@hotmail.com

Architect

s2g Architecture
Stuart Grunow, Architect
413 Main Street Ste G
Half Moon Bay, California 94019
Voice: (415) 595-0306
sg@s2garch.com

Civil

Sigma Prime
Charles Kissick
332 Princeton Ave.
Half Moon Bay, California 94019
Voice: (650) 728-3590
sigmaprm@gmail.com



Residence

0 Medio Ave Miramar, California 94019



Construction Hours

No person shall erect (including excavation and grading), demolish, alter, or repair any building or structure other than between the following hours except in the case of urgent necessity in the interest of public health and safety, and then only with prior written approval from the Building Official, which approval shall be granted for a period not to exceed three days. Holidays are the first day of January, the third Monday of January, the third Monday of February, the last Monday of May, the fourth day of July, the first Monday of September, the second Monday of October, the eleventh day of November, the fourth Thursday in November and the twenty-fifth day of December. If the first day of January, the fourth day of July, the eleventh day of November, or the twenty-fifth day of December falls upon a Sunday, the following Monday is a holiday.

Construction hours per

Monday through Friday: 7AM to 7PM
Saturdays: 9AM to 6PM
Sundays and Holidays: 10AM to 6PM

Applicable Codes

2019 California Building Code
2019 California Mechanical Code
2019 California Plumbing Code
2019 California Fire Code
2019 California Electrical Code
2019 California Energy Code
2019 California Green Building Standards

Legend

	Grid Number
	Door Number
	Keynote
	Detail
	Sheet Number
	Section
	Sheet Number
	Interior Elevation
	Sheet Number
	Elevation Indicator
	(E) Wall to remain
	(N) Full Height Wall
	(N) Part Height Wall
	Object to be Demolished
	Line of object above
	Fence Line
	Centerline

General Notes

These Drawings and their content are and shall remain the property of Stuart Grunow Architecture (s2g) whether the project for which they were prepared is executed or not. They are not to be used by any person other than the Owner or for any other project or extension to this project except by agreement in writing with the Architect.

The Architect expressly reserves his common law copyright and other property rights relating to these Drawings and their content. These Drawings are not to be reproduced, altered or otherwise modified in any manner whatsoever except by the Architect. These Drawings and their content may not be assigned to a third party without written consent of the Architect. In the event of unauthorized use of these Drawings by a third party, the third party shall hold harmless and indemnify the Architect.

These Drawings are an instrument of services performed by the Architect for the benefit of the Owner. They are intended for use in a negotiated construction contract and, therefore, may not detail or specify all materials, manufacturers or assemblies. Details, assemblies and products commonly known to be industry standard for any given trade may not be fully detailed or specified. Where necessary, the Contractor shall provide samples, data, product literature as required to assist the Owner or the Owner's agent in making selections. For the purpose of estimating items not fully detailed the Contractor shall provide an allowance amount and so condition such estimates. The Owner and/or Contractor shall submit to the Architect, in writing, any requests for modifications to the plans or specifications by means of shop drawings, samples or other means as appropriate. Shop drawings that are submitted to the Architect for review do not constitute "in writing" unless it is brought to the attention of the Architect that specific changes are being suggested.

No guarantee of quality of construction is implied or intended by these Documents. The Contractor shall assume full responsibility for any construction deficiencies.

The Owner and Contractor shall hold harmless, indemnify and defend the Architect from any action initiated by the initial Owner, or any subsequent owner, for construction deficiencies, modifications, substitutions, maintenance or any such condition which is beyond the control of the Architect.

All Contract Documents described in the Construction Contract shall be considered one document and are intended to be used as one document. Contractor and all sub-contractors shall review all documents prior to bidding. Sub-contractors are responsible for any information pertaining to their work no matter where it may occur in these Documents.

It is the intent of these Documents to provide for the construction of a moisture proof enclosure of interior space. If the Owner, Contractor or any Sub-contractors become aware of any assembly or condition, either shown in the Drawings or constructed on-site, which does not, in their opinion, satisfy this intent, it is their responsibility to notify the Architect within a reasonable amount of time so that the condition or assembly can be reviewed, and, if necessary, modifications can be made to the Documents or to the Work without impacting the progress of the Work.

All information pertaining to the site shall be, and shall remain, the Owner's responsibility. This information shall include legal description, deed restrictions, easements, site survey, topographic survey, location of existing improvements, soils report, and all related data.

Code Compliance
All applicable state and local codes, ordinances, legislation, as adopted by the County of San Mateo at time of permit application.

It is the Contractor's responsibility to identify and familiarize himself with current codes and ordinances including local variations on national or regional codes. Requirements of adopted codes shall supersede any conflicting requirements defined in these Documents. When a conflict is suspected the Contractor shall so advise the Architect in writing within a reasonable time so that the conflict, if it exists, can be resolved without impacting the progress of the Work.

The Contractor shall include and implement all pertinent requirements of this project as set forth in any conditions of approval attached to the project by governing agencies. These conditions shall become a part of the Contract Documents.

Site Examination

The Contractor shall thoroughly examine the site and satisfy himself as to the conditions under which the Work is to be performed. The Contractor shall verify at the site all measurements and conditions affecting his work and shall be responsible for same unless brought to the attention of the Owner or his agent prior to proceeding with the Work.

Dimension Control

It is the responsibility of the Contractor to check and verify all conditions, dimensions, lines and levels alignments indicated; proper fit and attachment of all parts is required. Should there be any differences between the Documents and the actual conditions, the Contractor shall notify the Owner or his agent in writing for clarification and/or adjustment. In the event of failure to do so, the Contractor shall be responsible for corrections required or subsequent changes occurring as a result of these differences.

Note to Subcontractors: Location of many items or assemblies is critical for alignment of other assemblies which may be installed by other trades and which may not be installed at the time of installation of your work. All Sub-contractors shall review the manner in which their work fits, aligns or comes into contact with work of other trades. The Contractor and each Sub-contractor shall review all Documents and will be responsible for information contained at any location within the Documents which pertains to their work. Deficiencies resulting from failure to do so will be removed and corrected at Contractors expense.

All dimensions and conditions shall be checked and verified, both in the Documents and on the job, by each Sub-contractor before they proceed with their work. Any errors, omissions, discrepancies or deficiencies shall be brought to the attention of the General Contractor prior to proceeding with the Work. The Contractor shall notify the Owner in writing for resolution.

Commencement of work by any Sub-contractor shall indicate a knowledge and acceptance of all conditions described in the Documents or existing on site which could affect their work.

All dimensions take precedent over scale. Where dimensions are not entirely clear the Contractor shall notify the Architect and request clarification.

DRAWINGS SHALL NOT BE SCALED.

Moisture Protection During Construction
Should any special situations or climatic conditions occur during construction the Owner, Contractor and Sub-contractors shall so notice and implement any measures required to assure the protection of materials and assemblies.

The Contractor shall take all necessary measures to protect new or existing construction and materials from damage due to weather or any other adverse conditions.

Any hidden conditions that require work to be performed beyond the scope of the building permit issued for these plans may require further city approvals including review by the Planning Commission.

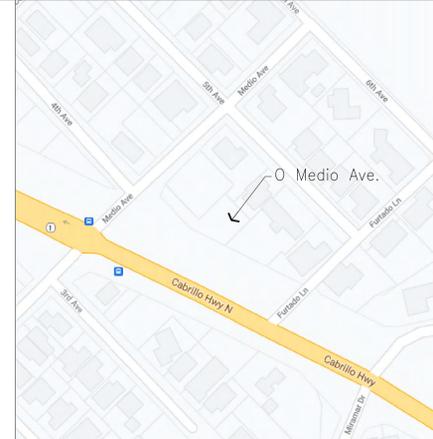
Sheet Index

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Project Scope

New house on vacant lot

Vicinity Map



New House on Vacant Lot

Medio Residence

APN: 048-044-200

Miramar, CA

94019

28 July 2021 Planning Submittal

15 Dec 2021 Planning Re-Submittal

07 Feb 2022 Planning Re-Submittal

Project Data, Vicinity Map
General Notes, Index

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New House on Vacant Lot

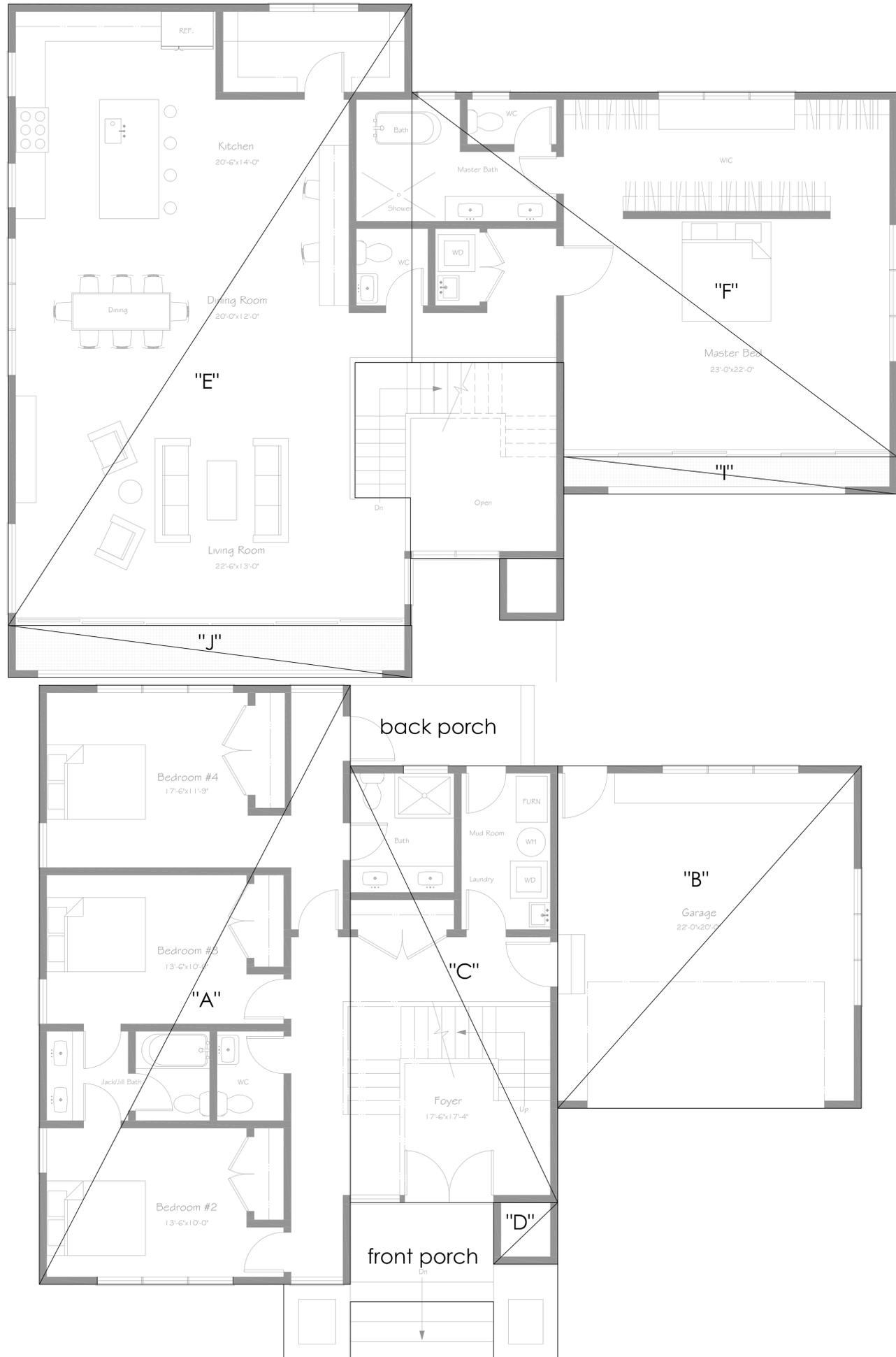
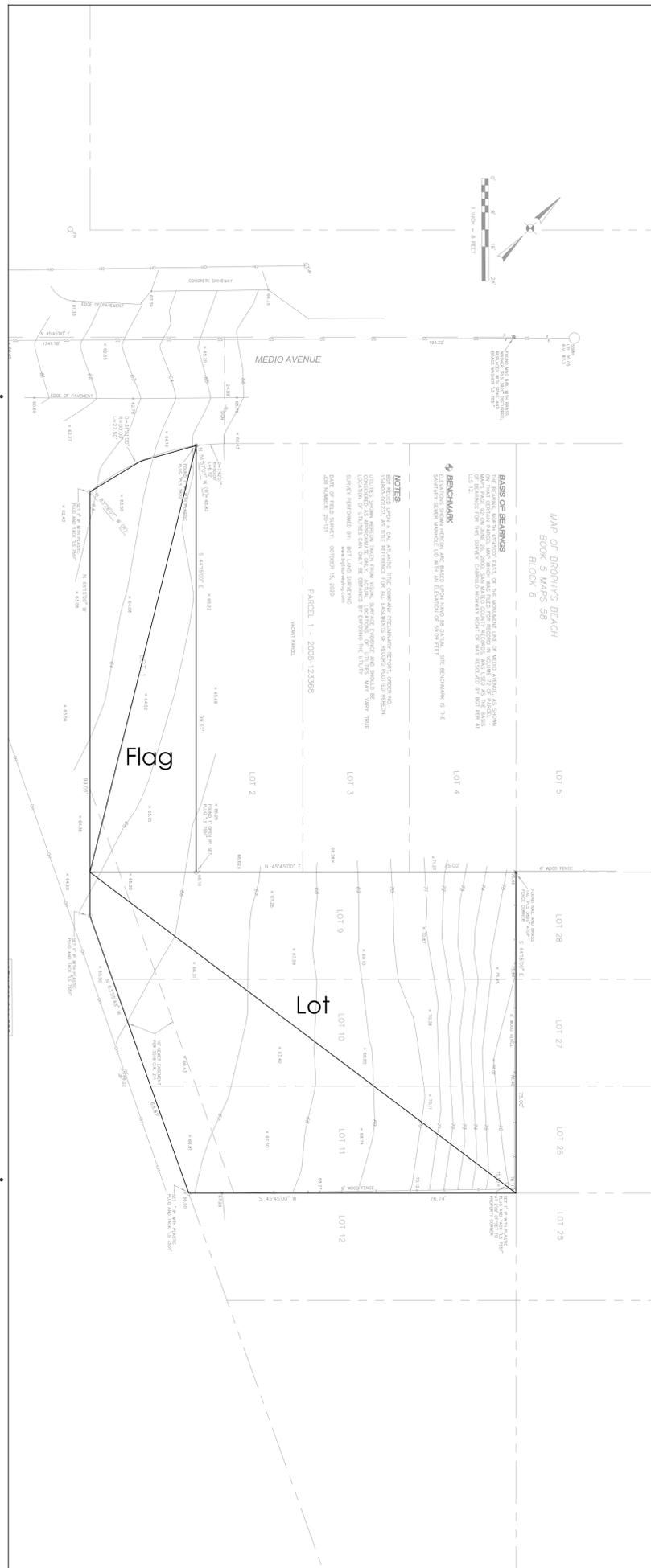
Medio Residence

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Renderings

A0.0



Project Data

APN: 048-044-200
 Zoning: S-94
 Height: 23'-6"
 Occupancy: Residential
 Building Code: 2019 CBC
 Stories: 2
 Construction Type: VB

Description	Area	Remarks
Lot Area:	9125 sf	
Lot Area w/o flag	6748 sf	
Flag	2377 sf	

Area:

Floor	Room	Area	
1st Floor	A	845 sf	
	B - Garage	471 sf	
	C	410 sf	
	D	17 sf	
Total		1743 sf	
2nd Floor	E	1102 sf	
	F	737 sf	
	I	56 sf	
	J	95 sf	
	Total		1990 sf
	Grand Total		3733 sf
Ggarage		-200 sf	
Total		3533 sf	

Ratio	Value	Requirement
Floor Area Ratio	3533 sf	38%/52% (53% allowed)
Lot Coverage	2179 sf	< 18"
Back Porch	0 sf	
Front Porch	114 sf	
Total	2293 sf	23%/32% (>16" 35%)



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Project Data

FIRE JURISDICTION:

BELMONT FIRE
 COASTSIDE FIRE
 SM COUNTY FIRE
 WOODSIDE FIRE

San Mateo County Building Dept.
2019 CRC -R327 Development Worksheet
Materials and Construction Methods for
Exterior Wildfire Exposure

Project is located in State Responsibility Area (SRA): Yes No
 If in SRA, is project in a Very High Fire Hazard Severity Zone (VHFHSZ): Yes No

Project is located in Local Responsibility Area (LRA): Yes No
 If in LRA, is project in a Very High Fire Hazard Severity Zone (VHFHSZ): Yes No

Applicable Code Section(s)	OK	N/A	Approved Material (if applicable)	Location On Plans
Roofing				
Class B minimum (SM Co Div VII, Sec 9113; 2013 CRC R902.1.2)		X		
Class A in VHFHSZ (2013 CRC R902.1.1)	X		IB roof systems	A2.3
Where roof profile allows for a space between the roof covering and deck, the spaces shall be constructed to prevent the intrusion of flames and embers, fire stopped or have one layer of No. 72 ASTM D 3909 cap sheet over the combustible decking. (R327.5.2)		X		
Valley flashings min. 0.019-inch (No 26 galv.) corrosion resistant metal over 36 inch wide underlayment of No. 72 lb mineral-surfaced nonperforated ASTM D 3909 cap sheet. (R327.5.3)		X		
Roof gutters shall be provided with the means to prevent the accumulation of debris. (R327.5.4)	X		IB roof systems	A2.3

1

Applicable Code Section(s)	OK	N/A	Approved Material (if applicable)	Location On Plans
Vents				
Ventilation openings for attics, enclosed eave soffits, enclosed rafter spaces and underfloor areas shall be non-combustible, corrosion resistant, and have wire mesh with 1/16" to 1/8" inch (1.6-3.2 mm) openings or its equivalent. (R327.6.2)	X		Crawlspace vents	A4.1/2
Eave Vents				
Vents shall not be installed in eaves and cornices. Exceptions: 1. Approved flame and ember resistant vents. 2.1 Attic is fully protected by an automatic fire sprinkler system, and 2.2 Exterior wall and underside of eave is non-combustible, and is more than 12 ft from ground, patio, porch, deck or similar surface. (R327.6.3)	X		Rafters solid closed cell foam	A2.3
Exterior Coverings				
Exterior walls shall comply with one of the following (R327.7.3): 1. Noncombustible material 2. Ignition-resistant material 3. One layer of 5/8" type X gypsum sheathing behind exterior covering. 4. 1-hour fire resistant exterior assembly. 5. Heavy-timber exterior wall assembly 6. Log wall construction. 7. Wall assemblies meeting SFM 12-7A-1	X		One layer of 5/8" typX behind exterior covering	A2.1/2
Open Roof Eaves: The exposed roof deck on the underside of the roof eave shall comply with one of 1 through 4 as for exterior walls above (R327.7.4). Ex: 1. 2" nominal solid wood rafter tails. 2. 2" nominal solid wood blocking between rafter tails. 3. Fascia and other architectural trim boards.		X		

2

Applicable Code Section(s)	OK	N/A	Approved Material (if applicable)	Location On Plans
Exterior Coverings (continued)				
The exposed underside of enclosed roof eaves and roof eave soffits shall be protected by one of the 1 through 4 items as for exterior walls or have boxed in soffits meeting SFM 7A-3 (R327.7.5). Ex: Fascia and other architectural trim boards.		X		
Exterior porch ceilings shall be protected by one of the 1 through 4 items as for exterior walls or have porch ceiling assemblies meeting SFM 7A-3 (R327.7.6). Ex: Architectural trim boards.	X		Note	A2.1/2
Exposed underside of floor projections shall be protected by one of the 1 through 4 items as for exterior walls or have an underside assembly meeting SFM 7A-3 (R327.7.7). Ex: Architectural trim boards.	X		Note	A2.1/2
The underfloor area of overhangs, or elevated buildings; and underside of appendages shall be enclosed to grade or the underside shall be protected by one of the 1 through 4 items as for exterior walls or have an assembly meeting SFM 7A-3 (R327.7.8 & R327.7.9). Ex: Heavy-timber structural columns and beams do not require protection.	X		Note	A2.1/2
Exterior Glazing				
Exterior windows, glazed doors, glazed openings within exterior doors and structural glass veneer shall be constructed of one of the following: Note - Provide on window schedule and call out on floor plan. (R327.8.2) 1. Multipane glass units with a minimum of one tempered pane meeting Section 2406 Safety Glazing. 2. Glass block units. 3. 20 minute minimum Fire Rated Window. 4. Meet SFM 12-7A-2.	X		Note: 20 min. fire rating	A2.1/2

3

Applicable Code Section(s)	OK	N/A	Approved Material (if applicable)	Location On Plans
Doors				
Exterior door assemblies, including garage doors, shall comply with one of the following (R327.8.3): 1. Surface or cladding be of non-combustible, or ignition-resistant material. 2. Constructed of solid core wood having stiles and rails not less than 1-3/8" with interior field panel thickness no less than 1-1/4" thick. 3. Have a fire resistance rating of not less than 20 minutes. 4. Meet SFM 12-7A-1	X		Note: 20 min. fire rating	A2.1/2
Decking				
The walking surface material of decks, porches, balconies and stairs shall be constructed of one of the following where any portion of such surface is within 10 ft. of the structure (R327.9.3): 1. Ignition-resistant materials that complies with SFM 12-7A-4 and 12-7A-5. 2. Exterior fire-retardant-treated wood. 3. Noncombustible material. 4. Material complying with SFM 12-7A-4A when attached to a noncombustible or ignition resistant wall covering. Ex: When decking surface material meets ASTM E 84, Class B flame spread, the wall material can of any that other wise complies with R327.7.3.	X		Note: Exterior fire retardant treated wood	A2.2
Accessory Structure				
Trellises, arbors, patio covers, carports, gazebos and similar structures attached to applicable buildings and detached buildings within 50 ft shall be constructed of noncombustible or ignition resistant material. (R327.10)		X		

Office of the State Fire Marshal - Building Materials Listing: http://osfm.fire.ca.gov/licensing/listings/licenselistings.html_searchtest.php
 810-Decking Materials, 8120-Exterior Windows, 8140-Exterior Siding & Sheathings, 8150-Exterior Doors, 8160-Under Eave

4



New House on Vacant Lot

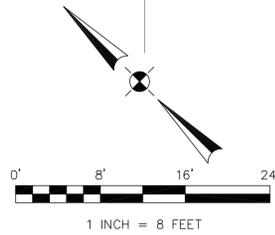
Medio Residence

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WUI Checklist

A0.2



MAP OF BROPHY'S BEACH
BOOK 5 MAPS 58
BLOCK 6

BASIS OF BEARINGS

THE BEARING, NORTH 45°45'00" EAST, OF THE MONUMENT LINE OF MEDIO AVENUE, AS SHOWN ON THAT CERTAIN PARCEL MAP WHICH WAS FILED FOR RECORD IN VOLUME 72 OF PARCEL MAPS PAGE 92 ON JUNE 26, 2000, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY. CABRILLO HIGHWAY RIGHT OF WAY RESOLVED BY BGT PER 41 LLS 12.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM. SITE BENCHMARK IS THE SANITARY SEWER MANHOLE LID WITH AN ELEVATION OF 59.09 FEET.

NOTES:

BGT RELIED UPON A CAL ATLANTIC TITLE COMPANY PRELIMINARY REPORT, ORDER NO. 154803-001231, AS TITLE REFERENCE FOR ALL EASEMENTS OF RECORD PLOTTED HEREON.

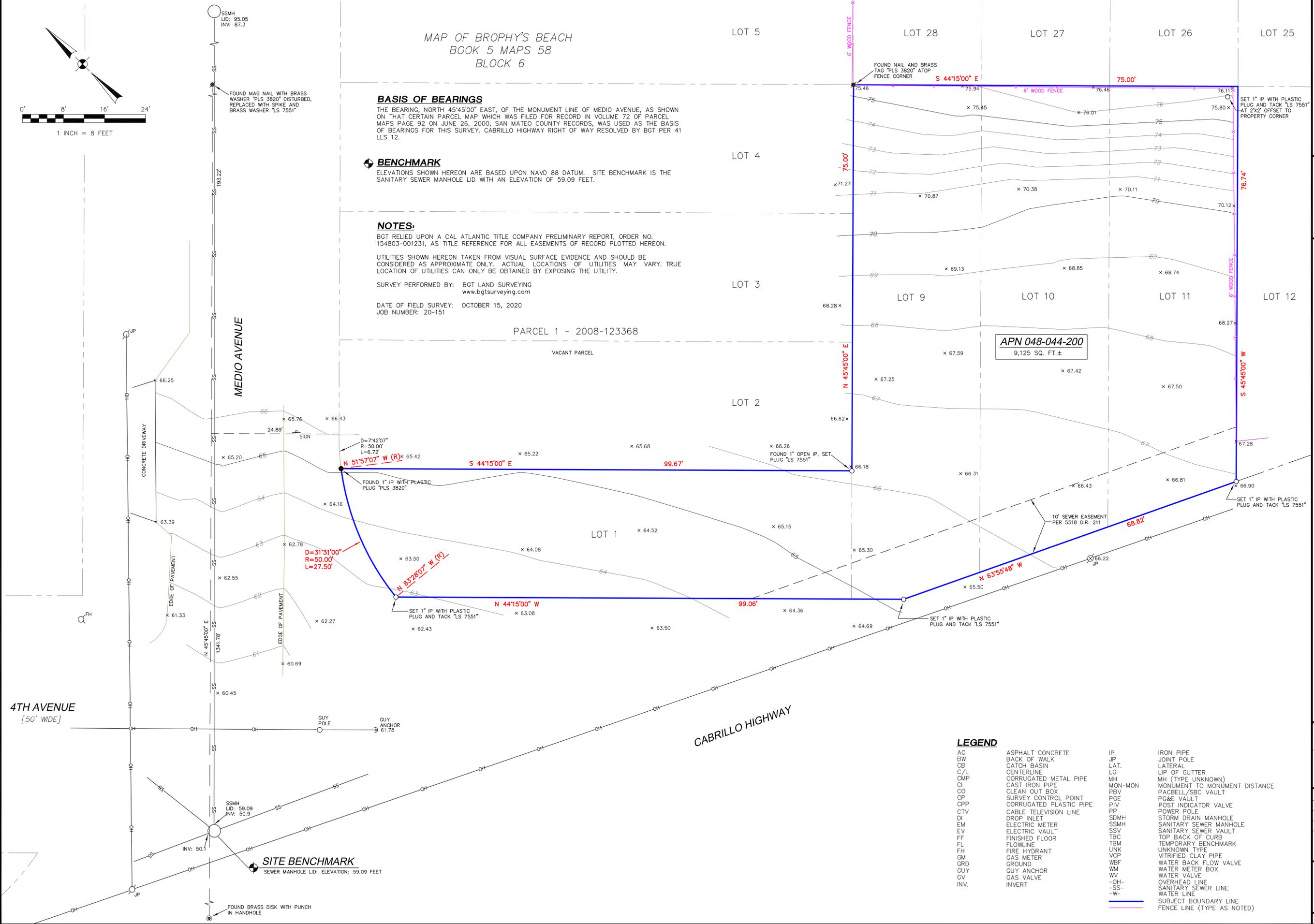
UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtlandsurveying.com

DATE OF FIELD SURVEY: OCTOBER 15, 2020
JOB NUMBER: 20-151

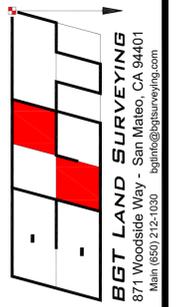
PARCEL 1 - 2008-123368

APN 048-044-200
9,125 SQ. FT.±



LEGEND

AC	ASPHALT CONCRETE	IP	IRON PIPE
BW	BACK OF WALK	JP	JOINT POLE
CB	CATCH BASIN	LAT.	LATERAL
C/L	CENTERLINE	LG	LIP OF GUTTER
CMP	CORRUGATED METAL PIPE	MH	MH (TYPE UNKNOWN)
CI	CAST IRON PIPE	MON-MON	MONUMENT TO MONUMENT DISTANCE
CO	CLEAN OUT BOX	PBV	PACBELL/SBC VAULT
CP	SURVEY CONTROL POINT	PGE	PG&E VAULT
CPP	CORRUGATED PLASTIC PIPE	PIV	POST INDICATOR VALVE
CTV	CABLE TELEVISION LINE	PP	POWER POLE
DI	DROP INLET	SDMH	STORM DRAIN MANHOLE
EM	ELECTRIC METER	SSMH	SANITARY SEWER MANHOLE
EV	ELECTRIC VAULT	SSV	SANITARY SEWER VAULT
FF	FINISHED FLOOR	TBC	TOP BACK OF CURB
FL	FLOWLINE	TBM	TEMPORARY BENCHMARK
FH	FIRE HYDRANT	UNK	UNKNOWN TYPE
GM	GAS METER	VCP	VITRIFIED CLAY PIPE
GRD	GROUND	WBF	WATER BACK FLOW VALVE
GUY	GUY ANCHOR	WM	WATER METER BOX
GV	GAS VALVE	WV	WATER VALVE
INV.	INVERT	-OH-	OVERHEAD LINE
		-SS-	SANITARY SEWER LINE
		-W-	WATER LINE
			SUBJECT BOUNDARY LINE
			FENCE LINE (TYPE AS NOTED)



BOUNDARY AND TOPOGRAPHIC SURVEY
PARCEL 2 - LOT LINE ADJUSTMENT PER DOC. 2008-123368
VACANT, MEDIO AVENUE
UNINCORPORATED (MIRAMAR), COUNTY OF SAN MATEO, CALIFORNIA

Assessor Parcel Number:
048-044-200

Prepared For:
SERHIY KYBYCH
P.O. BOX 1463
EL GRANADA, CA 94018

Date: OCTOBER 2020

Scale: 1" = 8'

Contour Interval: 1'

Drawn by: LHL

Revisions:

SU-1

Job No. 20-151



SAN MATEO COUNTYWIDE

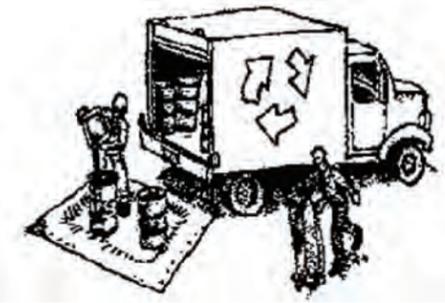
Water Pollution Prevention Program

Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



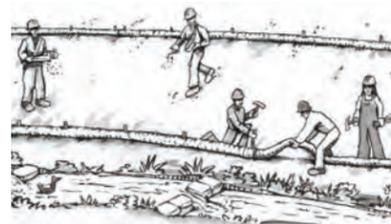
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



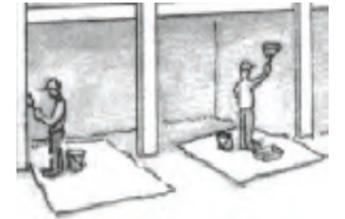
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

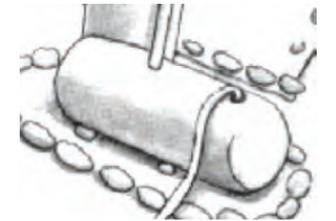
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SPOT ELEVATION
- DOWNSPOUT
- 4" SOLID DRAIN PIPE

GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: SERHIY KYBYCH, OWNER
2. TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED 10-15-20.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM ASSUMED.
5. THE GEOTECHNICAL REPORT: **GEOTECHNICAL STUDY: (PENDING)** SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, WITH THE CONTACT NUMBER (650)-728-3590. THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
6. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND CALL SIGMA PRIME (650-728-3590) TO SCHEDULE DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

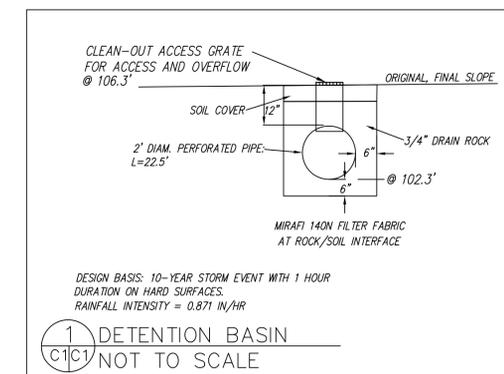
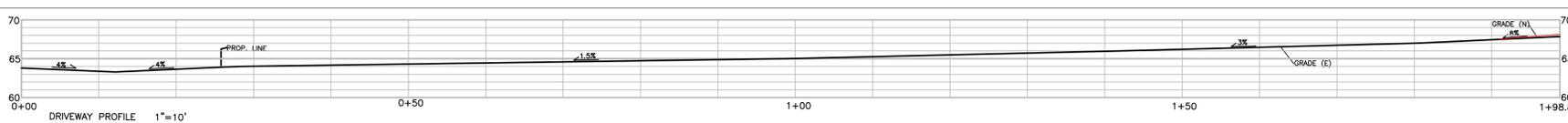
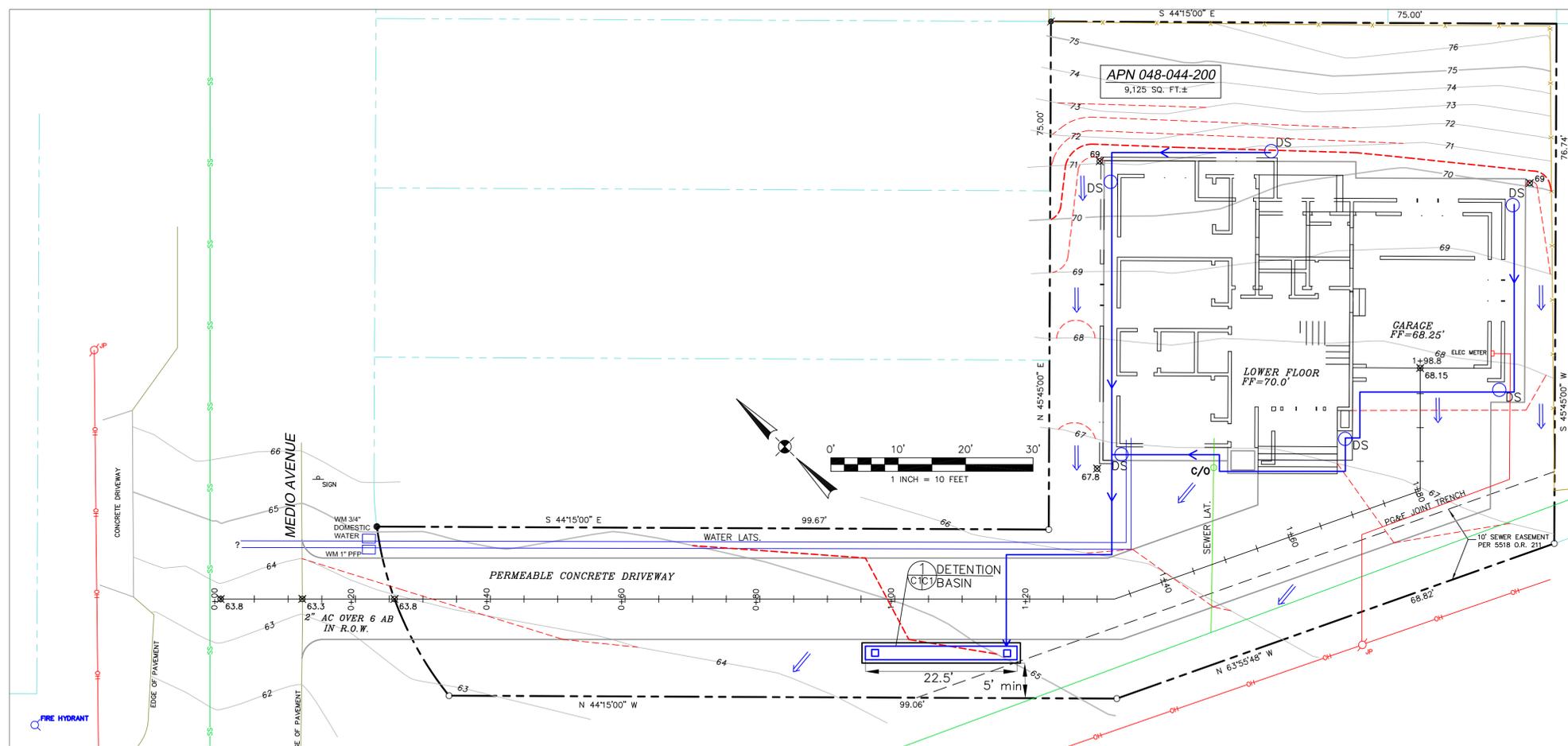
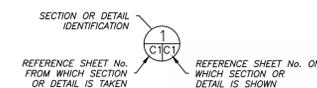
DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.
3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN/ENERGY DISSIPATER TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

- CUT VOLUME: 165 CY
FILL VOLUME: 0 CY
- VOLUMES ABOVE ARE APPROXIMATE.
- THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

SECTION AND DETAIL CONVENTION



GRADING AND DRAINAGE PLAN

KYBYCH PROPERTY
MIRAMAR
APN 048-044-200

SHEET C-1

DATE: 7-29-21
DRAWN BY: CMK
CHECKED BY: AZG
REV. DATE:
REV. DATE:
REV. DATE:

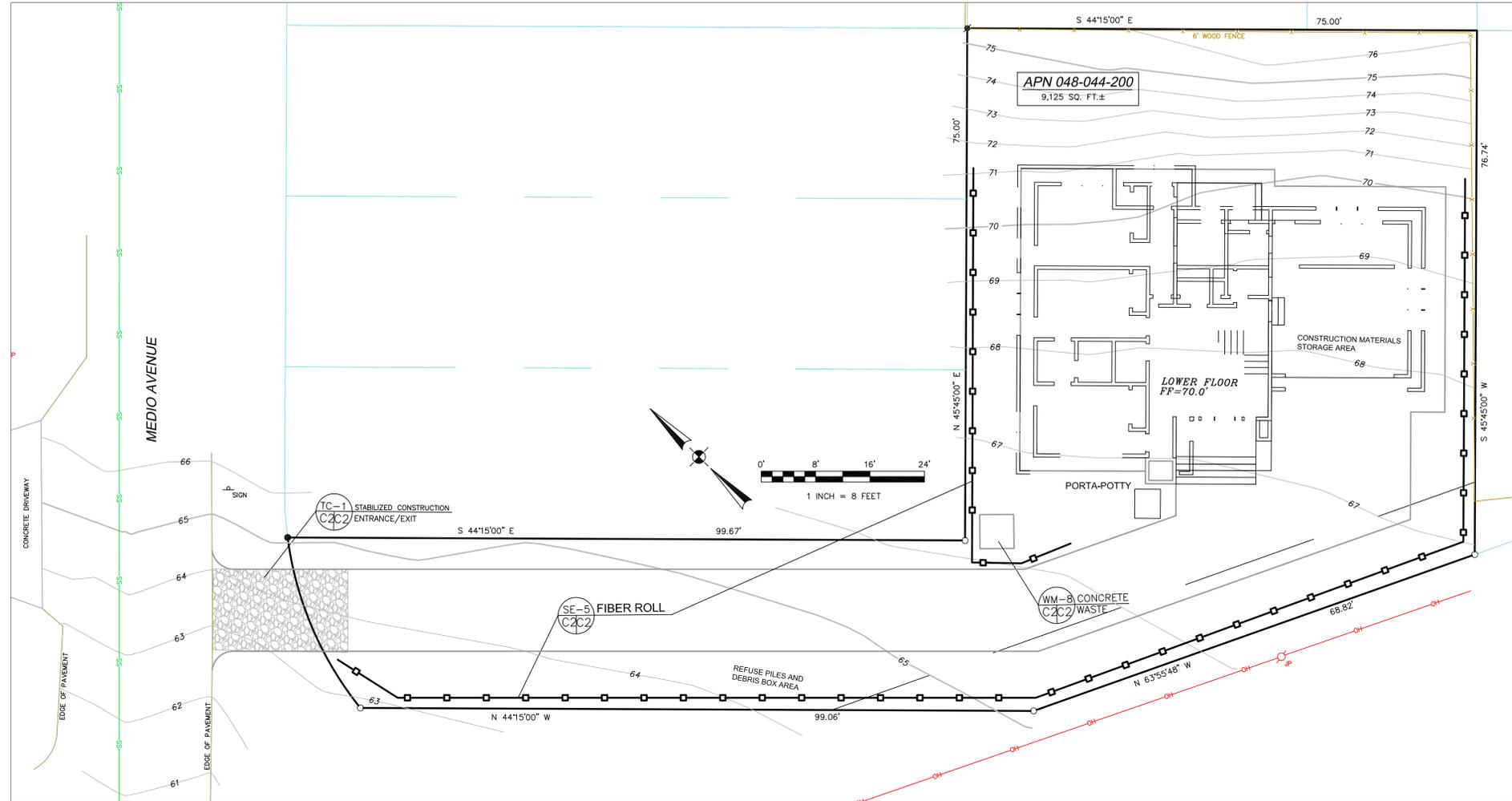
Sigma Prime Geosciences, Inc.
SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
MIRAMAR, CA 91801
(650) 728-3590
FAX: 728-3590

REGISTERED PROFESSIONAL ENGINEER
CHARLES M. KISSICK
No. 62264
9-30-21 EXPIRES
CIVIL
STATE OF CALIFORNIA

GENERAL EROSION AND SEDIMENT CONTROL NOTES

FIBER ROLL
INSTALL AT LOCATIONS SHOWN.
AFIX AS SHOWN IN DETAIL SE-5

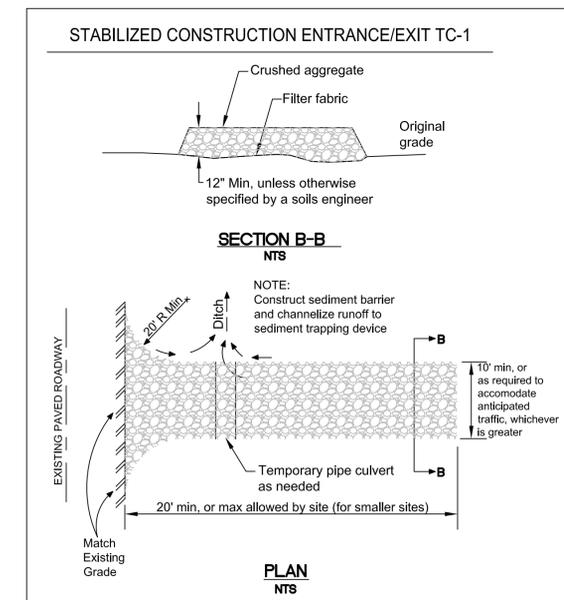
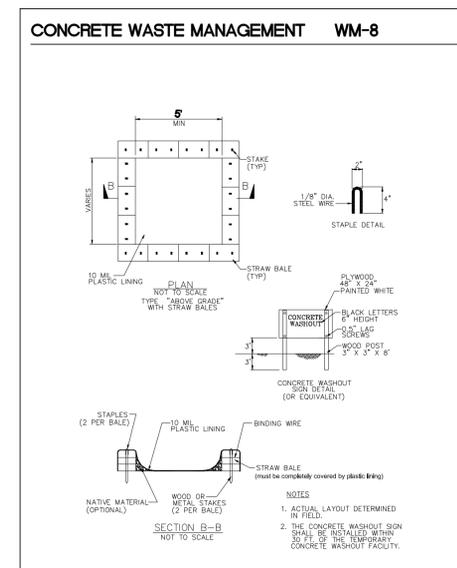
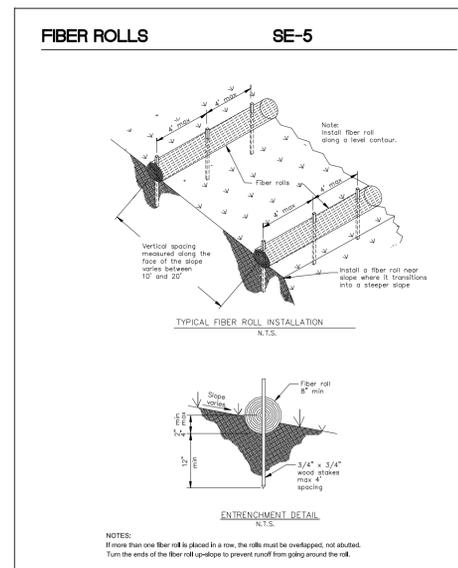
- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There are no trees or driplines on the site.



EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: SERHIY KYBYCH
TITLE/QUALIFICATION: OWNER
PHONE: 916-214-5461
PHONE:
E-MAIL: SSSERHIYK@HOTMAIL.COM



Sigma Prime Geosciences, Inc.
SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
HALE MOON BAY, CA 94019
(650) 728-3590
FAX 728-3593

DATE: 7-29-21
DRAWN BY: CMK
CHECKED BY: AZG
REV. DATE:
REV. DATE:
REV. DATE:

EROSION AND SEDIMENT CONTROL PLAN
KYBYCH PROPERTY
MEDIO AVENUE
MIRAMAR
APN 048-044-200

SHEET
C-2



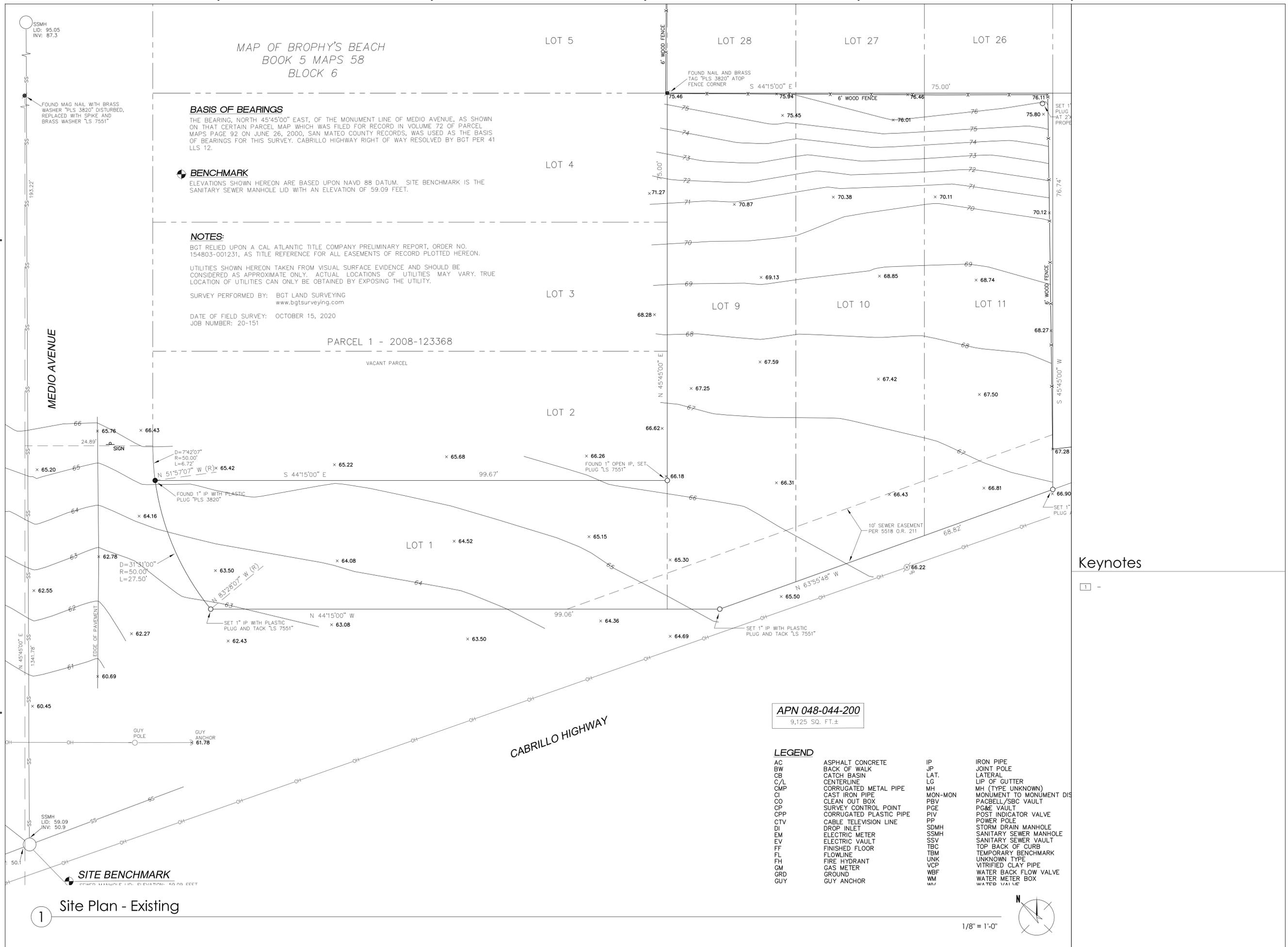
New House on Vacant Lot

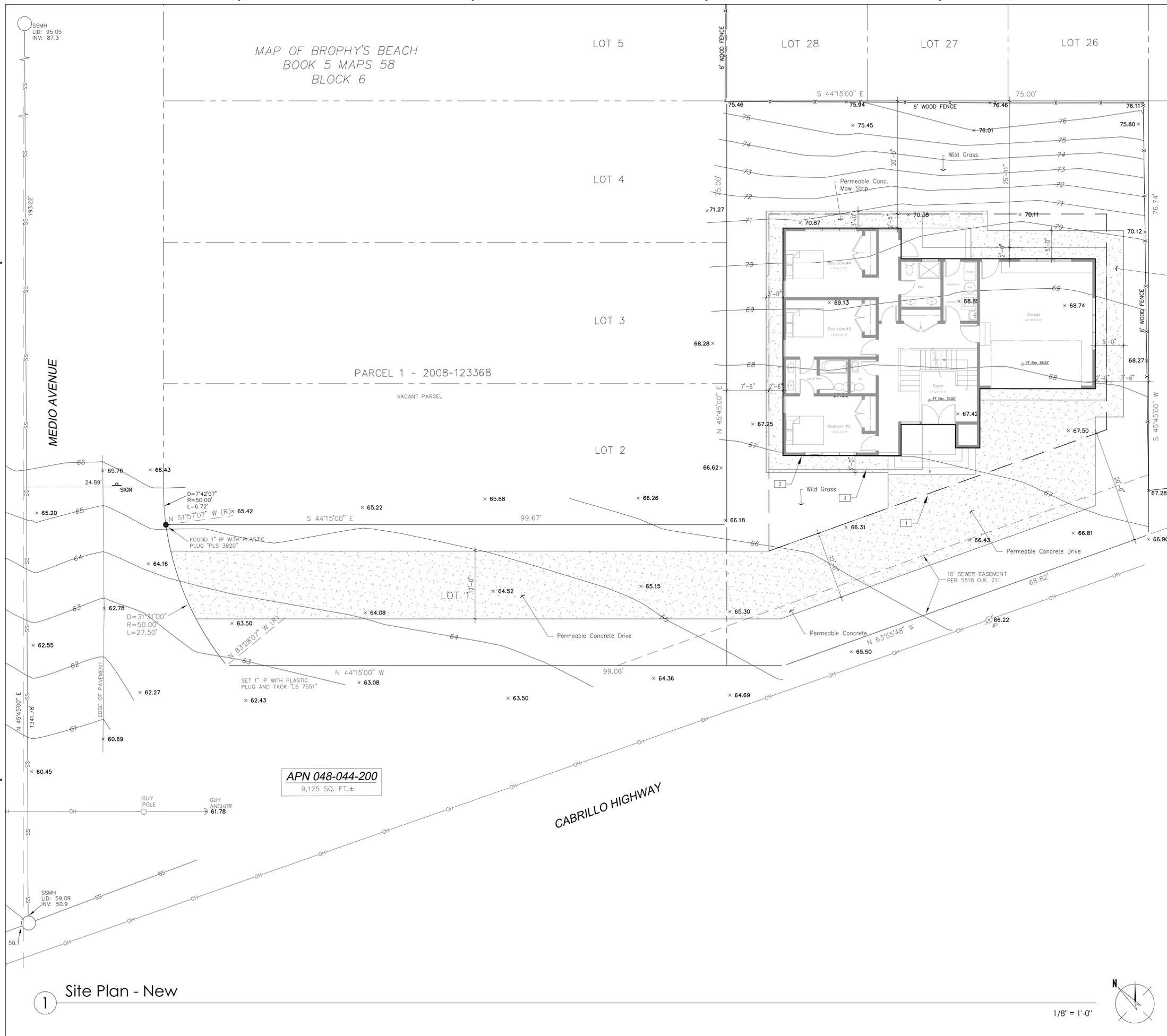
Medio Residence

APN: 048-044-200
Miramar, CA
94019

28 July 2021	Planning Submittal
15 Dec 2021	Planning Re-Submittal
07 Feb 2022	Planning Re-Submittal

Existing Site Plan





MAP OF BROPHY'S BEACH
BOOK 5 MAPS 58
BLOCK 6

PARCEL 1 - 2008-123368

APN 048-044-200
9,125 SQ. FT.±

Notes

Keynotes

- 1 Allowed Setbacks
- 2 First Floor Outline
- 3 Second Floor Outline



New House on Vacant Lot

Medio
Residence

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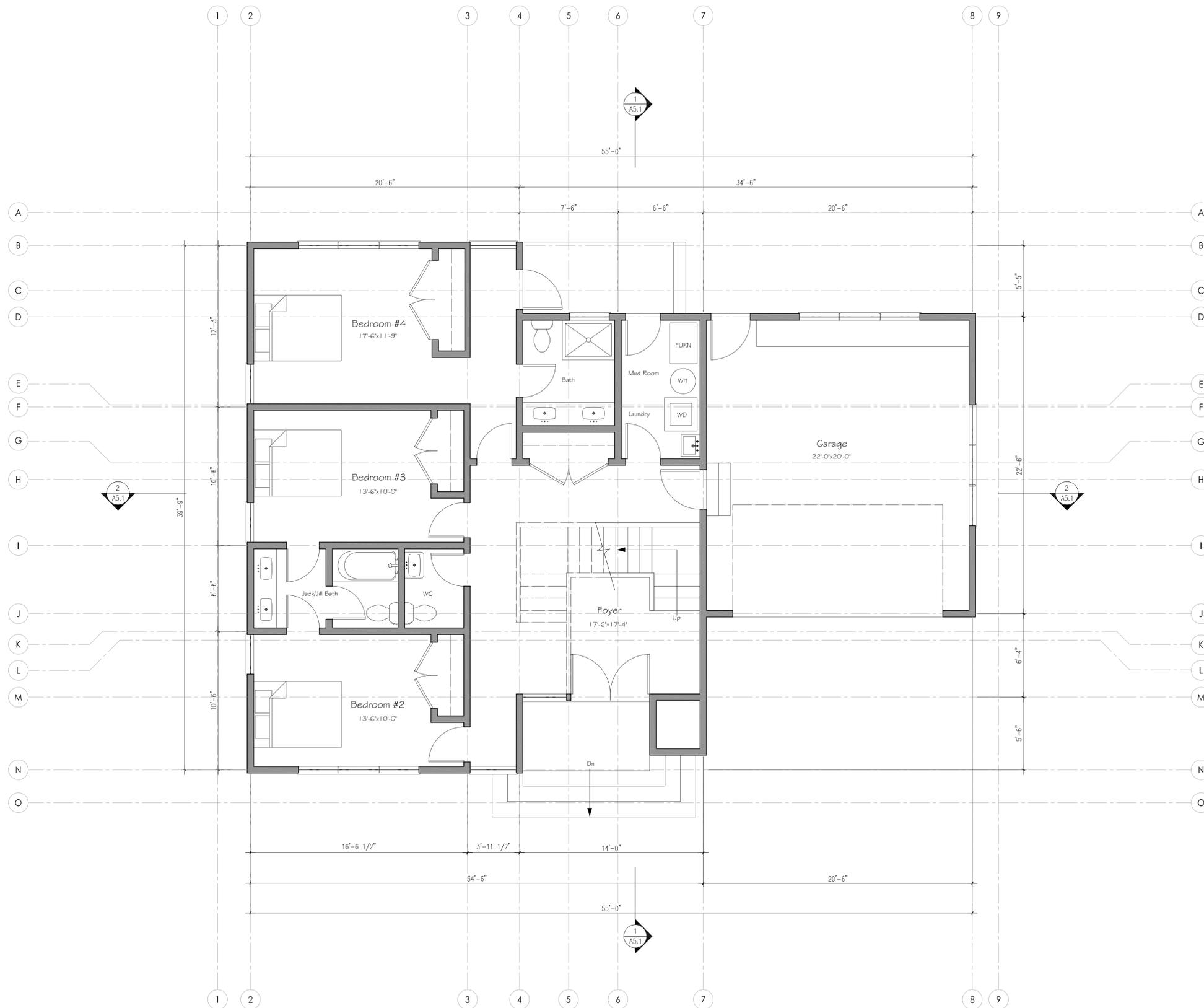
New Site Plan

A1.2

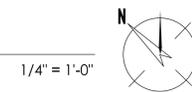
1 Site Plan - New

1/8" = 1'-0"





1 Lower Level Floor Plan



Floor Plan Notes

Keynote legend below contains information referenced throughout Documents. References are organized by standard CSI divisions and are flagged at various locations in the Documents by means of the following symbol: 1.0 →

All dimensions given take precedence over scale. Contractor shall not scale drawings to determine dimensions without consulting with the Architect. Incorrect dimensions and resulting construction deficiencies due to scaling of Documents by the Contractor are the Contractor's responsibility and required corrections will be performed at the Contractor's expense.

Critical alignments may occur between items installed by different trades. Contractor to note all such items and notify affected trades. Sub-contractors shall review Documents and identify all such items that affect their work in any way.

Contractor shall review all dimensions shown herein for accuracy prior to construction. Contractor shall review any apparent discrepancies. Dimensions given are to face of stud unless otherwise noted.

Variations include:
 FOC: Face of Concrete
 FOM: Face of Masonry
 CL: Centerline
 FOF: Face of Finish

Refer exterior elevations for critical alignment of openings.

Refer interior elevations for critical alignment of openings, fixtures, finishes, cabinet dimensions, vertical controls, millwork locations.

Refer electrical plans for location of light fixtures, switches, etc. Contractor to coordinate framing to accommodate recessed fixtures and other items with critical locations.

Repeating items or assemblies may not be noted or dimensioned at all locations where repetition is obvious.

Refer structural drawings for location of posts, double studs, special floor and wall framing, special connections, shear nailing.

Provide 2x backing for all handrails, toilet accessories, cabinets and all other items requiring backing.

Provide water resistant gypsum board (green bd.) at all toilet, shower, tub areas (except ceiling).

Notes

WUI CRC 2019 R337 Notes:

Exterior Coverings

1. One layer of 5/8" type X gypsum sheathing behind exterior covering.
2. Exterior porch ceilings shall be protected by One layer of 5/8" type X gypsum sheathing behind exterior covering.
3. Exposed underside of floor projections shall be protected by One layer of 5/8" type X gypsum sheathing.
4. The underfloor area of overhangs shall be protected by One layer of 5/8" type X gypsum sheathing behind exterior covering.

Exterior Glazing

1. Exterior windows, glazed doors, glazed openings within exterior doors and structural glass veneer shall be constructed of the following:
 - a. 20 min. minimum fire rated window
 - b. Meet SFM 12-7A-2

Doors

1. The walking surface material of decks, porches, balconies and stairs shall be constructed of one of the following where any portion of such surface is within 10 ft. of the structure (R327.9.3)
 - a. Exterior fire-retardant-treated wood.

Keynotes

1 -



New House on Vacant Lot

Medio Residence

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 Miramar, CA
 94019

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Lower Level
 Floor Plan

A2.1



Floor Plan Notes

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Doors

- The walking surface material of decks, porches, balconies and stairs shall be constructed of one of the following where any portion of such surface is within 10 ft. of the structure (R327.9.3)
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Keynotes

-

New House on Vacant Lot

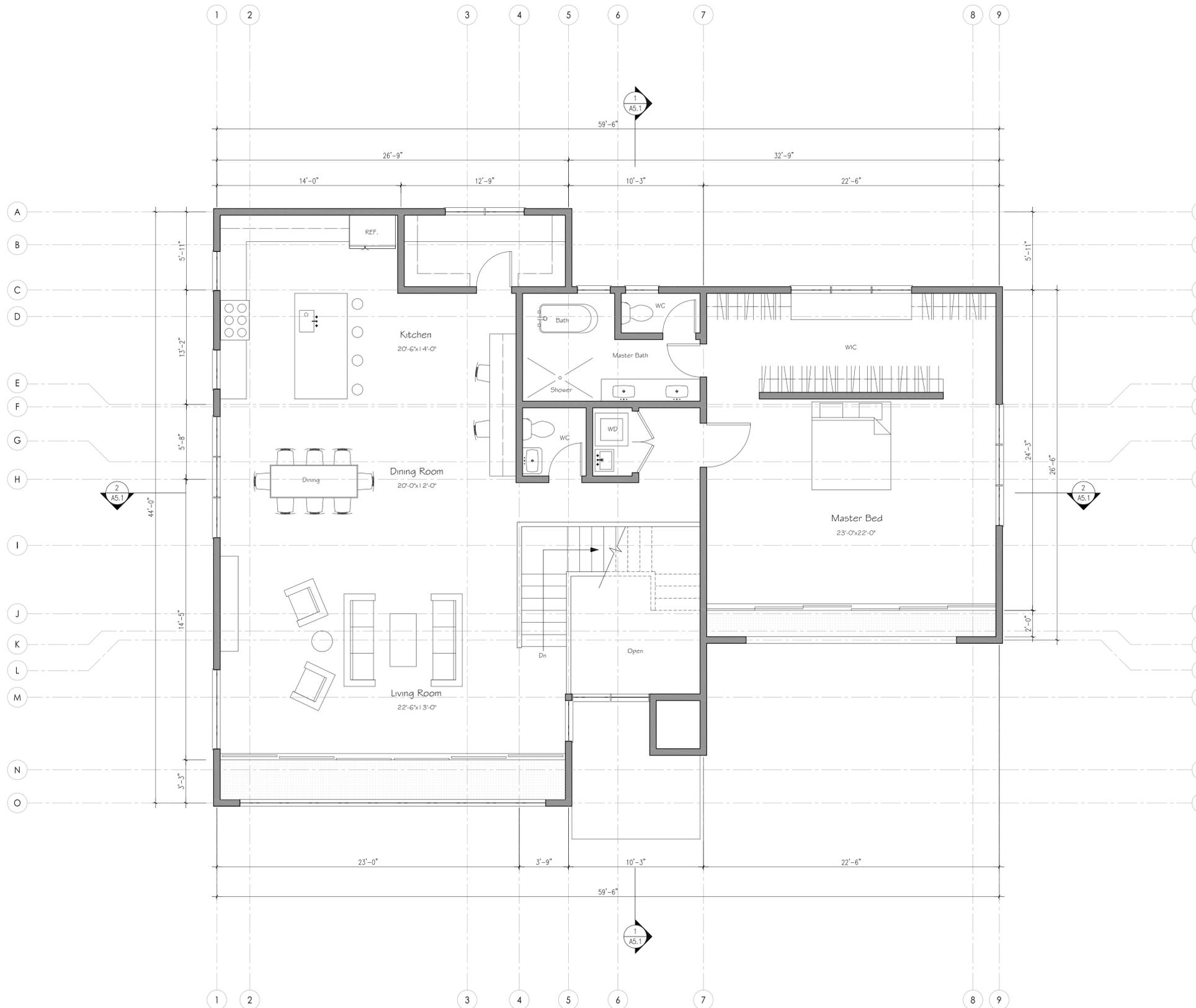
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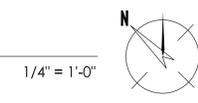
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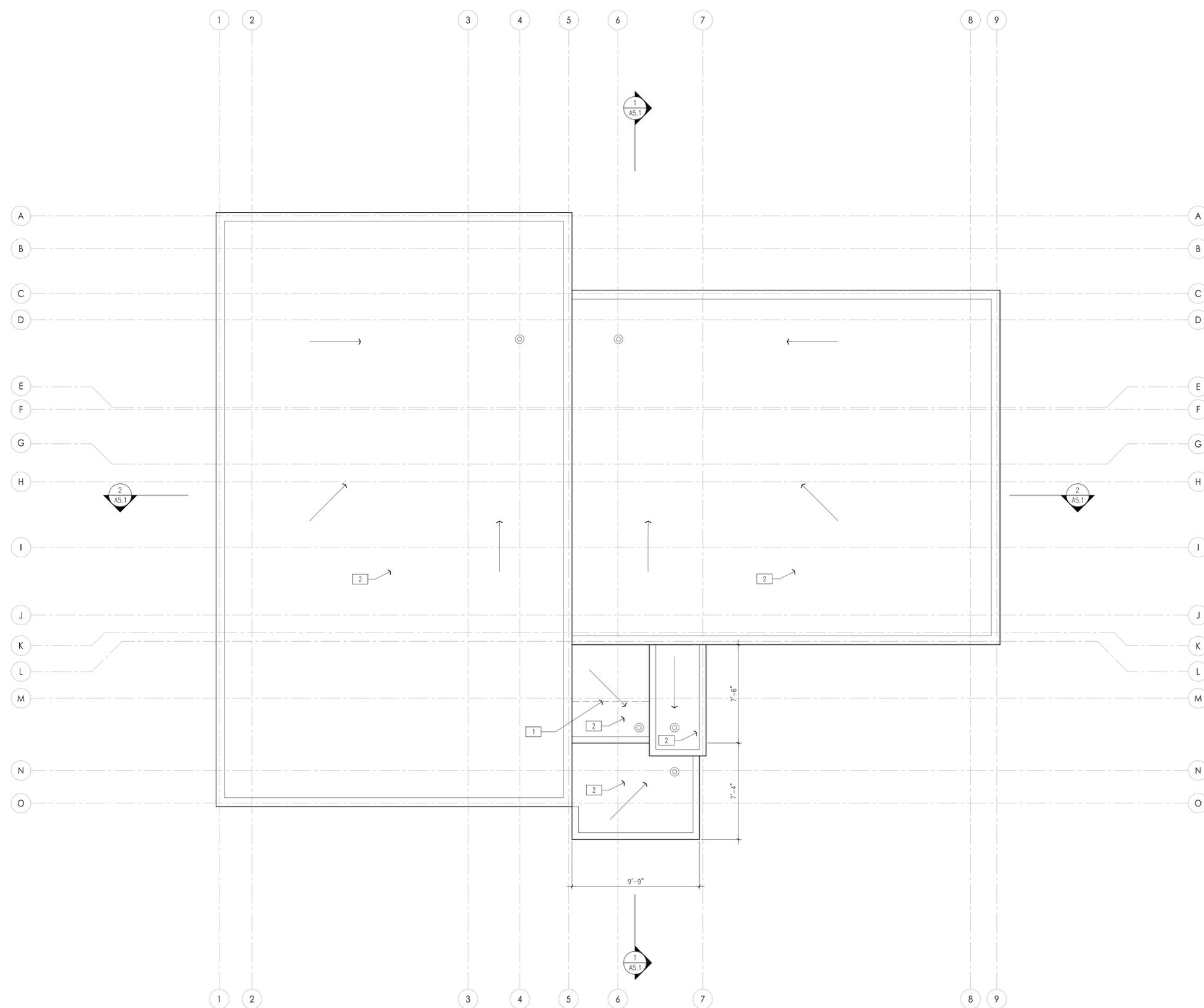
Upper Level
Floor Plan

A2.2



1 Upper Level Floor Plan





1 Roof Floor Plan

1/4" = 1'-0"



Floor Plan Notes

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Provide water resistant gypsum board (green bd.) at all toilet, shower, tub areas (except ceiling).

Notes

- WUI CRC 2019 R337 Notes:
- Roofing
- Class A in VHFHSZ (2013 CRC R902.1.1) IB Roof Systems
 - Roof gutters shall be provided with the means to prevent the accumulation of debris per IB Roof systems and installed by certified installer
 - Rafters in filed with solid EPS insulation R30 closed cell foam.

Keynotes

- [1] Exterior Wall Below
- [2] IB Roof Systems PVC Membrane - Gray



New House on Vacant Lot

Medio Residence

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 Miramar, CA
 94019

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Roof Floor Plan

A2.3



1 West Elevation

1/4" = 1'-0"



2 North Elevation

1/4" = 1'-0"

Material Selections

Woodtone Rustic Series
Coastal Gray
Vertical Shiplap Siding



BenMoore -



4" Recessed LED Soffit lights
Oil Rubbed Bronze



Milgard Aluminum Windows - Black



Front Door Glass Blk Aluminum



Elevation Notes

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CL: Centerline

Refer Floor Plan for additional detail references.

Scuppers, flue caps, metal railing caps shall be fully soldered at all joints.

All exterior wood siding and trim shall be fully primed and finished per mfr.'s specifications.

Exterior light fixtures and mechanical penetrations shall be fully caulked.

Exterior finishes shall be cleaned and/or replaced regularly by Owner. Paint shall not be allowed to crack, peel or otherwise fail in any way without immediate replacement.

Landscape irrigation shall not be allowed to spray on any portion of structure.

Downspouts and splash blocks shall be adjusted so that no water splashes onto structure.

Notes

- 1 Shiplap Siding
- 2 Painted Stucco
- 3 Glass Guardrail
- 5 Full Height Glass Doors - Beyond



New House on Vacant Lot

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94019

28 July 2021 Planning Submittal
29 Nov 2021 Planning Re-Submittal
07 Feb 2022 Planning Re-Submittal

Exterior Elevations



1 East Elevation

1/4" = 1'-0"



2 South Elevation

1/4" = 1'-0"

Material Selections

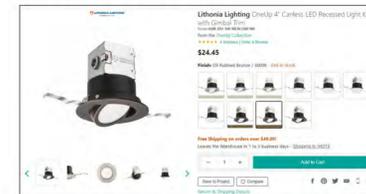
Woodtone Rustic Series
Coastal Gray
Vertical Shiplap Siding



BenMoore -



4" Recessed LED Soffit lights
Oil Rubbed Bronze



Milgard Aluminum Windows - Black



Front Door Glass Blk Aluminum



Elevation Notes

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All dimensions given take precedence over scale. Contractor shall not scale drawings to determine dimensions without consulting with the Architect. Incorrect dimensions and resulting construction deficiencies due to scaling of Documents by the Contractor are the Contractor's responsibility and required corrections will be performed at the Contractor's expense.

Critical alignments may occur between items installed by different trades. Contractor to note all such items and notify affected trades. Sub-contractors shall review Documents and identify all such items that affect their work in any way.

Contractor shall review all dimensions shown herein for accuracy prior to construction. Contractor shall review any apparent discrepancies. Dimensions given are to face of finish unless otherwise noted.

Variations include:
FOC: Face of Concrete
FOM: Face of Masonry
CL: Centerline

Refer Floor Plan for additional detail references.

Scuppers, flue caps, metal railing caps shall be fully soldered at all joints.

All exterior wood siding and trim shall be fully primed and finished per mfr.'s specifications.

Exterior light fixtures and mechanical penetrations shall be fully caulked.

Exterior finishes shall be cleaned and/or replaced regularly by Owner. Paint shall not be allowed to crack, peel or otherwise fail in any way without immediate replacement.

Landscape irrigation shall not be allowed to spray on any portion of structure.

Downspouts and splash blocks shall be adjusted so that no water splashes onto structure.

Notes

- 1 Shiplap Siding
- 2 Painted Stucco
- 3 Glass Guardrail
- 4 Planter
- 5 Full Height Glass Doors - Beyond



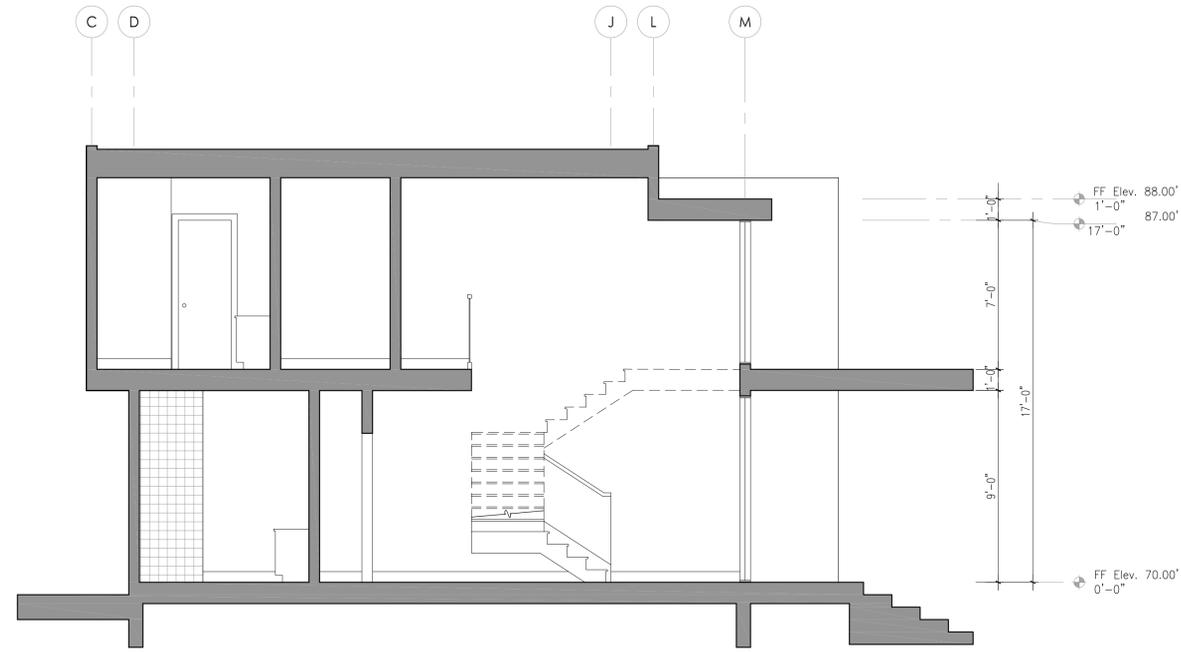
New House on Vacant Lot

Medio
Residence

APN: 048-044-200
Miramar, CA
94019

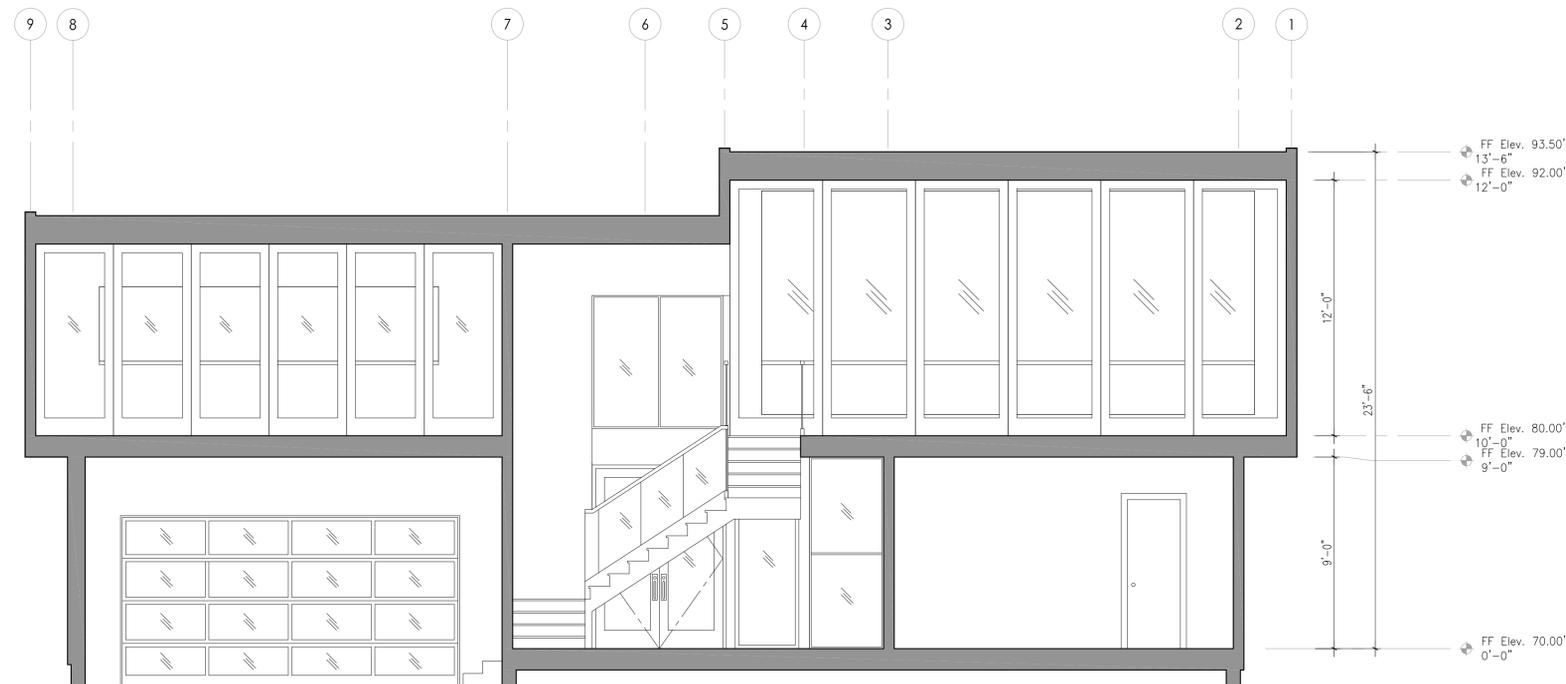
28 July 2021 Planning Submittal
29 Nov 2021 Planning Re-Submittal
07 Feb 2022 Planning Re-Submittal

Exterior Elevations



1 West Elevation

1/4" = 1'-0"



2 North Elevation

1/4" = 1'-0"

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Notes

1 -



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Sections

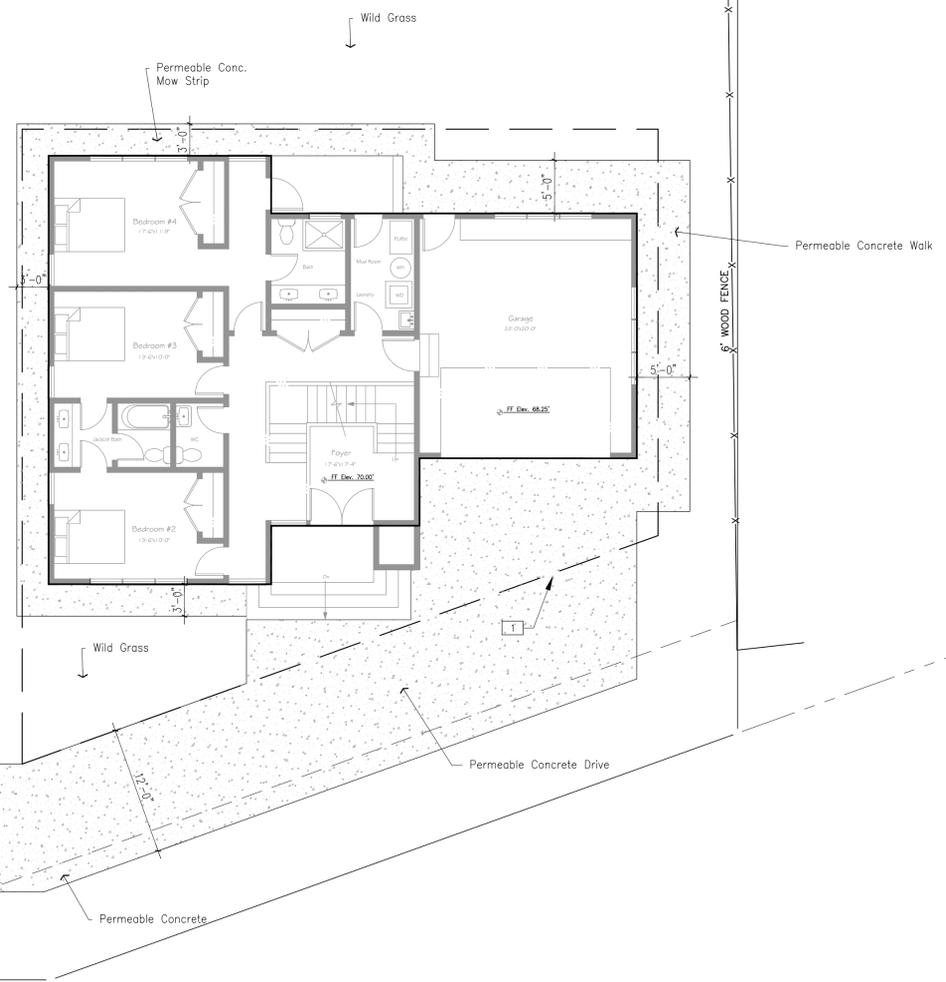
A5.1

MAP OF BROPHY'S BEACH
BOOK 5 MAPS 58
BLOCK 6

6" WOOD FENCE

6" WOOD FENCE

6" WOOD FENCE



Notes

Wildgrass seed mixture:
Stipa pulchra, Elymus glaucus, Bromus carinatus,
Taraxia ovata, Iris douglasiana, Madia sativa,
Sisyrinchium bellum, Clinopodium douglasii, Achillea
millefolium, Baccharis pilularis

Keynotes

1 Allowed Setbacks



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New Landscape

L1.0

SIGN

EDGE OF PAVEMENT

CABRILLO HIGHWAY

1 Site Plan - New

1/8" = 1'-0"

