

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: July 14, 2021

TO: Planning Commission

FROM: Planning Staff

SUBJECT: EXECUTIVE SUMMARY: Consideration of a Coastal Development Permit, Resource Management-Coastal Zone Permit, Design Review Permit, Grading Permit and adoption of a Mitigated Negative Declaration, to construct a 3,190 sq. ft. one-story single-family residence with attached 1,433 sq. ft. garage, septic system, hydrant and water meter on a legal 2.3-acre parcel located at 1490 Cypress Street in the unincorporated Montara area of San Mateo County. The project is appealable to the California Coastal Commission.

County File Number: PLN 2020-00067 (Morris)

PROPOSAL

The applicant is seeking a Coastal Development Permit, Resource Management-Coastal Zone Permit, Design Review Permit and Grading Permit to construct a 3,190 sq. ft. one-story single-family residence with an attached 1,433 sq. ft. garage on a legal 2.3-acre parcel at 1490 Cypress Street in Montara. The project includes the installation of a new private septic system, hydrant and water meter to serve the new residence, and a new 6-inch water main line extension along Jordan Street, from Sunshine Valley Road to the project property, with minor road widening to meet fire standards. A total of 845 cubic yards (c.y.) of grading, including 610 c.y. of cut and 235 c.y. of fill is proposed to accommodate the project, and no tree removal. The project is appealable to the California Coastal Commission.

RECOMMENDATION

That the Planning Commission adopt the Mitigated Negative Declaration and approve the Coastal Development Permit, Resource Management-Coastal Zone Permit, Design Review Permit, and Grading Permit, County File Number PLN 2020-00067, by making the required findings and adopting the conditions of approval in Attachment A.

SUMMARY

The project as proposed and conditioned conforms with the applicable development policies of the General Plan and Local Coastal Program (LCP) pertaining to minimizing visual impacts and soil erosion and sedimentation; ensuring utility services necessary to serve development are available; and minimizing fire hazard risks.

The property is located in a designated rural residential area of Montara with the western most property line, fronting Ivy Street, abutting the urban/rural boundary. Pursuant to LCP and Montara Water and Sanitary District (MWSD) regulations, utility service extensions are permitted in the urban zone. The proposed water main line extension along Jordan Street to the west property line of the project parcel is within the urban zone and will allow existing established water service to the property to continue to serve the proposed development. Furthermore, the property has already been included in MWSD's maximum water consumption/demand for buildout under the LCP and MWSD's Public Works Plan for its existing service.

The project conforms with the zoning standards of the applicable RM-CZ Zoning District, including for height, setbacks and residential floor area. The property has been used for over 30 years as a commercial horse boarding facility under a Confined Animal Permit issued by the County. The proposed residence will be occupied by the current property owners who continue to operate the horse boarding facility. The Confined Animal Permit for the property is separately under renewal review by County staff.

The project was considered by the Coastside Design Review Committee (CDRC) at their March 11, 2021 CDRC meeting. The CDRC recommended conditional project approval (3-0) based on project conformance with all applicable Design Review standards, including the ranch-style design and style being harmonious to the rural environment and respectful in minimizing visual impacts to the area.

An Initial Study/Mitigated Negative Declaration were prepared and circulated for the project. The public comment period commenced on May 12, 2021 and ended on June 1, 2021, no comments were received during the 20-day review period. Mitigation measures have been included as conditions of approval in Attachment A of the Staff Report.

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**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: July 14, 2021

TO: Planning Commission

FROM: Planning Staff

SUBJECT: Consideration of a Coastal Development Permit, Resource Management-Coastal Zone Permit, and Design Review Permit, pursuant to Sections 6328.4, 6903, and 6565.3 of the San Mateo County Zoning Regulations, respectively, a Grading Permit, pursuant to Section 9283 of the County Ordinance Code, and adoption of a Mitigated Negative Declaration, pursuant to the California Environmental Quality Act, to construct a 3,190 sq. ft. one-story single-family residence with attached 1,433 sq. ft. garage, septic system, hydrant and water meter on a legal 2.3-acre parcel located at 1490 Cypress Street in the unincorporated Montara area of San Mateo County. The project includes extension of a 6-inch water main line along Jordan Street, from Sunshine Valley Road to the project property, with minor road widening, a total of 845 cubic yards of grading and no tree removal. The project is appealable to the California Coastal Commission.

County File Number: PLN 2020-00067 (Morris)

PROPOSAL

The applicant is seeking a Coastal Development Permit, Resource Management-Coastal Zone Permit, Design Review Permit and Grading Permit to construct a 3,190 sq. ft. one-story single-family residence with an attached 1,433 sq. ft. garage on a legal 2.3-acre parcel at 1490 Cypress Street in Montara. The project includes the installation of a new private septic system, hydrant and water meter to serve the new residence, and a new 6-inch water main line extension along Jordan Street, from Sunshine Valley Road to the project property, with minor road widening to meet fire standards. A total of 845 cubic yards (c.y.) of grading, including 610 c.y. of cut and 235 c.y. of fill is proposed to accommodate the project, and no tree removal is required. The project is appealable to the California Coastal Commission.

RECOMMENDATION

That the Planning Commission adopt the Mitigated Negative Declaration and approve the Coastal Development Permit, Resource Management-Coastal Zone Permit, Design Review Permit, and Grading Permit, County File Number PLN 2020-00067, by making the required findings and adopting the conditions of approval in Attachment A.

BACKGROUND

Report Prepared By: Summer Burlison, Project Planner; 650/363-1850

Owner/Applicant: David Morris and Lori Rhodes

Location: 1490 Cypress Street, Montara

APNs: 036-261-160 and 036-261-180

Size: 2.3 acres

Existing Zoning: RM-CZ/DR/CD (Resource Management-Coastal Zone/Design Review/Coastal Development)

General Plan Designation: Very Low Density Residential

Local Coastal Plan Designation: Very Low Density Residential

Williamson Act: N/A

Existing Land Use: Single-family residential, commercial horse boarding facility

Water Supply: Montara Water and Sanitary District (MWSD); water service to the property would continue to be served by MWSD. As required by MWSD, the project includes a new main water line extension along Jordan Street to the project property and relocation of the water meter to conform with MWSD's local regulation requirements.

Sewage Disposal: New private septic system

Flood Zone: Flood Zone X (area of minimal flooding) pursuant to Federal Emergency Management Agency Flood Insurance Rate Map 06081C0136E, effective October 16, 2012.

Environmental Evaluation: An Initial Study (IS) and Mitigated Negative Declaration (MND) were prepared and circulated from May 12, 2021 to June 1, 2021 for the project. No comments were received during the 20-day public review period.

Setting: The project site is surrounded by single-family residential uses to the north and west, agricultural uses to the south, and a vacant parcel to the east. The property has a gentle downslope from east to west and has been used as a commercial horse boarding facility for over 30 years. Existing development on the property includes a mobile home (to be removed), a detached garage/office, and miscellaneous accessory buildings and structures supporting the horse boarding facility.

Chronology:

<u>Date</u>	<u>Action</u>
February 26, 2020	- Subject applications filed.
January 19, 2021	- Project deemed complete.
March 11, 2021	- Coastside Design Review hearing; recommendation for approval made by Coastside Design Review Committee.
May 12, 2021 to June 1, 2021	- Initial Study/Mitigated Negative Declaration public comment period.
July 14, 2021	- Planning Commission hearing.

DISCUSSION

A. KEY ISSUES

1. Conformance with the General Plan

Staff has determined the project conforms with all applicable General Plan Policies as discussed below.

a. Soil Resources

Policy 2.17 (*Regulate Development to Minimize Soil Erosion and Sedimentation*) and Policy 2.23 (*Regulate Excavation, Grading, Filling, and Land Clearing Activities Against Accelerated Soil Erosion*) seek to regulate grading and development to minimize and protect against soil erosion and sedimentation.

The project parcel has a gentle downslope from east to west and has been used for commercial horse boarding for over 30 years. The project proposes 845 cubic yards (c.y.) of grading, including 610 c.y. of cut and 235 c.y. of fill. A majority of the grading is to accommodate locating the one-story residence into the gently sloped project area which will help reduce visibility and to construct an onsite fire turnaround required by the Coastside Fire Protection District; approximately 20 c.y. of grading is to accommodate minor road grading and widening as minimally required by the Coastside Fire Protection District for emergency vehicle access.

The applicant has submitted an erosion control plan prepared by Sigma Prime Geosciences, Inc. that includes construction

management measures proposed to minimize soil erosion and sedimentation from the project site, including the use of fiber rolls around the perimeter of the limits of disturbance. Furthermore, staff is recommending Mitigation Measures 4 - 6 from the MND as conditions of approval, including wet season grading limitations, an erosion control pre-site inspection and adherence to Best Management Practices to minimize the potential for soil erosion and sedimentation from the project site.

b. Visual Resources

Policy 4.15 (*Appearance of New Development*) and the Rural Site Planning policies seek to regulate development to promote and enhance good design, site relationships and other aesthetic considerations, and ensure development is compatible with the rural character of the surrounding natural environment.

The project site is located in a rural residential area and is surrounded by rural single-family residences and agricultural uses. The project's location onsite and topography, including tree canopy in the surrounding area, will screen and minimize visual impacts from development. Additionally, the project includes grading to set the one-story residence into the gently sloped parcel to further reduce visibility. The ranch-style residence is designed to blend in to the natural rural character of the area. The Coastside Design Review Committee (CDRC) has reviewed the project and recommended conditional approval based on project conformance with all applicable Design Review (DR) standards, including the design and style being harmonious to the rural environment and respectful in minimizing visual impacts to neighboring residences and the surrounding area.

c. Historical and Archaeological Resources

Policy 5.20 (*Site Survey*) and Policy 5.21 (*Site Treatment*) require that the applicant take appropriate precautions to avoid damage to historical and archaeological resources.

According to the California Historical Resources Information System's Northwest Information Center at Sonoma State University, there are no identified historical resources on the project site and there is a low possibility of the project site containing archaeological resources. Nonetheless, staff is recommending Mitigation Measure 2 from the MND to minimize impacts to any potentially unknown archaeological resources that may be discovered during project grading and construction activities.

d. Rural Land Use

Policy 9.12 (*Land Use Designations and Locational Criteria for the Rural Areas*), Policy 9.21 (*Development Standards for Rural Residential Subdivisions*) and Policy 9.45 (*Development Standards for Very Low Density Residential Uses*) supports very low density residential land use in rural residential subdivision areas, considers resource impacts and compatibility of development with the existing developed pattern of the area, and encourages physical buffering of residential uses from surrounding resource areas.

The project parcel is located in the rural residential area of Montara and has a General Plan land use designation of Very Low Density Residential (0 – 0.2 dwelling units/acre). The property has been used as a commercial horse boarding facility for over 30 years and will continue to support such use. The existing mobile home on the property will be removed and replaced with a new one-story ranch-style single-family residence for the property owners/facility operators. The new residence would generate a density of 0.4 dwelling units/acre based on the legal 2.3-acre parcel size which is slightly higher than the Very Low Density Residential land use designation density range. However, the parcel is zoned RM-CZ (Resource Management-Coastal Zone) which supports development intensity based on density credits, with each legal parcel minimally allocated 1 density credit. Furthermore, the RM-CZ zoning district permits single-family residential use.

The area consists of rural, similarly sized single-family residentially developed and undeveloped parcels to the north, east and west and Golden Gate National Recreation Area (GGNRA) property to the south. The subject property owners lease land from GGNRA for the long-time horse boarding facilities that span onto GGNRA property. The larger parcel sizes, location of the proposed residence near the center of the 2.3-acre property, and vegetation and topography of the area provide buffers of the proposed residence from surrounding natural resource areas (including GGNRA open space land to the south).

e. Water Supply

Policy 10.15 (*Water Suppliers in Rural Areas*) and Policy 10.25 (*Efficient Water Use*) considers water systems and wells as appropriate water supply in rural areas and encourage efficient use of water supplies through effective conservation methods such as water conservation devices.

The property is located on the rural side of the urban/rural boundary in a rural residential area pursuant to Local Coastal Program (LCP) Map 1.1, see Attachment C. The property has frontage abutting the urban/rural boundary line and is within MWSD's service area. There is an existing 5/8-inch water meter serving the property; however, MWSD has no record of the meter installation and has determined that the existing meter does not conform with current or previous local water system requirements, including main (water) line frontage to the property. Therefore, in order for MWSD to serve the proposed development, the applicant is proposing as part of this project to extend a 6-inch water main line along Jordan Street to the west side of the project property and relocate the 5/8-inch meter to the west property line (i.e., driveway entrance to property). Additionally, new development is required to meet California Green Building standards, including those for water conservation. The development would also be required to conform with MWSD's Water Conservation Program for water-efficient fixtures. See also staff's discussion in Section A.2.b. for conformance with LCP Policies related to water service.

f. Wastewater

Policy 11.10 (*Wastewater Management in Rural Areas*) and Policy 11.12 (*Adequate Lot Sizes for Septic Tanks*) considers sewage disposal systems as an appropriate method of wastewater management in rural areas, and requires septic systems to meet the requirements of the Office of Environmental Health Services for parcel size and other standards.

The project includes the installation of a new private septic system to serve the proposed development. The County's Environmental Health Services has reviewed the proposed project and provided conditional approval for the new septic system with regard to location, sizing, and percolation rates.

g. Natural Hazards

The Fire Hazard Policies of the General Plan, including Policy 15.27 (*Appropriate Land Uses and Densities in Fire Hazard Areas*), Policy 15.28 (*Review Criteria for Locating Development In Fire Hazard Areas*), Policy 15.30 (*Standards for Water Supply and Fire Flow for New Development*), and Policy 15.31 (*Standards for Road Access for Fire Protection Vehicles to Serve New Development*) seek to consider low density land uses that minimize the exposure of significant numbers of people to fire hazards; cluster development where there are adequate water supplies and good access for fire vehicles; and require projects in hazardous fire areas to be reviewed by the County

Fire Warden to ensure that building materials, access, vegetative clearance from structures, fire flows and water supplies are adequate for fire protection purposes and in conformance to the fire policies of the General Plan.

According to the State's Fire Hazard Severity Zone Maps from the California Department of Forestry, the project site is located in a "High Fire Hazard Severity Zone", State Responsibility Area. The project involves construction of a single-family residence on a 2.3-acre parcel which is located in a rural residential area of Montara among other single-family residentially developed and undeveloped parcels of similar size.

The Coastside Fire Protection District has reviewed and conditionally approved the project for fire safety measures including materials, access, vegetative clearances, fire flows and water supplies to minimize potential fire hazards. The project plans incorporate a new hydrant, fire meter, some minor road grading and widening along Jordan Street to meet minimum fire access standards and an onsite fire turnaround.

2. Conformance with the Local Coastal Program

Staff has determined the project conforms with all applicable Local Coastal Program Policies as discussed below.

a. Locating and Planning New Development

Policy 1.13 (*Definition of Rural Residential Areas*) and Policy 1.15 (*Land Uses and Development Densities in Rural Residential Areas*) defines rural residential areas as rural lands outside the urban/rural boundary which are: (1) subdivided and developed with residential uses at densities less than one dwelling unit/5 acres, (2) adjacent to urban areas, and (3) partially or entirely served with utility lines; and permits the land uses designated on the LCP Land Use Plan Map and at densities specified in Tables 1.2 and 1.3.

According to LCP Map 1.1 (Rural Residential Areas), the project parcel is located in the Rural Residential Area of Montara. The project proposes a single-family residence on a 2.3-acre parcel, which meets the definition of Rural Residential cited above. For more information on this subject, see staff's discussion in Section A.1.d.

b. Public Works

Policy 2.6 (*Capacity Limits*) and Policy 2.11 (*Establishing Service Area Boundaries*) limits development or expansion of public works facilities to a capacity which does not exceed that needed to serve buildout of the LCP; and seeks to confine urban level services to urban areas, rural service centers and rural residential areas as designated by the LCP on March 25, 1986 and allow exceptions when all alternatives have been fully explored and a special district or public utility is required to maintain some rural land within its boundaries in order to continue a service to its customers which is (1) otherwise consistent with the policies of the Local Coastal Program, (2) maintains the rural nature of undeveloped areas, particularly the use and productivity of agricultural land, (3) maintains the present level of service to existing users in undeveloped areas, and (4) where an illegal situation or great hardship would be created by detachment from a special district or public utility.

The project parcel is currently served by MWSD through an existing 5/8-inch water meter and will continue to be served by this appropriately sized meter. As an existing service, the parcel is already included in MWSD's maximum water consumption/demand for buildout under the LCP and MWSD's Public Works Plan. The proposed water service improvements, including extension of a new 6-inch main line along Jordan Street from Sunshine Valley Road to the western frontage of the property and relocation of the water meter to the property's frontage at Jordan Street and Ivy Street, will bring the parcel's existing water service into conformance with current District standards for service, including mainline extensions and service meters being limited to the urban zone and having mainline frontage to the parcel being served. The proposed water service improvements will maintain the current level of service through continued use of a 5/8-inch water meter that supports the appropriately sited rural residential development that will have minimal impacts to coastal resources. Continued municipal water service for the property would provide a stable domestic water supply for the new development as neighboring properties on private wells have had past experience with water quality issues.

c. Visual Resources

Policy 8.5 (*Location of Development*) requires on rural lands and parcels larger than 20,000 sq. ft. that new development be located on a portion of the parcel where the development (1) is least visible from State and County Scenic Roads, (2) is least likely to significantly impact views from public viewpoints, (3) is consistent with all other

LCP requirements and best preserves the visual and open space qualities of the parcel overall.

The proposed residence is located near the center of the 2.3-acre parcel and is not near or visible from any scenic roads. Given surrounding vegetation and topography, the parcel's location and size, and proposed grading to set the house into the gentle slope of the property, the development will not result in any adverse visual impacts or degrade the visual quality of the natural rural surrounding area.

Policy 8.17 (*Alterations of Landforms; Roads and Grading*), Policy 8.18 (*Development Design*), Policy 8.19 (*Colors and Materials*), and Policy 8.20 (*Scale*) require development be located and designed to conform with landforms, require the development to blend with and be subordinate to the environment and character of the area and be unobtrusive and not detract from the natural, open space or visual qualities of the area, including through appropriate use of colors and materials and scale.

The project parcel consists of a gentle downslope from east to west with no unique landforms. Grading is proposed to set the one-story ranch-style residence into the existing grade to minimize obtrusiveness to the rural residential area. Exterior materials include "cottage red" cedar steel horizontal siding with stacked ledger stone base, "slate grey" metal seam roofing, and recessed exterior lighting. Furthermore, as discussed in Section A.4.c., the Coastside Design Review Committee (CDRC) considered the project at their regularly scheduled meeting on March 11, 2021 and determined that the project is in compliance with the applicable Design Review standards, and recommended conditional approval of the project.

d. Hazards

Policy 9.6 (*Regulation of Development in High Risk Fire Areas*) requires residential development in high risk areas to be reviewed and conditioned by the County Fire Warden to ensure that building materials, access, brush clearings and water storage capacity are adequate for fire flow and fire protection purposes.

The project parcel is located within a High Fire Hazard Risk Area, State Responsibility Area. The project has been reviewed and conditionally approved by the Coastside Fire Protection District for building materials, access, vegetation management and fire flow standards. The project includes a new hydrant and on- and off-site access improvements to meet fire standards, including a new fire turnaround onsite.

3. Conformance with the Energy Efficiency Climate Action Plan

The County of San Mateo’s adopted Energy Efficiency Climate Action Plan (EECAP) provides strategies for reducing greenhouse gas (GHG) emissions, including in the following applicable areas: Residential Energy Efficiency, Waste Diversion, and Construction Idling.

As new construction, the project will be required to comply with the mandatory California Green Building Standards and California Energy Codes, among other regulating standards. As part of the building permit process, the applicant will be required to submit a Construction Waste Management Plan that requires recycling or re-use of 100 percent of inert solids and 50 percent of all other construction debris. Furthermore, the project will be required to adhere to the Bay Area Air Quality Management District’s Basic Construction Mitigation Measures, including for construction equipment and vehicle idling as recommended in condition of approval No. 21.

4. Conformance with the Zoning Regulations

The project site is located within the Resource Management-Coastal Zone (RM-CZ) Zoning District. Therefore, the proposed residential development is subject to the issuance of a RM-CZ Permit and must comply with the applicable development standards and criteria contained in Chapter 36 and 36A.2 of the County Zoning Regulations, as discussed below.

a. Development Standards

The project conforms with the development standards of Section 6908A and 6908B of the RM-CZ zoning regulations for height and setbacks, as evidenced in the table below:

RM-CZ Development Standards		
	Development Standard	Proposed
Minimum Lot Size	N/A	2.3 acres
Minimum Front Setback	50 ft.	164 ft., 1 in.
Minimum Side Setbacks	20 ft.	26 ft., 7 in. (right) 87 ft. (left)
Minimum Rear Setback	20 ft.	156 ft., 9 in.
Maximum Building Height	28 ft.	20 ft.
Maximum Residential Floor Area*	6,200 sq. ft.	6,182 sq. ft.

*Zoning Regulations Section 6908C establishes a maximum floor area for residential uses. When a portion of a building is used for residential purpose, the floor area of the entire building is included.

b. Development Criteria

The project conforms with the RM-CZ Development Review Criteria contained in Chapter 36A.2, as discussed below.

Section 6912.1 (*Environmental Quality Criteria*) and Section 6912.2 (*Site Design Criteria*) require projects to comply with standards for air pollutant emissions; minimize noise, light and odors; ensure development is located, sited and designed, including through use of colors and materials, to fit its natural environment; and minimize grading.

Aside from standard construction activities, the project will not involve noxious odors, excessive lighting or long-term noise levels. Proposed grading is the minimum necessary to accommodate the development to help minimize visual impacts to the area and to meet minimum fire safety standards. Additionally, the Coastside Design Review Committee has reviewed and recommended approval of the project's design, including colors and materials, by finding the development will be harmonious to the rural environment and respectful in minimizing visual impacts to neighboring residences and the surrounding area, and that it is in conformance with the County's Design Review standards.

Section 6912.3 (*Utilities*) and Section 6912.4 (*Water Resources Criteria*) require adequate water and wastewater supplies to support development and seek to ensure minimal impacts on hydrologic processes by clear demonstration of methods to control surface water runoff and erosion and sedimentation.

The proposed development includes onsite drainage facilities (i.e., detention basin, energy dissipators) to mitigate the increase in impervious surface. The County's Drainage Section has reviewed and conditionally approved the proposed drainage plan for the project in accordance with the County's drainage standards that post-development runoff not exceed pre-development runoff. As proposed and conditioned, erosion and sediment control measures will be implemented to reduce erosion and sedimentation from the project area. Additionally, the project will be served by public water and a new onsite septic system which have been reviewed and conditionally approved by the MWSD and County Environmental Health Services.

Section 6912.6 (*Hazards to Public Safety Criteria*) prohibits development which is held unsuitable by the Planning Commission for its proposed use for reason of exposure to fire, among other natural hazards, with consideration for the availability of a sufficient amount of water for fire suppression purposes.

The project is located in a High Fire Hazard Severity Zone, State Responsibility Area. The project has been reviewed and conditionally approved by the Coastside Fire Protection District for conformance with fire safety measures including but not limited to fire flows and water supplies to minimize potential fire hazards.

c. Design Review District Standards

The Coastside Design Review Committee (CDRC) considered the project at their regularly scheduled CDRC meeting on March 11, 2021. At the meeting, the CDRC adopted the findings to recommend conditional project approval (3-0 vote), pursuant to the Design Review Standards for One-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:

- a. *Section 6565.20 (C) SITE PLANNING AND STRUCTURE PLACEMENT*: The proposed ranch-style home is organizing and foundational to the surrounding area.
- b. *Section 6565.20 (C) SITE PLANNING AN STRUCTURE PLACEMENT*: 2. Complement Other Structures in the Neighborhood, a. Privacy: The proposed window and deck orientations of the new residence will minimize direct view into neighboring houses.
- c. *Section 6565.20 (D) ELEMENTS OF DESIGN*: 2. Architectural Styles and Features: The proposed design incorporates appropriate form and function as ranch-style and low profile.
- d. *Section 6565.20 (D) ELEMENTS OF DESIGN*: e. Wall Articulation: The ranch style house complements the micro valley and is aesthetically correct and inclusive to the overall ranch center.
- e. *Section 6565.20 (F) LANDSCAPING, PAVED AREAS, FENCES, LIGHTING AND NOISE*: 1. Landscaping: Minimal new native landscaping is proposed that will enhance the new residence; a raised deer resistant garden will accent the adjacent porches.

The CDRC recommended the following conditions of approval which have been incorporated into Attachment A as condition no. 5, with the changes already incorporated into the Project Plans in Attachment D.

a. *East Elevation*

- (1) Center the master bathroom window in shower room and center of clearstory.
- (2) Raise the height of the man access door to the garage to be the same height as the top of the windows.
- (3) Raise the sill height of the master bedroom windows to match the laundry and office sill height.
- (4) Re-center the window layout to “mirror” that of the master bathroom window layout, equidistance in wall.

b. *North Elevation*

- (1) Along garage elevation, add a window of the same size and arrange its placement to be equal distance from the center.

c. *Grading Plan*

- (1) Revise the finish grade line contours near the porch and walkway to show the desired finished grades, show raised planter boxes and step height at walkway to be < 30 inches.

5. Conformance with the Grading Ordinance

The project proposes 845 c.y. of grading, including 610 c.y. of cut and 235 c.y. of fill, to accommodate the building pad, utilities and access improvements. The following findings must be made pursuant to Section 9290 of the San Mateo County Grading Ordinance:

- a. The granting of the permit will not have a significant adverse effect on the environment.

The proposed grading is necessary to implement the project. An Initial Study and Mitigated Negative Declaration (MND) have been prepared and circulated for public review. Staff has concluded that the project, with the recommended mitigation measures, will not have a significant adverse impact on the environment. All mitigation measures from the

MND have been included as recommended conditions of approval. In addition, the County's Geotechnical Section, Department of Public Works, and Drainage Review Section have reviewed and approved the project with conditions.

- b. The project conforms to the criteria of Chapter 8, Division VII, of the San Mateo County Ordinance Code, including the standards referenced in Section 9296.

The project, as proposed and conditioned, conforms to standards in the Grading Ordinance, including those relative to an erosion and sediment control plan, dust control plan, fire safety, and the timing of grading activity. The project plans have been reviewed and recommended for approval by the Geotechnical Section, the Department of Public Works, and Drainage Review Section. Conditions of approval have been included in Attachment A to ensure compliance with the County's Grading Ordinance.

- c. The project is consistent with the General Plan.

The project has been reviewed against the applicable policies of the San Mateo County General Plan and found to be consistent with its goals and objectives. See Section A.1 of this report for a detailed discussion regarding the project's compliance with applicable General Plan Policies.

B. MIDCOAST COMMUNITY COUNCIL

The Midcoast Community Council (MCC) responded to a project referral with comments that the new house and garage seem large in size but not with imposing bulk. The primary concern from MCC is related to the proposed leach field and septic tank. The Midcoast Community Council explains that the house is in an area where horse manure and other substances have posed problems with water contamination extending to the protected Fitzgerald Marine Reserve and that these problems have come to the attention of the Water Quality Board and additional septic tanks and leach fields may make the situation worse.

Staff's Response

The proposed septic system, including leach field, has been reviewed and conditionally approved by County Environmental Health Services for conformance with the County's Onsite Wastewater Treatment System requirements which are established to be consistent with the Water Quality Control Policy for Siting, Design, Operation and Maintenance of Onsite Wastewater Treatment Systems, adopted by the State Water Resource Control Board (2012) and with California Regional Water Quality Control Board standards and basin plans which were

adopted to prevent the creation of health hazards and nuisance conditions and to protect surface and groundwater quality from threats of sewage.

Additionally, the property has been used for commercial horse boarding for over 30 years under a Confined Animal Permit, PLN 1999-00519. The horse boarding facility has operated over the project parcel and adjacent property owned by Golden Gate National Recreation Area (GGNRA) through lease of the property. The current owners purchased the property in 2018. Since taking ownership of the property in 2018, the property owners have made effort to clean up and repair existing horse boarding structures, including removal of eight structures in poor repair, and utilize a covered cement slab and concrete block-sided manure structure for improved manure containment until regularly scheduled off-hauls. The Confined Animal Permit is current under renewal review by County staff.

C. ENVIRONMENTAL REVIEW

An Initial Study and Mitigated Negative Declaration were prepared and circulated for this project. The public comment period commenced on May 12, 2021 and ended on June 1, 2021. No comments were received as of issuance of this report. Mitigation measures have been included as conditions of approval in Attachment A.

D. REVIEWING AGENCIES

Building Inspection Section
Geotechnical Review Section
Drainage Review Section
Department of Public Works
Environmental Health Services
Coastside Fire Protection District
Montara Water and Sanitary District
Midcoast Community Council
California Coastal Commission (no response)

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map
- C. Local Coastal Program Maps
- D. Project Plans
- E. Initial Study/Mitigated Negative Declaration (without attachments)

County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2020-00067

Hearing Date: July 14, 2021

Prepared By: Summer Burlison
Project Planner

For Adoption By: Planning Commission

RECOMMENDED FINDINGS

For the Environmental Review, Find:

1. That the Initial Study and Mitigated Negative Declaration are complete, correct and adequate, and prepared in accordance with the California Environmental Quality Act (CEQA) and applicable State and County Guidelines. An Initial Study and a Mitigated Negative Declaration were prepared and issued with a public review period from May 12, 2021 to June 1, 2021.
2. That, on the basis of the Initial Study, comments received, and testimony presented and considered at the public hearing, there is no substantial evidence that the project will have a significant effect on the environment. The Initial Study and Mitigated Negative Declaration identify potentially significant impacts to air quality, cultural resources, geology and soils, hydrology and water quality and tribal cultural resources. The mitigation measures contained in the Mitigated Negative Declaration have been imposed as conditions of approval in this attachment. As proposed and mitigated, the project will not result in any significant environmental impacts.
3. That the mitigation measures identified in the Mitigated Negative Declaration have been agreed to by the applicant and imposed as conditions of project approval.
4. That the Initial Study and Mitigated Negative Declaration reflect the independent judgment of the County.

For the Coastal Development Permit, Find:

5. That the project, as described in the application and accompanying materials required by Section 6328.7 and as conditioned in accordance with Section 6328.14, conforms to the plans, policies, requirements and standards of the San Mateo County LCP, specifically with regard to the Locating and Planning New

Development, Public Works, Visual Resources, and Hazards Components of the Local Coastal Program.

6. That the project is not subject to the public access and public recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Section 30200 of the Public Resources Code) since the project is not located between the nearest public road and the sea, or the shoreline of Pescadero Marsh.
7. That the project conforms to specific findings required by policies of the San Mateo County LCP with regard to the Locating and Planning New Development, Public Works, Visual Resources, and Hazards Components. Specifically, as proposed and conditioned, the development is an appropriate density for the RM-CZ zoned rural residential property, the project will improve existing water service which has already been included in MWSD's buildout plan and will improve the water service to conform with MWSD's current local standards, the project is designed and sited to minimize visual impacts to the surrounding rural environment and minimize impacts to coastal resources, and the project has been conditionally approved by the Coastside Fire Protection District for conformance with fire safety and access standards.
8. That the number of building permits for construction of single-family residences other than for affordable housing issued in the calendar year does not exceed the limitations of (LCP) Policies 1.22 and 1.23. Per County records the number of residential dwelling units in the Midcoast has not exceeded the 40 unit maximum.

For the Resource Management-Coastal Zone Permit, Find:

9. That the project conforms to the Development Standards and Development Review Criteria contained in Chapter 36A and Chapter 36A.2 of the San Mateo County Zoning Regulations. The project conforms to the minimum setbacks and maximum height limit and floor area allowed in the RM-CZ Zoning District. Additionally, the project conforms to Section 6912.1 (*Environmental Quality Criteria*), Section 6912.2 (*Site Design Criteria*), Section 6324.3 (*Utilities*), Section 6912.4 (*Water Resources Criteria*), and Section 6912.6 (*Hazards to Public Safety Criteria*) of the RM-CZ Development Review Criteria.

The project, as proposed and conditioned, will not introduce noxious odors, long-term noise levels, or significant levels of air pollution emissions; incorporates temporary erosion and sediment control and permanent drainage measures to mitigate construction impacts and increased impervious surface to minimize impacts to hydrologic processes; proposes a development that is sited and designed to be harmonious to the rural environmental and respectful in minimizing visual impacts to neighbors and the area; and will comply with fire safety standards, including building materials, acceptable emergency fire access, adequate fire flow and water supplies, among other measures, as required and conditionally approved by the Coastside Fire Protection District.

For the Design Review Permit, Find:

10. That the project has been reviewed and found to be in conformance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:
 - a. *Section 6565.20 (C) SITE PLANNING AND STRUCTURE PLACEMENT:* The proposed ranch-style home is organizing and foundational to the surrounding area.
 - b. *Section 6565.20 (C) SITE PLANNING AN STRUCTURE PLACEMENT: 2. Complement Other Structures in the Neighborhood, a. Privacy:* The proposed window and deck orientations of the new residence will minimize direct view into neighboring houses.
 - c. *Section 6565.20 (D) ELEMENTS OF DESIGN: 2. Architectural Styles and Features:* The proposed design incorporates appropriate form and function as ranch-style and low profile.
 - d. *Section 6565.20 (D) ELEMENTS OF DESIGN: e. Wall Articulation:* The ranch style house complements the micro valley and is aesthetically correct and inclusive to the overall ranch center.
 - e. *Section 6565.20 (F) LANDSCAPING, PAVED AREAS, FENCES, LIGHTING AND NOISE: 1. Landscaping:* Minimal new native landscaping is proposed that will enhance the new residence; a raised deer resistant garden will accent the adjacent porches.

For the Grading Permit, Find:

11. That the granting of the permit will not have a significant adverse effect on the environment. After reviewing the Initial Study and Mitigated Negative Declaration as required by CEQA, it is determined that the implementation of all mitigation measures would reduce the project's potential environmental impacts to less than significant levels. All recommended mitigation measures in the Mitigated Negative Declaration have been incorporated as conditions of approval below.
12. That the project conforms to the criteria of Chapter 8, Division VII, San Mateo County Ordinance Code, including the standards referenced in Section 9296. The project, as proposed and conditioned, conforms to the standards in the Grading Regulations, including those relative to erosion and sediment control, dust control, fire safety, and timing of grading activity. The project has been reviewed and conditionally approved by the County's Drainage Review Section, Geotechnical Section, and Department of Public Works.

- 13. That the project is consistent with the General Plan. The project, as proposed and conditioned, conforms to the applicable General Plan policies, including applicable Soil Resources, Visual Quality, Historical and Archaeological Resources, Rural Land Use, Water Supply, Wastewater, and Natural Hazards policies as discussed in detail in the staff report dated June 14, 2021.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

- 1. The project shall be constructed consistent with the plans approved by the Planning Commission and in substantial conformance with plans reviewed on July 14, 2021. Any changes or revisions to the approved plans shall be submitted to the Community Development Director for review and approval prior to implementation. Minor adjustments to the project design may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Design Review Officer may refer consideration of the revisions to the Coastside Design Review Committee, with applicable fees to be paid.
- 2. The final approval of the subject permits shall be valid for five (5) years from the date of final approval, in which time a valid a building permit shall be issued for the work and a completed inspection (to the satisfaction of the Building Official) shall have occurred within one (1) year of the associated building permit's issuance. This approval may be extended by a 1-year increment with submittal of an application for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.
- 3. No site disturbance shall occur, including any vegetation removal or grading, until a building permit and grading permit "hard card" have been issued for the project. The grading permit "hard card" shall only be issued concurrently with the building permit.
- 4. The applicant shall include a copy of the approval letter with conditions of approval on the top pages of the building plans.
- 5. The applicant shall indicate the following on the plans submitted for a building permit, as stipulated by the Coastside Design Review Committee:
 - a. East Elevation.
 - (1) Center the master bathroom window in shower room and center of clearstory.
 - (2) Raise the height of the man access door to the garage to be the same height as the top of the windows.

- (3) Raise the sill height of the master bedroom windows to match the laundry and office sill height.
 - (4) Re-center the window layout to “mirror” that of the master bathroom window layout, equidistance in wall.
 - b. North Elevation.
 - (1) Along garage elevation, add a window of the same size and arrange its placement to be equal distance from the center.
 - c. Grading Plan.
 - (1) Revise the finish grade line contours near the porch and walkway to show the desired finished grades, show raised planter boxes and step height at walkway to be < 30 inches.
- 6. The applicant shall provide “finished floor elevation verification” to certify that the structure is constructed at the height shown on the approved plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point near the construction site.
 - a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
 - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
 - c. Prior to Planning approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
 - d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
 - e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section

a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.

- f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
 - g. A survey verification letter will be required during the construction phase of this project. Once the building permit has been issued and the forms have been set, the surveyor of record shall field measure the setback dimensions of the set forms from applicable property lines and compose a survey verification letter, with stamp and signature, of the field measurements to be submitted to the Planning and Building Department for review and approval prior to foundation pour.
7. All new power and telephone utility lines shall be placed underground.
 8. The applicant shall include as part of the building permit submittal the approved exterior color and material specifications as conditioned by the Coastside Design Review Committee. Color and material verification shall occur in the field prior to final building inspection.
 9. Verification that the approved landscape plan has been installed shall be required prior to final building inspection.
 10. Within four (4) business days of the final approval date for this project, the applicant shall submit an environmental filing fee totaling \$2,530.25, as required under Fish and Game Code Section 711.4; this includes a \$50.00 recording fee. Payment shall be by a check payable to "San Mateo County Clerk" submitted to the project planner to file with the Notice of Determination. Please be aware that the Department of Fish and Game environmental filing fee increases starting the 1st day of each new calendar year (i.e., January 1, 2022). The fee amount due is based on the date of payment of the fees.
 11. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo County Ordinance Code Section 4.88.360).

12. Prior to the issuance of a building permit, the applicant shall pay all applicable Affordable Housing Impact Fees, pursuant to San Mateo County Ordinance No. 4758. The impact fees shall be assessed at \$5.00 per sq. ft. over 2,500 sq. ft. of residential floor area.
13. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed prior to commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
14. Approved erosion and sediment control measures shall be installed prior to beginning any work and maintained throughout the term of the building permit as confirmed by the County through a pre-site inspection if project commencement occurs immediately prior to or during the wet season (October 1 to April 30). Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
15. A Tree Protection Plan, in compliance with Sections 12,020.4 and 12,020.5 of the County's Significant Tree Ordinance, shall be submitted with the building permit plans for review and approval by the Current Planning Section.
16. The provisions of the San Mateo County Grading Ordinance shall govern all grading on and adjacent to this site. Per San Mateo County Ordinance Section 9296.5, all equipment used in grading operations shall meet spark arrester and firefighting tool requirements, as specified in the California Public Resources Code.
17. The engineer who prepared the approved grading plan shall be responsible for the inspection and certification of the grading as required by Section 9297.2 of the Grading Ordinance. The engineer's responsibilities shall include those relating to non-compliance detailed in Section 9297.4 of the Grading Ordinance.
18. Erosion and sediment control during the course of grading work shall be installed and maintained according to a plan prepared and signed by the engineer of record, and approved by the Planning and Building Department. Revisions to the approved erosion and sediment control plan shall be prepared and signed by the engineer, and must be reviewed and approved by the Planning and Building Department.
19. It shall be the responsibility of the engineer of record to regularly inspect the erosion control measures for the duration of all grading activities, especially after major storm events, and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected, as determined by and implemented under the observation of the engineer of record.

20. The site is considered a Construction Stormwater Regulated Site (SWRS). Any grading activities conducted during the wet weather season (October 1 to April 30) will require monthly erosion and sediment control inspections by the Building Inspection Section, as well as prior authorization from the Community Development Director to conduct grading during the wet weather season.

Mitigation Measures from the Mitigated Negative Declaration

21. **Mitigation Measure 1:** The applicant shall require construction contractors to implement all the Bay Area Air Quality Management District's Basic Construction Mitigation Measures, listed below, and include these measures on permit plans submitted to the Building Inspection Section:
 - a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
 - b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
 - c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
 - d. All vehicle speeds on unpaved roads shall be limited to 15 mph.
 - e. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
 - f. All construction equipment shall be maintained and properly tuned in accordance with manufacturers' specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
 - g. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of the California Code of Regulations (CCR)). Clear signage shall be provided for construction workers at all access points.
 - h. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.

22. **Mitigation Measure 2:** In the event that cultural, paleontological, or archaeological resources are encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Community Development Director of the discovery. The applicant shall be required to retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Community Development Director for review and approval a report of the findings and methods of curation or protection of the resources. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).
23. **Mitigation Measure 3:** The design of the proposed development (upon submittal of the Building Permit) on the subject parcel shall generally follow the recommendations cited in the geotechnical report prepared by Sigma Prime regarding earthwork (i.e. clearing and subgrade preparation, compaction, surface drainage), foundations (i.e., pier and grade beam, spread footings, lateral loads, and slabs-on-grade), and retaining walls. Any such changes to the recommendations by the project geotechnical engineer cited in this report and subsequent updates shall be submitted for review and approval by the County's Geotechnical Engineer.
24. **Mitigation Measure 4:** At the time of building permit application, the applicant shall submit for review and approval, erosion and drainage control plans that show how the transport and discharge of soil and pollutants from and within the project site will be minimized. The plans shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment-capturing devices. The plans shall include measures that limit the application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plan shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including but not limited to:
- a. Sequence construction to install sediment-capturing devices first, followed by runoff control measures and runoff conveyances. No construction activities shall begin until after all proposed measures are in place.
 - b. Minimize the area of bare soil exposed at one time (phased grading).
 - c. Clear only areas essential for construction.

- d. Within five (5) days of clearing or inactivity in construction, stabilize bare soils through either non-vegetative Best Management Practices (BMPs), such as mulching, or vegetative erosion control methods, such as seeding. Vegetative erosion control shall be established within two (2) weeks of seeding/planting.
 - e. Construction entrances shall be stabilized immediately after grading and frequently maintained to prevent erosion and to control dust.
 - f. Control wind-born dust through the installation of wind barriers such as hay bales and/or sprinkling.
 - g. Soil and/or other construction-related material stockpiled on-site shall be placed a minimum of 200 feet, or to the extent feasible, from all wetlands and drain courses. Stockpiled soils shall be covered with tarps at all times of the year.
 - h. Intercept runoff above disturbed slopes and convey it to a permanent channel or storm drains by using earth dikes, perimeter dikes or swales, or diversions. Use check dams where appropriate.
 - i. Provide protection for runoff conveyance outlets by reducing flow velocity and dissipating flow energy.
 - j. Use silt fence and/or vegetated filter strips to trap sediment contained in sheet flow. The maximum drainage area to the fence should be 0.5 acres or less per 100 feet of fence. Silt fences shall be inspected regularly, and sediment removed when it reaches 1/3 of fence height. Vegetated filter strips should have relatively flat slopes and be vegetated with erosion resistant species.
 - k. Throughout the construction period, the applicant shall conduct regular inspections of the condition and operational status of all structural BMPs required by the approved erosion control plan.
 - l. Environmentally-sensitive areas shall be delineated and protected to prevent construction impacts.
 - m. Control fuels and other hazardous materials, spills, and litter during construction.
 - n. Preserve existing vegetation whenever feasible.
25. **Mitigation Measure 5:** No grading shall be allowed during the wet weather season (October 1 through April 30) to avoid increased potential soil erosion, unless the applicant applies for an Exception to the Winter Grading Moratorium and the Community Development Director grants the exception. Exceptions will only be granted if dry weather is forecasted during scheduled grading operations, and the erosion control plan includes adequate winterization measures (amongst other determining factors).

26. **Mitigation Measure 6:** An Erosion Control and Tree Protection Pre-Site Inspection shall be conducted prior to the issuance of a grading permit “hard card” and/or building permit to ensure that the approved erosion control and tree protection measures are installed adequately prior to the start of ground disturbing activities.
27. **Mitigation Measure 7:** The applicant shall route stormwater to a new infiltration-based retention feature that consists of a 13-foot long, 60-inch diameter perforated pipe surrounded by a minimum of 6-inch aggregate on the sides. The system overflows through a minimum one-square foot grate at the top. The trench will be lengthened in order to increase percolation between storms to the required rate.
28. **Mitigation Measure 8:** In the event that tribal cultural resources are inadvertently discovered during project implementation, all work shall stop until a qualified professional can evaluate the find and recommend appropriate measures to avoid and preserve the resource in place, or minimize adverse impacts to the resource, and those measures shall be approved by the Current Planning Section prior to implementation and continuing any work associated with the project.
29. **Mitigation Measure 9:** Any inadvertently discovered tribal cultural resources shall be treated with culturally appropriate dignity taking into account the tribal cultural values and meaning of the resource, including, but not limited to, protecting the cultural character and integrity of the resource, protecting the traditional use of the resource, and protecting the confidentiality of the resource.

Drainage Review Section

30. The following shall be required at the time of building permit submittal:
 - a. Final Drainage Report stamped and signed by a registered Civil Engineer.
 - b. Final Grading and Drainage Plan stamped and signed by a registered Civil Engineer.
 - c. Updated C.3 and C.6 Checklist (if changes to the impervious areas have been made during the design phase).

Geotechnical Section

31. The following shall be addressed at the building permit stage:
32. The geotechnical consultant should clarify the 'lower soils' in reference to the proposed pier and grade beam foundation recommendations.
33. The geotechnical consultant should provide performance estimates for the recommended multi-type foundation design (estimates of total and differential settlement).

34. The geotechnical consultant should discuss the potential performance of the recommended foundation design (combination of pier and grade beam, shallow footing, and mat-slab) during a seismic shaking event. The geotechnical consultant should address whether or not the multi-type foundation design will adversely interact and impact building safety or performance.
35. The geotechnical consultant reports encountering relatively shallow or exposed granodiorite bedrock at the site. When exposed at the surface, this bedrock may be prone to 'rilling' or other erosive impacts of concentrated flow. The geotechnical consultant should confirm the site drainage design, including proposed swales and run off discharge locations, is appropriately designed to mitigate the potential for erosion in the vicinity of proposed structures and foundations.
36. The applicant should consider the construction, structural design, and seismic benefits of a uniform foundation type bearing within site bedrock.

Department of Public Works

37. Prior to the issuance of the Building Permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance #3277.
38. The applicant shall submit, for review by the Department of Public Works and the appropriate Fire District, a Plan and Profile of both the existing and the proposed access from the nearest "publicly" maintained roadway to the proposed building site.
39. An encroachment permit shall be obtained prior to any work within a County right-of-way.

Environmental Health Services

40. At the building permit stage, the applicant shall provide a detailed onsite wastewater treatment system (OWTS) design addressing conveyance of effluent to the proposed reserve drain field trenches located upslope from the septic tank. Note: the 10-ft. property line setback (instead of 50 ft.) from the proposed OWTS dispersal trench is acceptable at this time since the property located to the south is not developed.

Coastside Fire Protection District

The following shall be added to the construction plans for building permit submittal:

41. Smoke detectors which are hard wired. As per the California Building Code, State Fire Marshal regulations, and Coastside Fire Protection District Ordinance 2019-

03, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and recondition sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final. The date of installation must be added to the exterior of the smoke alarm and will be checked at final inspection.

42. Escape or rescue windows shall have a minimum net clear openable area of 5.7 sq. ft., 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor (CFC 1030).
43. Identify rescue windows in each bedroom and verify that they meet all requirements.
44. New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 1/2-inch stroke. Residential address numbers shall be at least six feet above finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire Protection District. This remote signage shall consist of a 6-inch by 18-inch green reflective metal sign with 3-inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE).
45. The building is in a High Fire Hazard Severity Zone and will require a Class A roof.
46. Per the 2019 California Fire Code Chapter 49 and Public Resources Code 4291
 - a. A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees.

- b. Trees located within the defensible space shall be pruned to remove dead and dying portions; and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.
 - c. Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.
47. The applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The San Mateo County Department of Public Works and Coastside Fire Protection District Ordinance 2019-03 and the California Fire Code shall set road standards. As per the 2018 CFC, dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Coastside Fire Protection District specifications. As per the 2019 CFC, Section Appendix D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20-foot road) and on-street parking is desired, an additional improved area shall be developed for that use.
48. Fire apparatus roads to be a minimum of 20-foot width with a minimum of 35-foot centerline radius and a vertical clearance of 15 feet CFC503, D103, T-14 1273.
49. Dead-end emergency access exceeding 150 feet shall be provided with width and turnaround provisions meeting California Fire Code Appendix D. The fire department does not normally approve turnarounds on private property. Should the current property owner sell, the department doesn't have any leverage to have the new owners maintain the existing turnaround. An option would be to have it on title.
50. Fire apparatus access roads shall be an approved all-weather asphalt surface. Grades of 15 percent or greater all be surfaced with asphalt, or brushed concrete. Grades of 15 percent or greater shall be limited to 150 feet in length with a minimum of 500 feet between the next section. For roads approved less than 20 feet, 20-foot wide turnouts shall be on each side of 15 percent or greater sections. No grades over 20 percent are allowed. A Plan and profile are required. CFC 503.
51. "No Parking – Fire Lane" signs shall be provided on both sides of roads 20 to 26 feet in width and on one side of roads 26 to 32 feet in width. CFC D103.6

52. Gates shall be a minimum of 2 feet wider than the access road/driveway they serve. Overhead gate structures shall have a minimum of 15 feet of vertical clearance. Locked gates shall be provided with a Knox Box or Knox Padlock. Electric gates shall have a Knox Key Switch. Electric gates shall automatically open during power failures. CFC 503.6, 506.
53. (Fire Sprinkler plans will require a separate permit). As per San Mateo County Building Standards, the applicant is required to install an automatic fire sprinkler system throughout the proposed dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. Sprinkler coverage shall be provided throughout the residence to include all bathrooms, garages, and any area used for storage. The only exception is small linen closets less than 24 sq. ft. with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Department. A building permit will not be issued until plans are received, reviewed and approved. Upon submission of plans, the County will forward a complete set to the Coastside Fire Protection District for review.
54. Installation of the underground sprinkler pipe shall be flushed and visually inspected by the Fire District prior to hook-up to the riser. Any soldered fittings must be pressure tested with a trench open. Please call Coastside Fire Protection District to schedule an inspection. Fees shall be paid prior to plan review.
55. Exterior bell and interior horn/strobe are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener are to be wired into a separate circuit breaker at the main electrical panel and labeled.
56. Add note to the title page that the building will be protected by an automatic fire sprinkler system.
57. Solar Photovoltaic Systems shall meet the requirements of the 2016 CFC Section 605.11
58. This project is in a State Responsibility Area for wildfire protection. Roofing, attic ventilation, exterior walls, windows, exterior doors, decking, floors and underfloor protection shall comply with CRC 2019 Section R337 requirements. See the Office of the State Fire Marsha's website at http://www.fire.ca.gov/fire_prevention/fire_prevention_wildland.php and click the new products link to view the "WUI Products Handbook".
59. A copy R-337 Worksheet shall be added to a plan sized sheet with appropriate boxes checked.
60. Provide a window and door schedule showing it meets R-337 and add it to the worksheet; all exterior doors including the garage door must meet R-337.

61. Provide eave and gutter details that meet R-338; include all materials.
62. Add R-337 required vents to the worksheet.

Montara Water and Sanitary District

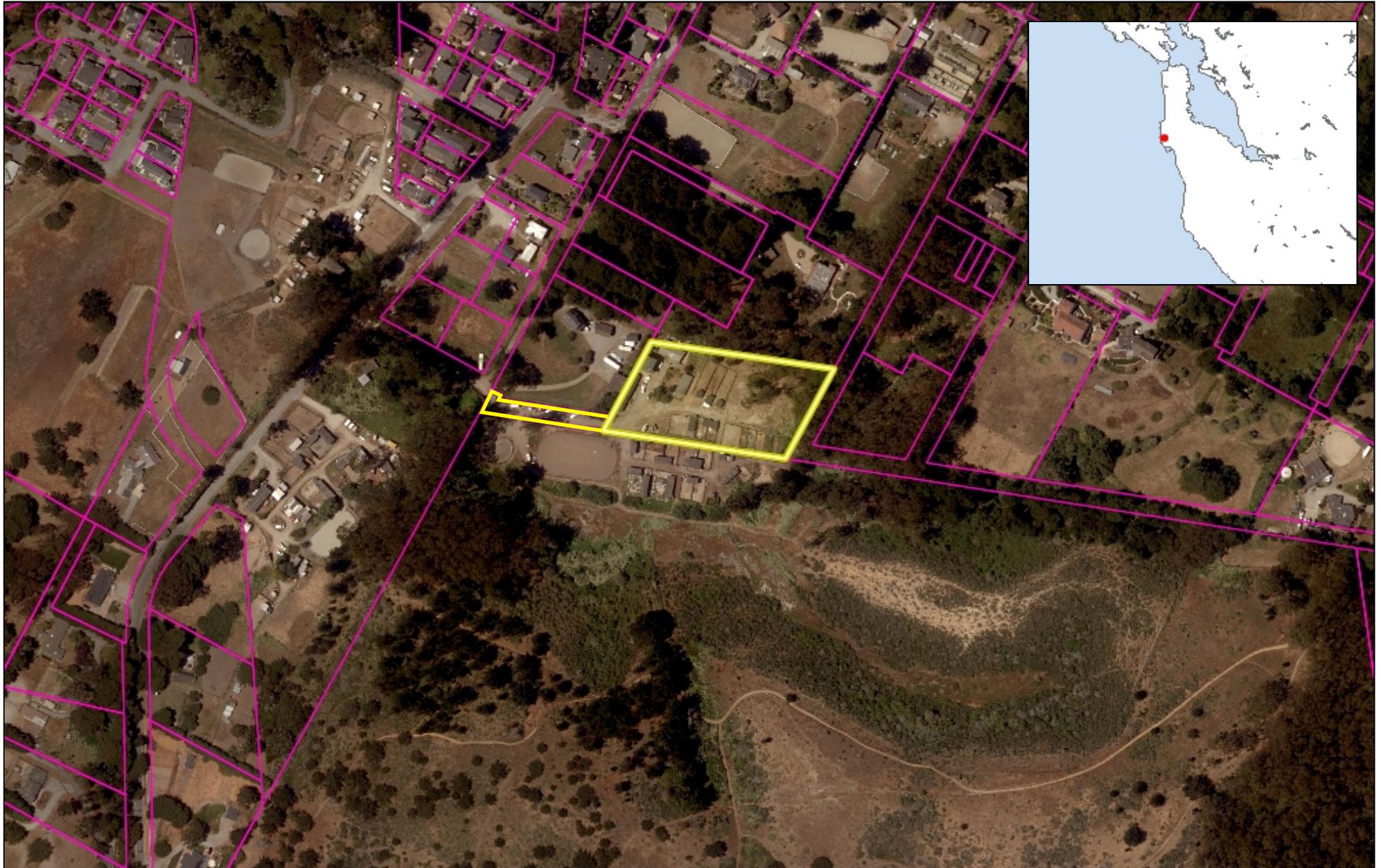
63. The applicant shall extend the main water line along Jordan Street from Sunshine Valley Road to the project property frontage on Ivy Street and relocate the water meter to this property line pursuant to the standards and regulations of the Montara Water and Sanitary District.
64. An application for water service and payment for the initial application fees based on the construction type determined by San Mateo County Building Inspection Section shall be paid. The applicant shall follow the procedures specified in the Service Application Packet.
65. Any on-site wells may need to be abandoned in accordance with San Mateo County laws. Backflow prevention for domestic and fire service will be required.
66. A certified Fire Protection Contractor must certify adequate fire flow calculations. A connection fee for the fire protection system is required. The connection charge must be paid prior to issuance of the Private Fire Protection permit.

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COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B



0.14 0 0.07 0.14 Miles

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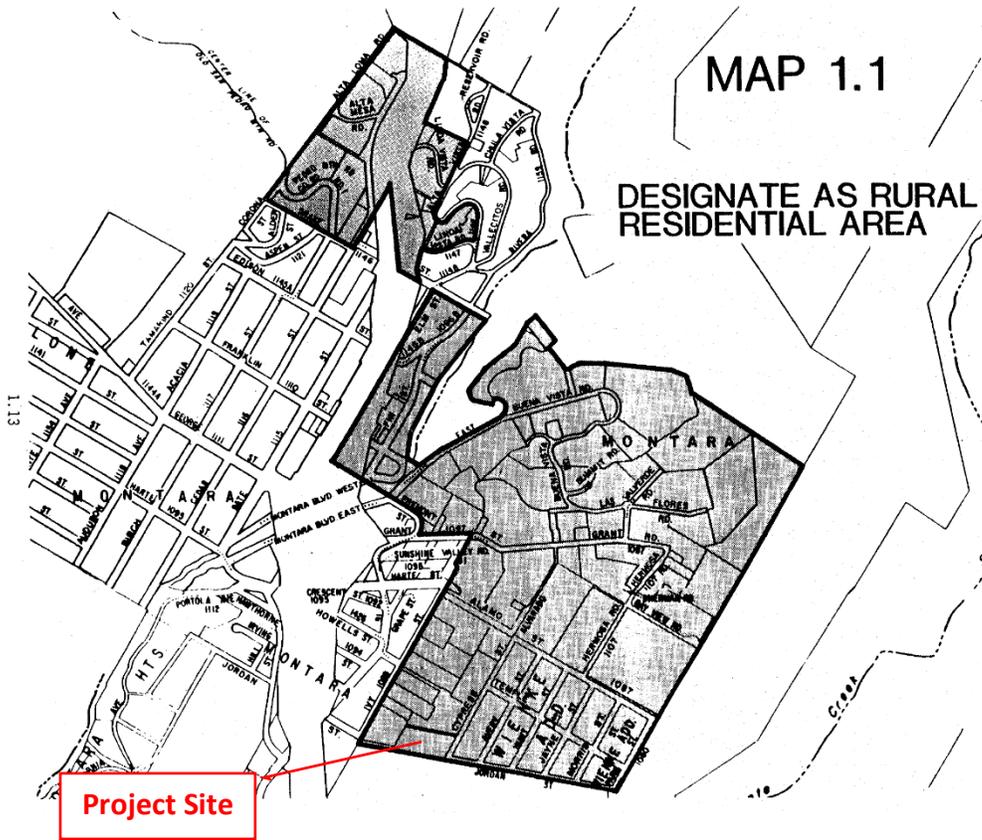
THIS MAP IS NOT TO BE USED FOR NAVIGATION



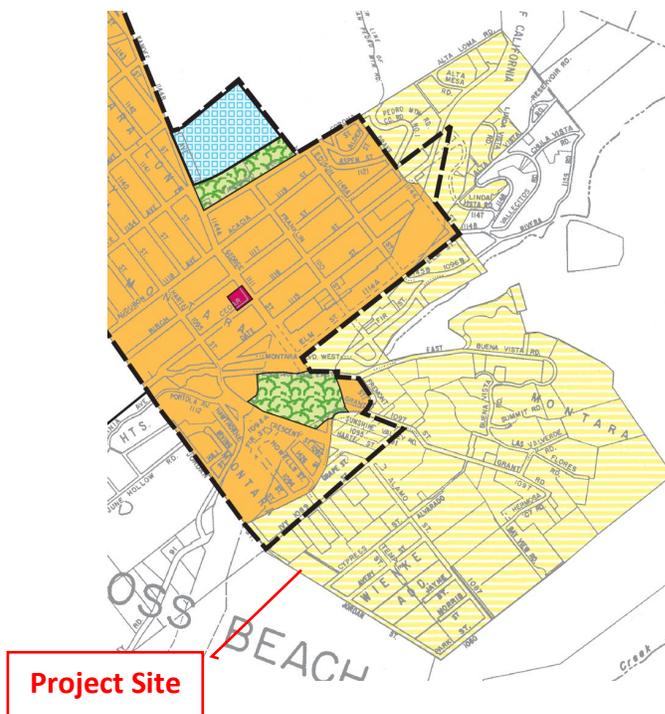
COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C

LCP Map 1.1
Rural Residential Areas



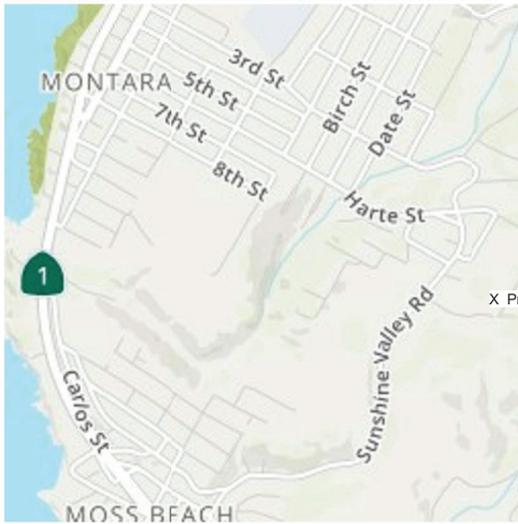
----- Urban/Rural Boundary





COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT D



- Sheet Index**
- A 100 Site plan and Information
 - A 101 Elevation Views East/West
 - A 102 Elevation Views North/South
 - A 103 Section Views
 - A 104 Perspective Views
 - A 105 Floor plan
 - A 106 Exterior Palette
 - A 107 Landscape plan
 - A 108 Fire Prevention

Record of Survey

- Civil Engineering plans**
- C1 Site Plan
 - C2 Grading and Drainage
 - C3 Erosion and Sediment control plan
 - C4 Access Road for Emergency Vehicles
 - BMP Best Management Practices

Coverage Breakdown

Lot 2.067 +/- Acres = 90015 Sq Ft	• Parcel # 036-261-160 & 036-261-160
#1 Mobile home = 1654 Sq Ft	• 1490 Cypress Street, Moss Beach, Ca. 94037
#2 Garage office = 874 Sq Ft	• Zoning RM-CZ/DR/CD
#3 Farm Building = 1384 Sq Ft	• 2.067 +/- Acres 90015 Sq Ft
#4 Farm Building = 868 Sq Ft	• Setbacks 5' front 20' sides and rear
#5 Horse stalls = 657 Sq Ft	• Max height 28' Proposed max height 20'
#6 Horse stalls = 681 Sq Ft	• Refer to C1 for Topography information
#7 Horse stalls = 449 Sq Ft	• New landscaping 200 Sq. Ft Revegetation 1100 Sq. Ft.
#8 New Home = 4623 Sq Ft	• Underground Drip irrigation system
#1 Removal = -1654 Sq Ft	• No Tree removal
#3 Removal = -1384 Sq Ft	
Total Existing = 6567 Sq Ft = 7.3%	
Total proposed = 8152 Sq Ft = 9.06%	

Floor area Breakdown

#1 Existing Mobile home	1654 Sq Ft
#2 Existing Garage/Office	1558 Sq Ft
Total Existing Floor area	3213 Sq Ft
#8 Proposed Home/Garage	4623 Sq Ft
#1 Removal of Mobile home	-1654 Sq Ft
Total Proposed Floor area	6182 Sq Ft 6.85%
Max allowable Floor area	6200 Sq Ft

INFORMATION

- Parcel # 036-261-160 & 036-261-160
- 1490 Cypress Street, Moss Beach, Ca. 94037
- Zoning RM-CZ/DR/CD
- 2.067 +/- Acres 90015 Sq Ft
- Setbacks 5' front 20' sides and rear
- Max height 28' Proposed max height 20'
- Refer to C1 for Topography information
- New landscaping 200 Sq. Ft Revegetation 1100 Sq. Ft.
- Underground Drip irrigation system
- No Tree removal



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No.	Description	Date
1	Design Review Requested City #1	03/07/2020
2	Design review requested City #2	04/10/2020
3	Design Review Requested City #3	04/23/2020
4	Design Review Requested City #4	05/05/2020
5	MWD Car Fire/SMAC Health	11/23/2020
6	CSF-Fire Checked complete	12/16/2020
7	CDR meeting request	03/13/2021

Redtail Ranch
David Morris
Lori Rhodes
602-743-7129

1davemorris@comcast.net

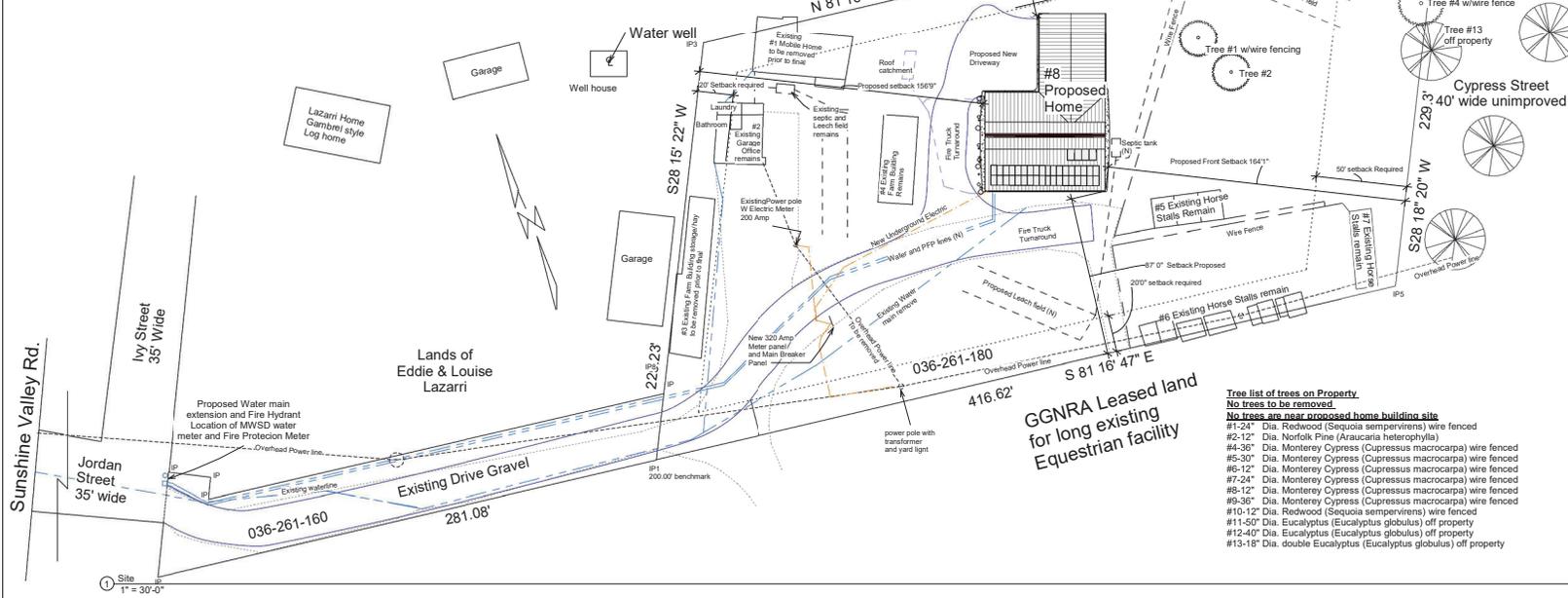
1490 Cypress Street
Moss Beach CA 94037

Site

Project number	1
Date	02/15/2020
Drawn by	David Morris
Checked by	

A100

Scale 1" = 30'-0"



- Tree list of trees on Property**
- No trees to be removed
- No trees are near proposed home building site
- #1-24" Dia. Redwood (Sequoia sempervirens) wire fenced
 - #2-12" Dia. Norfolk Pine (Araucaria heterophylla)
 - #4-36" Dia. Monterey Cypress (Cupressus macrocarpa) wire fenced
 - #5-30" Dia. Monterey Cypress (Cupressus macrocarpa) wire fenced
 - #6-12" Dia. Monterey Cypress (Cupressus macrocarpa) wire fenced
 - #7-24" Dia. Monterey Cypress (Cupressus macrocarpa) wire fenced
 - #8-12" Dia. Monterey Cypress (Cupressus macrocarpa) wire fenced
 - #9-36" Dia. Monterey Cypress (Cupressus macrocarpa) wire fenced
 - #10-12" Dia. Redwood (Sequoia sempervirens) wire fenced
 - #11-50" Dia. Eucalyptus (Eucalyptus globulus) off property
 - #12-40" Dia. Eucalyptus (Eucalyptus globulus) off property
 - #13-18" Dia. double Eucalyptus (Eucalyptus globulus) off property

10/2020 17:46:06 AM

No.	Description	Date
1	Design Review Requested Chg #1	03/07/2020
2	Design review requested Chg #2	04/10/2020
3	Design Review Requested Chg #3	04/23/2020
4	Design Review Requested Chg #4	05/05/2020
5	MWD/CD Car Fire/SMAC Health	11/23/2020
6	CD/Fire Checklist completed	12/16/2020
7	CDR meeting request	03/13/2021

Redtail Ranch
David Morris
Lori Rhodes
602-743-7129

1davemorris@comcast.net

1490 Cypress Street
Montara CA 94037

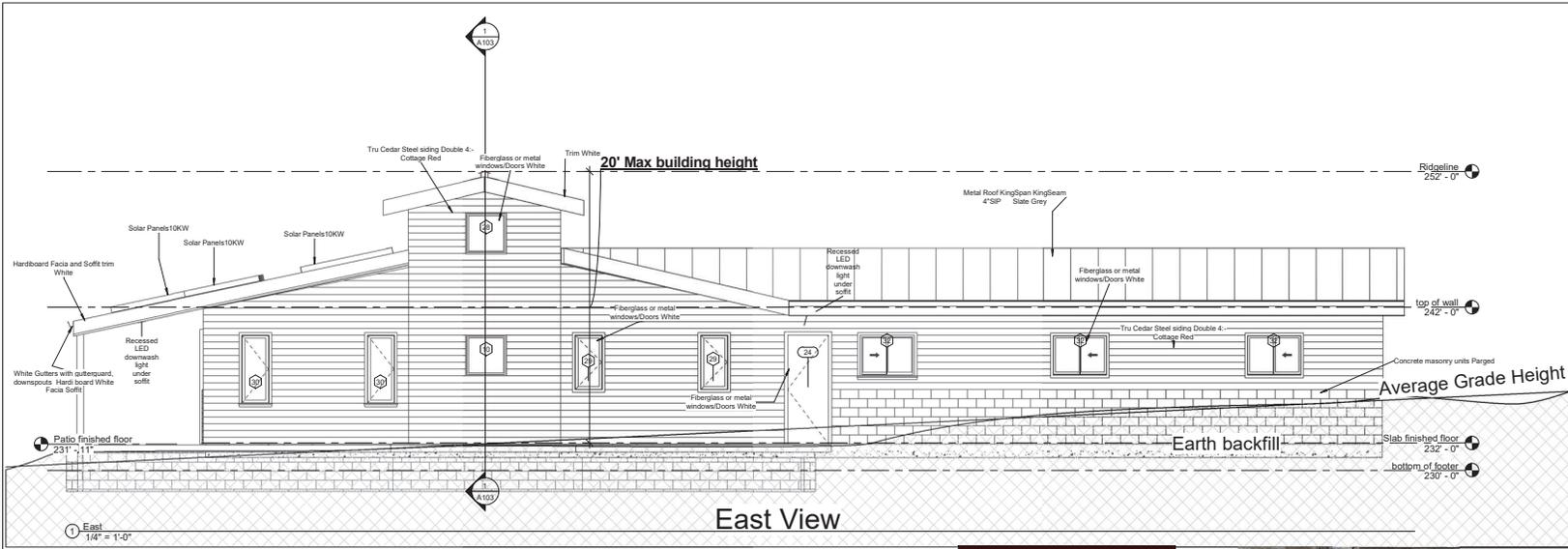
**Elevations
East/West**

Project number	1
Date	02/15/2020
Drawn by	David Morris
Checked by	

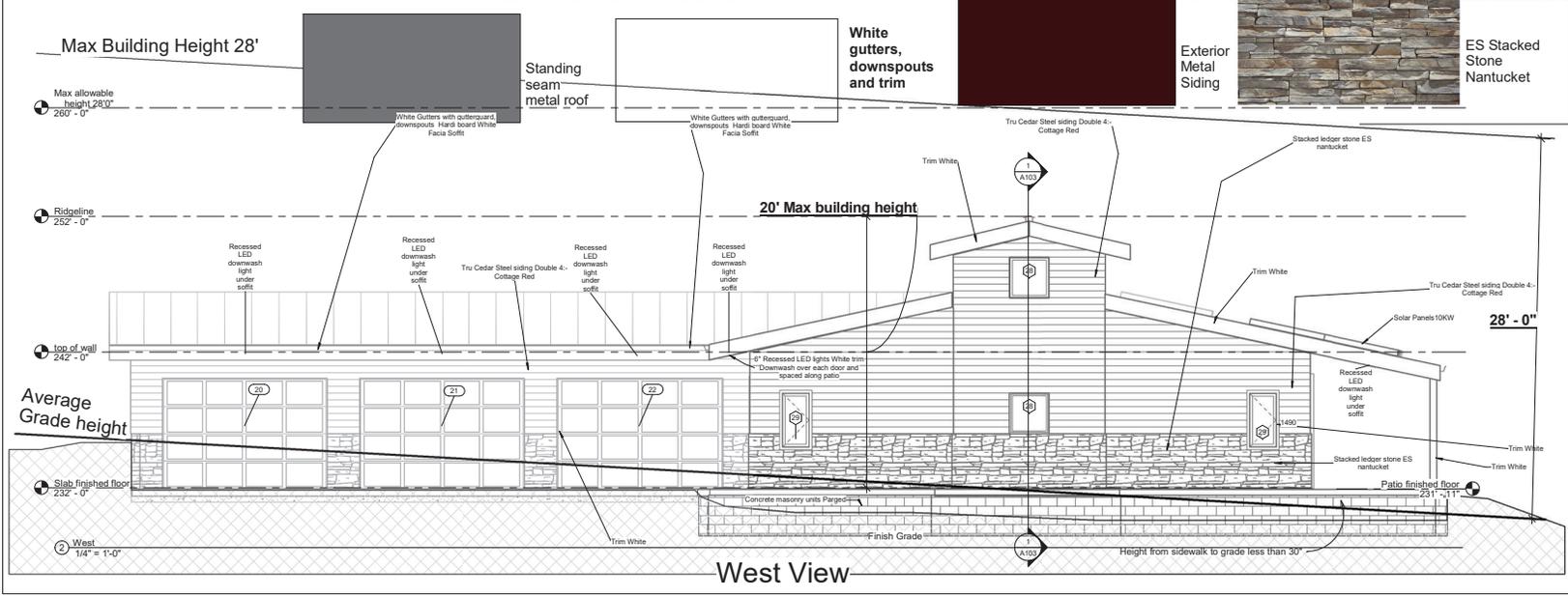
A101

Scale 1/4" = 1'-0"

3/13/2021 7:47:00 PM



East View



West View

FIRE JURISDICTION:
 COASTSIDE FIRE
 SM COUNTY FIRE

San Mateo County Building Dept.
 2019 CRC -R337 Development Worksheet
 Materials and Construction Methods for
 Exterior Wildfire Exposure

Project is located in State Responsibility Area (SRA): Yes No
 If in SRA, is project in a Very High Fire Hazard Severity Zone (VHFHSZ): Yes No

Project is located in Local Responsibility Area (LRA): Yes No
 If in LRA, is project in a Very High Fire Hazard Severity Zone (VHFHSZ): Yes No

Applicable Code Sections	OK	NA	Approved Material (if applicable)	Location (in Plans)
Roofing Minimum (2019 CRC R062.1.2) Roof covering, min. 5/8" Class A SRA and LRA VHFHSZ (2019 CRC R062.1.1) When not parallel to the slope between the roof covering and deck, the space shall be constructed to prevent the penetration of flames and embers. Fire stopped or have one layer of No. 72 ASTM D 3999 cap sheet over the combustible decking. (R337.5.2) Valley Flashing min. 4.019" wide (No. 26 galv. zinc-coated) extend over 3/4" deck wide underlayment of No. 72 to metal-decked nonperforated ASTM D 3999 cap sheet. (R337.5.3) Roof gables shall be provided with the means to prevent the accumulation of debris. (R337.5.4)	X		Standing seam Steel roof	A101.A102
	X		Standing seam Steel roof	
	X		HydroShield gutter guards	A101.A102

Applicable Code Sections	OK	NA	Approved Material (if applicable)	Location (in Plans)
Yards Ventilation openings for attic, enclosed roof soffits, and enclosed roof spaces and attached areas shall be non-combustible, corrosion resistant, and have wire mesh with 1/8" x 1/8" mesh (1.6 x 2.0 mm opening) or its equivalent. (R337.6.2)	X			
Fire Vents Vents shall not be installed in eaves and soffits. Exceptions: 1. Approved flame and ember resistant vents. 2. Area is fully protected by an automatic fire sprinkler system, and 3. Eaves and soffits are protected by a fire-resistant system, and is tested to 1.2 hours from impact tests made with an ember burner. (R337.6.3)	X			

Applicable Code Sections	OK	NA	Approved Material (if applicable)	Location (in Plans)
Exterior Coverings Exterior walls shall comply with one of the following: (R337.7.1) 1. Noncombustible material. 2. Ignition-resistant material. 3. Material that meets the 15-minute charring height exterior covering. 4. Inert fire-resistant exterior assembly. 5. Stone, masonry or glass less than 4" thick. 6. Log wall construction. 7. If applicable, concrete 4" thick. 8. Concrete or masonry over 4" thick. 9. Concrete or masonry over 4" thick with a 1/2" mineral wool insulation over the exterior wall above. (R337.7.4) 10. 1/2" mineral wool insulation over the exterior wall above. (R337.7.5) 11. 1/2" mineral wool insulation over the exterior wall above. (R337.7.6) 12. 1/2" mineral wool insulation over the exterior wall above. (R337.7.7) 13. 1/2" mineral wool insulation over the exterior wall above. (R337.7.8) 14. 1/2" mineral wool insulation over the exterior wall above. (R337.7.9) 15. 1/2" mineral wool insulation over the exterior wall above. (R337.7.10) 16. 1/2" mineral wool insulation over the exterior wall above. (R337.7.11) 17. 1/2" mineral wool insulation over the exterior wall above. (R337.7.12) 18. 1/2" mineral wool insulation over the exterior wall above. (R337.7.13) 19. 1/2" mineral wool insulation over the exterior wall above. (R337.7.14) 20. 1/2" mineral wool insulation over the exterior wall above. (R337.7.15) 21. 1/2" mineral wool insulation over the exterior wall above. (R337.7.16) 22. 1/2" mineral wool insulation over the exterior wall above. (R337.7.17) 23. 1/2" mineral wool insulation over the exterior wall above. (R337.7.18) 24. 1/2" mineral wool insulation over the exterior wall above. (R337.7.19) 25. 1/2" mineral wool insulation over the exterior wall above. (R337.7.20)	X		Tru Cedar double 4 steel siding	A101.A102
	X		Concrete slab	A101.A102
	X		Hardboard soffit and trim	A101.A102

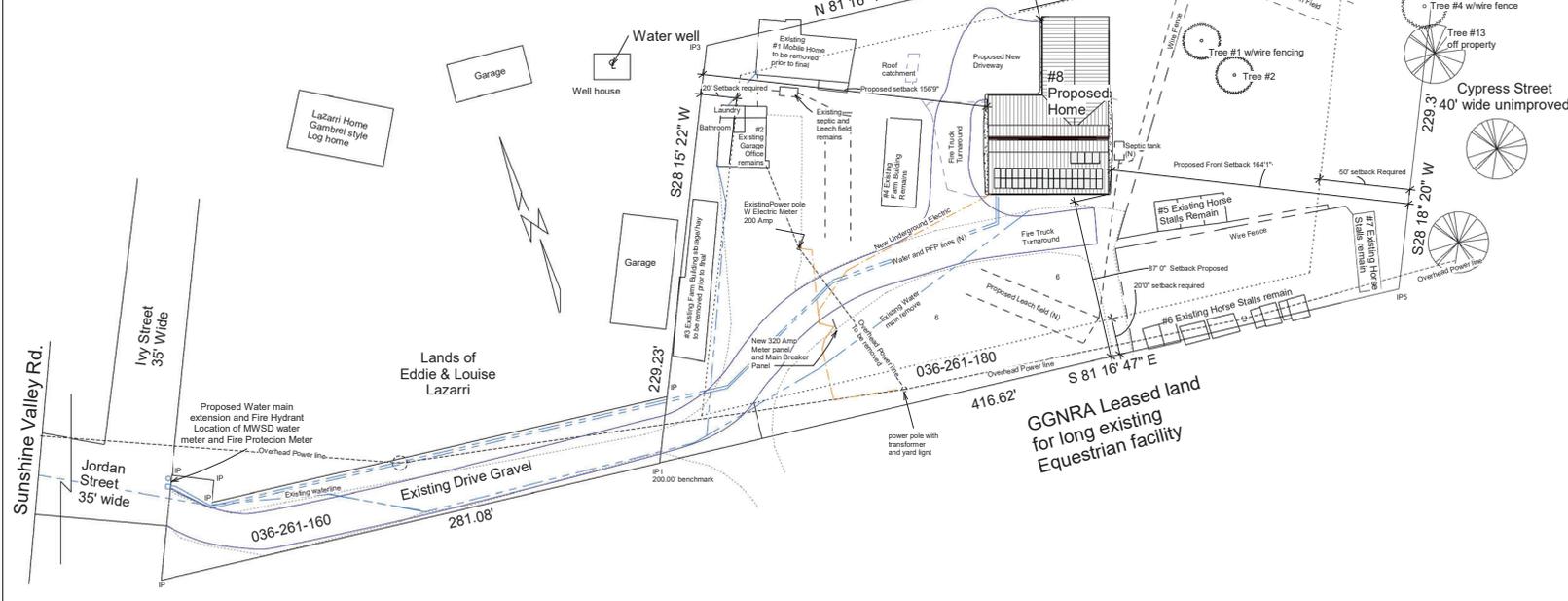
Applicable Code Sections	OK	NA	Approved Material (if applicable)	Location (in Plans)
Exterior Coverings (continued) The exposed surface of exterior roof eaves and roof areas shall be protected by one of the following: (R337.7.1) 1. Hardboard soffit and trim. 2. Ignition-resistant material. 3. Material that meets the 15-minute charring height exterior covering. 4. Inert fire-resistant exterior assembly. 5. Stone, masonry or glass less than 4" thick. 6. Log wall construction. 7. If applicable, concrete 4" thick. 8. Concrete or masonry over 4" thick. 9. Concrete or masonry over 4" thick with a 1/2" mineral wool insulation over the exterior wall above. (R337.7.4) 10. 1/2" mineral wool insulation over the exterior wall above. (R337.7.5) 11. 1/2" mineral wool insulation over the exterior wall above. (R337.7.6) 12. 1/2" mineral wool insulation over the exterior wall above. (R337.7.7) 13. 1/2" mineral wool insulation over the exterior wall above. (R337.7.8) 14. 1/2" mineral wool insulation over the exterior wall above. (R337.7.9) 15. 1/2" mineral wool insulation over the exterior wall above. (R337.7.10) 16. 1/2" mineral wool insulation over the exterior wall above. (R337.7.11) 17. 1/2" mineral wool insulation over the exterior wall above. (R337.7.12) 18. 1/2" mineral wool insulation over the exterior wall above. (R337.7.13) 19. 1/2" mineral wool insulation over the exterior wall above. (R337.7.14) 20. 1/2" mineral wool insulation over the exterior wall above. (R337.7.15) 21. 1/2" mineral wool insulation over the exterior wall above. (R337.7.16) 22. 1/2" mineral wool insulation over the exterior wall above. (R337.7.17) 23. 1/2" mineral wool insulation over the exterior wall above. (R337.7.18) 24. 1/2" mineral wool insulation over the exterior wall above. (R337.7.19) 25. 1/2" mineral wool insulation over the exterior wall above. (R337.7.20)	X		Hardi Soffit and Hardboard trim	A101.A102
	X		Hardi Soffit and Hardboard trim	A101.A102
	X		Aluminum or Fiberglass windows by Pella double pane minimum with one tempered pane and 20 minute fire rating.	A101.A102

Applicable Code Sections	OK	NA	Approved Material (if applicable)	Location (in Plans)
Exterior Cladding Exterior windows, glazed doors, glazed openings within exterior doors and structural glass curtain walls shall be constructed of one of the following: Note: Pressure sensitive glazing shall not be used on fire-rated exterior walls. 1. Multiple-pane units with a minimum of one tempered pane meeting the 20-minute fire rating. 2. Glass block units. 3. Two-pane exterior fire-rated windows. 4. Glass block units. 5. Glass block units. 6. Glass block units. 7. Glass block units. 8. Glass block units. 9. Glass block units. 10. Glass block units. 11. Glass block units. 12. Glass block units. 13. Glass block units. 14. Glass block units. 15. Glass block units. 16. Glass block units. 17. Glass block units. 18. Glass block units. 19. Glass block units. 20. Glass block units. 21. Glass block units. 22. Glass block units. 23. Glass block units. 24. Glass block units. 25. Glass block units.	X		Aluminum or Fiberglass windows by Pella double pane minimum with one tempered pane and 20 minute fire rating.	A101.A102
Exterior Cladding (continued) Exterior doors, including garage doors, shall comply with one of the following: (R337.8.1) 1. Surface or cladding of fire-resistive, or ignitions-resistant material. 2. Construction of solid core wood framing, walls and sub-floor less than 1/2" thick. (R337.8.2) 3. Have a fire resistance rating of not less than 20 minutes. 4. Meet ASTM E 1754.	X		Garage doors steel insulated Rear passage door steel insulated Front door Solid wood or Fiberglass with fire resistance of not less than 20 minutes.	A101.A102
Roofing The working surface material of decks, porches, balconies and other flat horizontal areas of the following where any portion of each surface is within 10 ft of the exterior: (R337.9.1) 1. Ignition-resistant materials that complies with ASTM E 1754 and E 1754-1. 2. Ignition-resistant material. 3. Noncombustible material. 4. Material that meets the 15-minute charring height exterior covering or ignition-resistant material. 5. Material that meets the 15-minute charring height exterior covering or ignition-resistant material. 6. Material that meets the 15-minute charring height exterior covering or ignition-resistant material. 7. Material that meets the 15-minute charring height exterior covering or ignition-resistant material. 8. Material that meets the 15-minute charring height exterior covering or ignition-resistant material. 9. Material that meets the 15-minute charring height exterior covering or ignition-resistant material. 10. Material that meets the 15-minute charring height exterior covering or ignition-resistant material. 11. Material that meets the 15-minute charring height exterior covering or ignition-resistant material. 12. Material that meets the 15-minute charring height exterior covering or ignition-resistant material. 13. Material that meets the 15-minute charring height exterior covering or ignition-resistant material. 14. Material that meets the 15-minute charring height exterior covering or ignition-resistant material. 15. Material that meets the 15-minute charring height exterior covering or ignition-resistant material. 16. Material that meets the 15-minute charring height exterior covering or ignition-resistant material. 17. Material that meets the 15-minute charring height exterior covering or ignition-resistant material. 18. Material that meets the 15-minute charring height exterior covering or ignition-resistant material. 19. Material that meets the 15-minute charring height exterior covering or ignition-resistant material. 20. Material that meets the 15-minute charring height exterior covering or ignition-resistant material. 21. Material that meets the 15-minute charring height exterior covering or ignition-resistant material. 22. Material that meets the 15-minute charring height exterior covering or ignition-resistant material. 23. Material that meets the 15-minute charring height exterior covering or ignition-resistant material. 24. Material that meets the 15-minute charring height exterior covering or ignition-resistant material. 25. Material that meets the 15-minute charring height exterior covering or ignition-resistant material.	X		Concrete slab	A101.A102
Accessories Porches, patios, decks, awnings, and similar structures attached to exterior walls and attached buildings shall be constructed of one of the following: (R337.10) 1. Ignition-resistant material. 2. Material that meets the 15-minute charring height exterior covering. 3. Material that meets the 15-minute charring height exterior covering. 4. Material that meets the 15-minute charring height exterior covering. 5. Material that meets the 15-minute charring height exterior covering. 6. Material that meets the 15-minute charring height exterior covering. 7. Material that meets the 15-minute charring height exterior covering. 8. Material that meets the 15-minute charring height exterior covering. 9. Material that meets the 15-minute charring height exterior covering. 10. Material that meets the 15-minute charring height exterior covering. 11. Material that meets the 15-minute charring height exterior covering. 12. Material that meets the 15-minute charring height exterior covering. 13. Material that meets the 15-minute charring height exterior covering. 14. Material that meets the 15-minute charring height exterior covering. 15. Material that meets the 15-minute charring height exterior covering. 16. Material that meets the 15-minute charring height exterior covering. 17. Material that meets the 15-minute charring height exterior covering. 18. Material that meets the 15-minute charring height exterior covering. 19. Material that meets the 15-minute charring height exterior covering. 20. Material that meets the 15-minute charring height exterior covering. 21. Material that meets the 15-minute charring height exterior covering. 22. Material that meets the 15-minute charring height exterior covering. 23. Material that meets the 15-minute charring height exterior covering. 24. Material that meets the 15-minute charring height exterior covering. 25. Material that meets the 15-minute charring height exterior covering.	X		Hardboard soffit and trim	A101.A102

Office of the San Francisco Building Inspector: Building Materials Using: http://codebooks.sfdph.org/dph/ceh/ceh_codebooks.htm
 Fire Department: <http://www.fire.ca.gov>
 State Fire Marshal: <http://www.fire.ca.gov>
 State Fire Marshal: <http://www.fire.ca.gov>

Cal Fire Notes

- This project is located in a Very High Fire Hazard Severity Zone Class A roof Required. Structure will comply with CRC 2016 Section R337 requirements.
- A fuel break of defensible space is required around the perimeter of the structure a minimum of 30'-100' trees pruned to 6' above ground.
- Clove 960 Fire hydrant to be installed adjacent to property line entrance meeting requirements of CFC 2019 appendix B and C within 500' of structure.
- Road to be paved minimum 20' wide 35' centerline radius 15' height clearance with turnaround as per CFC 2019 Appendix D.
- An automatic Fire Sprinkler system and smoke detectors will be installed per Coastside Fire District ordinance 2016-01 protecting the house and garage.
- Solar Photovoltaic system shall meet the requirements of 2016 CFC Section 605.11
- Residence will have internally illuminated address numbers with contrasting background 4" in height and 1/2" stroke at least 6' above finished surface of driveway. Additional signage at the driveway entrance consisting of 6" x 18" green reflective metal sign with 3" reflective numbers and letters similar to Hy-Ko 911 or equivalent.



AUTODESK
www.autodesk.com/revit

No.	Description	Date
1	Design Review Requested Chg #1	03/07/2020
2	Design Review Requested Chg #2	04/10/2020
3	Design Review Requested Chg #3	04/23/2020
4	Design Review Requested Chg #4	05/05/2020
5	MWD Car Fire/SMC Health	11/23/2020
6	CSF Fire Checked completed	12/02/2020

Redtail Ranch
 David Morris
 Lori Rhodes
 602-743-7129

1davemorris@comcast.net

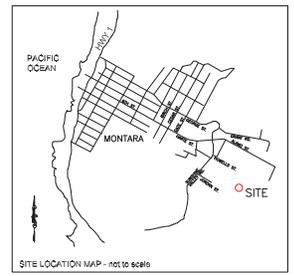
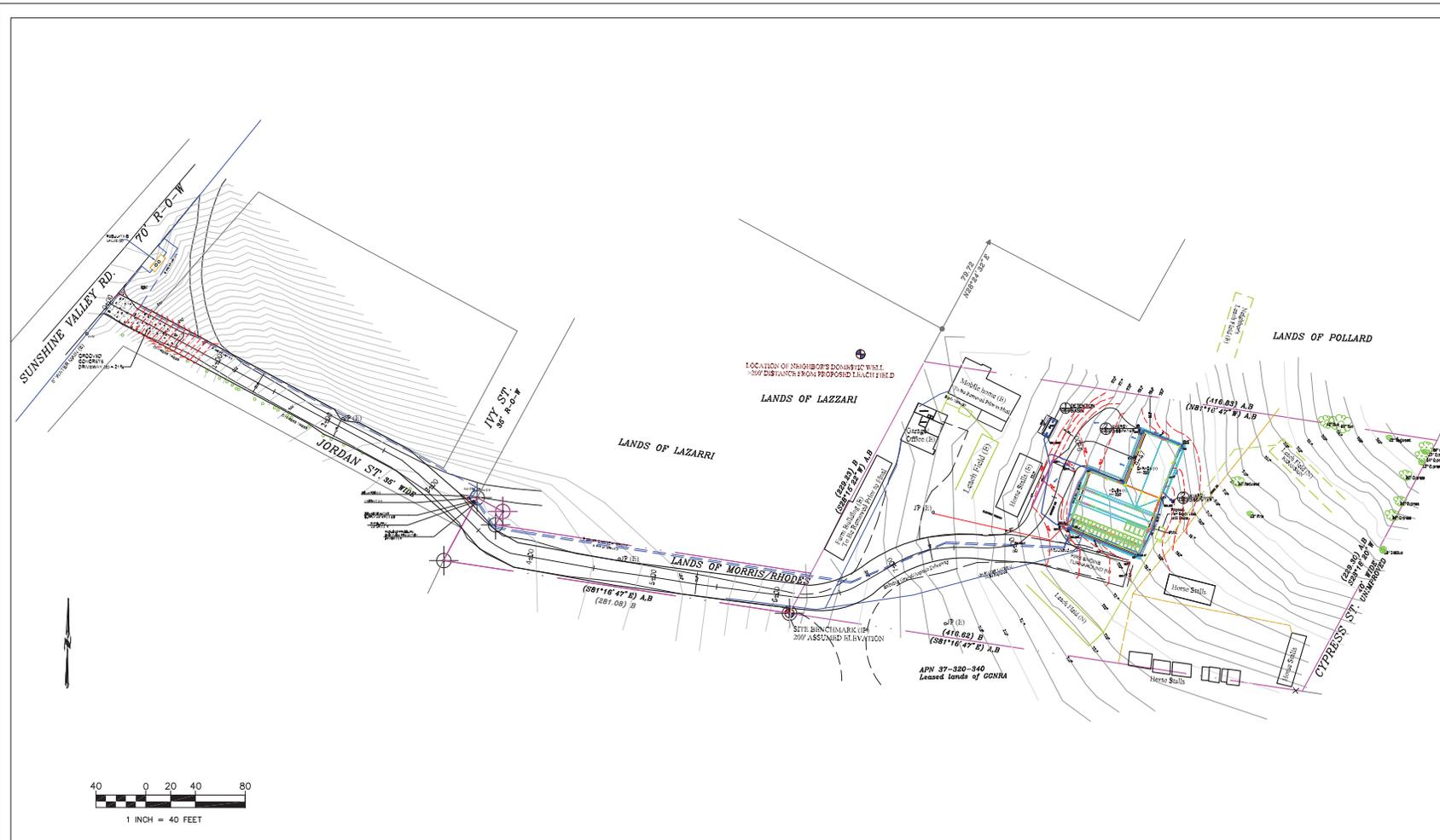
1490 Cypress Street
 Montara CA 94037

Fire Prevention

Project number: 1
 Date: 02/15/2020
 Drawn by: David Morris
 Checked by: Lori Rhodes

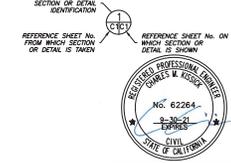
A108

Scale: 1" = 30'-0"



- LEGEND**
- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - PROPOSED SPOT ELEVATION
 - \varnothing 255.0
 - \varnothing DS
 - PROPOSED DRIVEWAY
 - PROPOSED RETAINING WALL
- ABBREVIATIONS**
- N NEW, OR PROPOSED
 - E EXISTING
 - JP JOINT POLE
 - VLV VALVE
 - R-O-W RIGHT OF WAY

SECTION AND DETAIL CONVENTION



GENERAL NOTES

1. PLANS PREPARED AT REQUEST OF: DAVID MORRIS, OWNER
2. ELEVATION DATUM: ASSUMED
3. CONTOUR INTERVAL IS 2 FEET
4. SITE SURVEYED BY FOR RECORD OF SURVEY JUNE, 2017 BY TURNROSE LAND SURVEYING. TOPOGRAPHY BY SIGMA PRIME AUGUST, 2019
5. THIS IS NOT A BOUNDARY SURVEY.
6. TOTAL DISTURBED AREA FOR ROAD AND HOUSE = 34,000 SF.
7. THE GEOTECHNICAL REPORT: **GEOTECHNICAL STUDY:** BY SIGMA PRIME GEOSCIENCES, PROJECT NO. 19-120. REPORT SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, WITH THE CONTACT NUMBER (650) 723-3590. THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
8. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUG-BGRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650) 305-8405 EXT 181) TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

RECEIVED PROFESSIONAL ENGINEER
 No. 62364
 8-26-21
 Expired
 CIVIL
 STATE OF CALIFORNIA

DATE: 11-15-20	DRAWN BY: CLK	CHECKED BY: JAB	REV. DATE:	REV. DATE:
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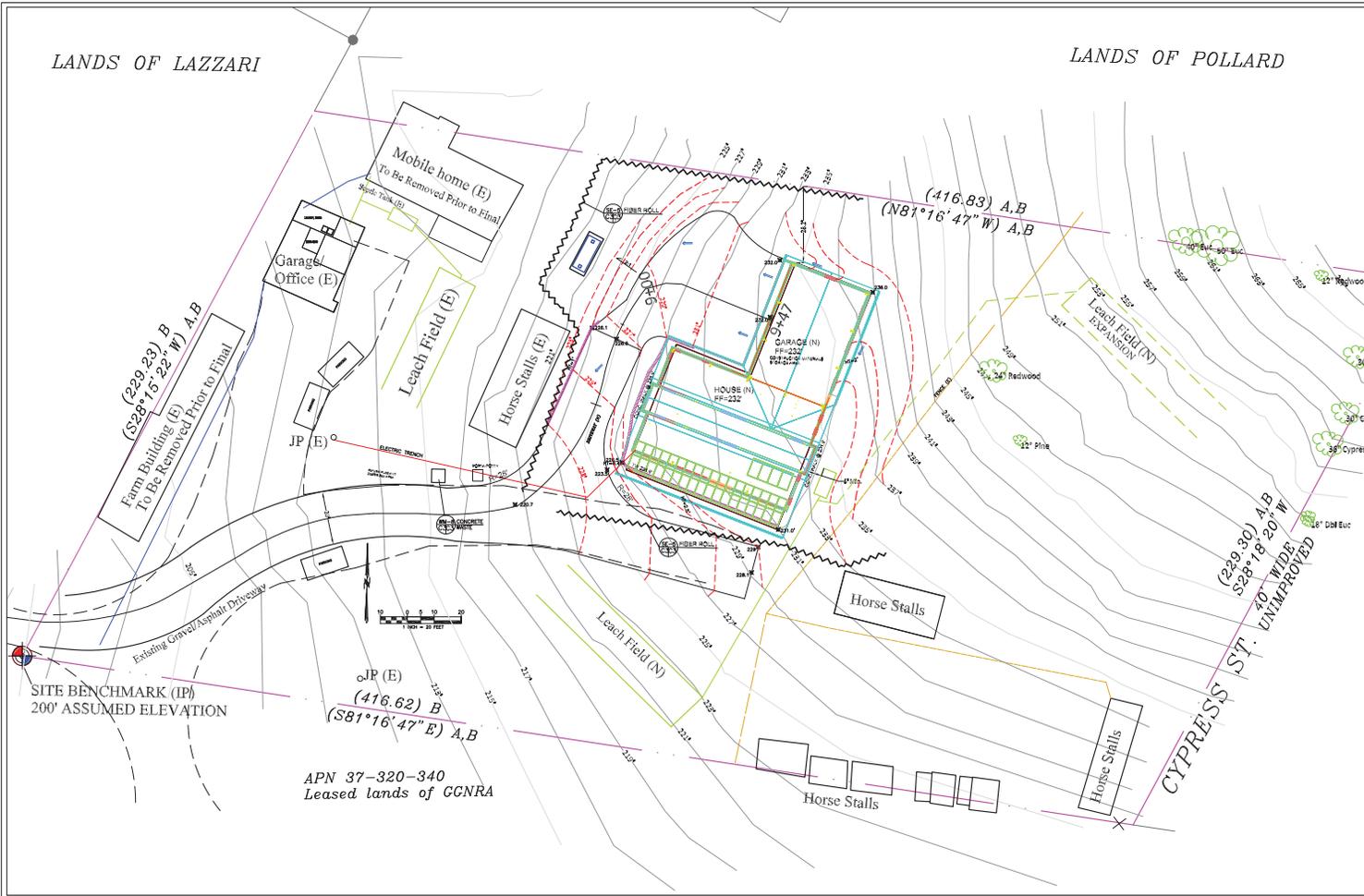
SITE PLAN
 MORRIS/RHODES PROPERTY
 1450 CYPRESS STREET
 MONTARA, CALIFORNIA
 APN 035-261-150

SHEET
 C-1

FOR PLANNING PURPOSES ONLY
 NOT FOR CONSTRUCTION

LANDS OF LAZZARI

LANDS OF POLLARD



GENERAL EROSION AND SEDIMENT CONTROL NOTES

- FIBER ROLL INSTALL AT LOCATIONS SHOWN. AFK AS SHOWN IN DETAIL SE-5
- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There are no trees or driplines within the construction area.



EROSION CONTROL POINT OF CONTACT

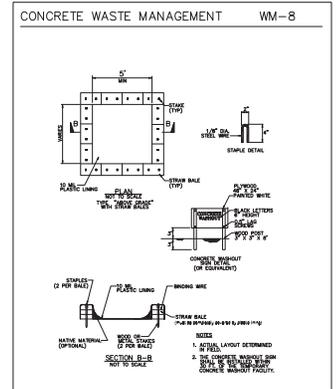
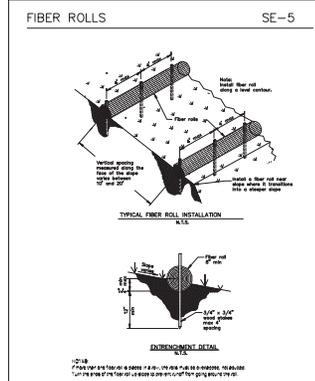
THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: DAVID MORRIS
 TITLE/QUALIFICATION: OWNER
 PHONE: 650.745.7129
 PHONE:
 E-MAIL: DMORRIS@COMCAST.NET

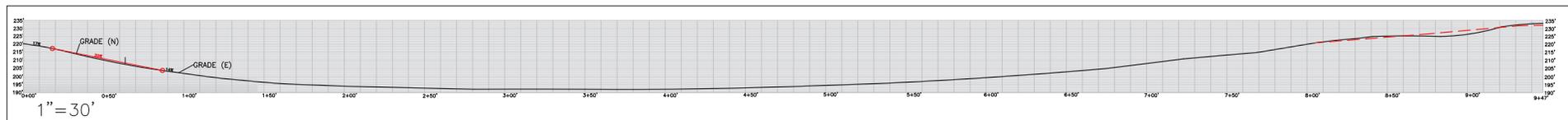
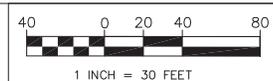
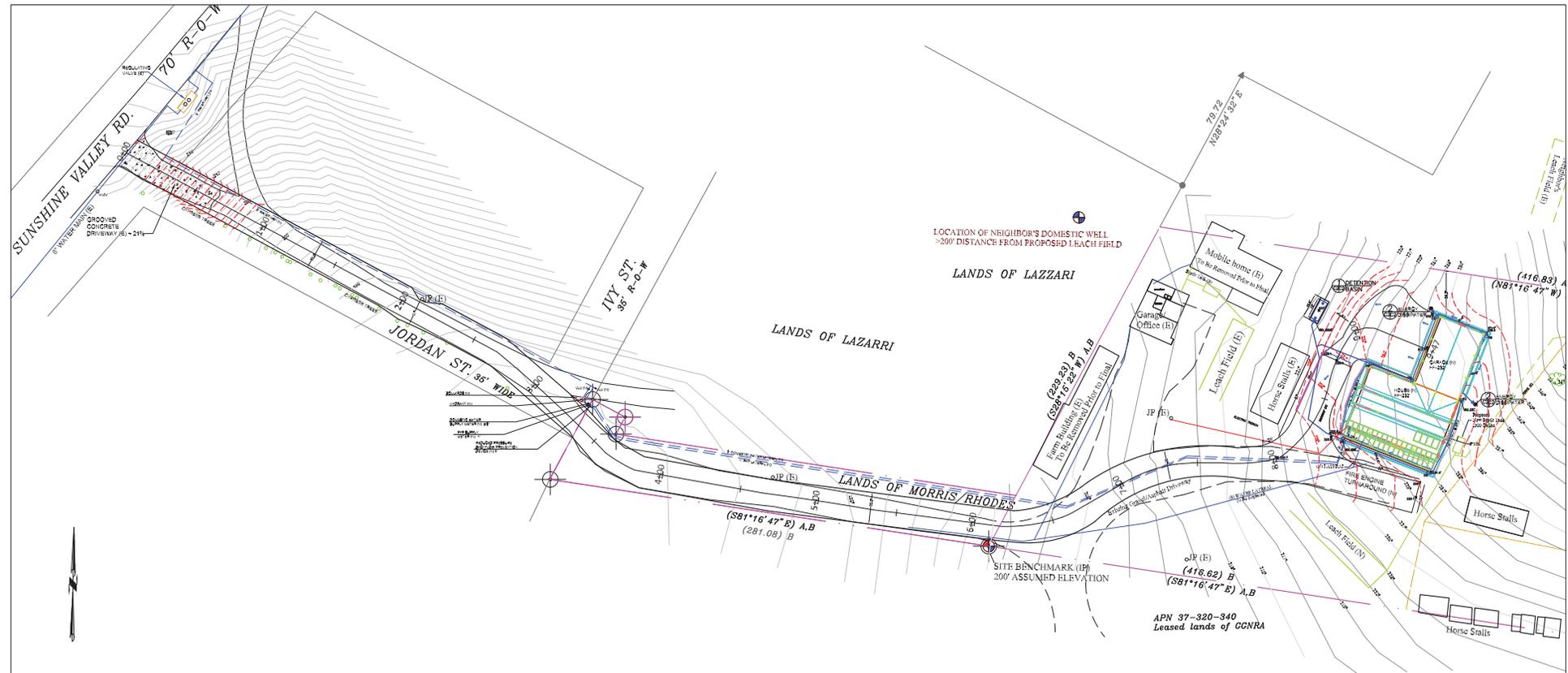
Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 1430 CYPRESS STREET
 MONTEBello, CA 94040
 (925) 728-8390
 FAX: 725-9080

APN 37-320-340
 Leased lands of CCNRA

FOR PLANNING PURPOSES ONLY
 NOT FOR CONSTRUCTION



DATE: 11-15-20	DRAWN BY: CLK	EROSION AND SEDIMENT CONTROL PLAN
CHECKED BY: JMB	REVISIONS:	MORRIS/RHODES PROPERTY
REV. DATE:	REV. DATE:	1430 CYPRESS STREET
REV. DATE:	REV. DATE:	MONTEBello, MONTANA
REV. DATE:	REV. DATE:	APN 036-261-480
SHEET		C-3



GENERAL NOTES

1. PLANS PREPARED AT REQUEST OF: DAVID MORRIS, OWNER
2. ELEVATION DATUM: ASSUMED
3. CONTOUR INTERVAL IS 2 FEET AROUND THE HOUSE SITE FOR CLARITY. CONTOUR INTERVAL IS 1 FOOT FOR DRIVEWAY FOR GREATER ACCURACY.
4. SITE SURVEYED BY FOR RECORD OF SURVEY JUNE, 2017 BY TURNROSE LAND SURVEYING. TOPOGRAPHY BY SIGMA PRIME AUGUST, 2019 AND SEPTEMBER 2020.
5. THIS IS NOT A BOUNDARY SURVEY.

EARTHWORK AND PAVING NOTES

CUT VOLUME: 10 CY
 FILL VOLUME: 10 CY
 LENGTH OF PROPOSED PAVED ROAD = 847 FT (TO GARAGE)
 AREA OF EXISTING PAVED SURFACES ALONG ROAD ALIGNMENT = 17,211 SF
 AREA OF PROPOSED PAVED OR CHIP-SEALED SURFACES = 21,721 SF
 NET INCREASE = 4,510 SF (NEW IMPERVIOUS SURFACES WHERE ROAD IS HYDRENED)
 PAVED ROAD SHALL BE 2" ASPHALT OVER 4" CLASS 2 BASE ROCK.
 PAVED ROAD SURFACES BLOTTED AT OVER 10% SHALL BE 10% 5/8" ASPHALT OR CONCRETE (87A 0+0 TO 0+87).

DATE: 11-05-20	DRAWN BY: CLK	Sigma Prime Geomatics, Inc.
CHECKED BY: ASB	REV. DATE:	NOVA DRIVE RESOURCES, INC.
REV. DATE:	REV. DATE:	332 PRINCETON AVENUE
REV. DATE:	REV. DATE:	HALF MOON BAY, CA 94019
REV. DATE:	REV. DATE:	ap@sigma@signal.com

**ACCESS ROAD PLAN
 FOR EMERGENCY VEHICLES**
 MORRIS/RHODES PROPERTY
 1490 CYPRESS STREET
 MONTARA, CALIFORNIA
 APN 036-261-180

FOR PLANNING PURPOSES ONLY
 NOT FOR CONSTRUCTION

SHEET
 C-4



SAN MATEO COUNTYWIDE

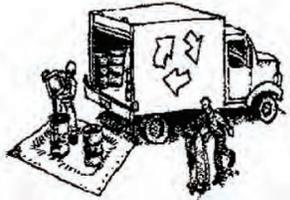
Water Pollution Prevention Program

Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



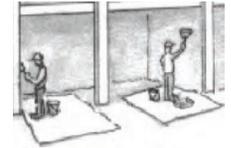
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

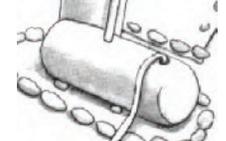
Painting & Paint Removal



Painting Cleanup and Removal

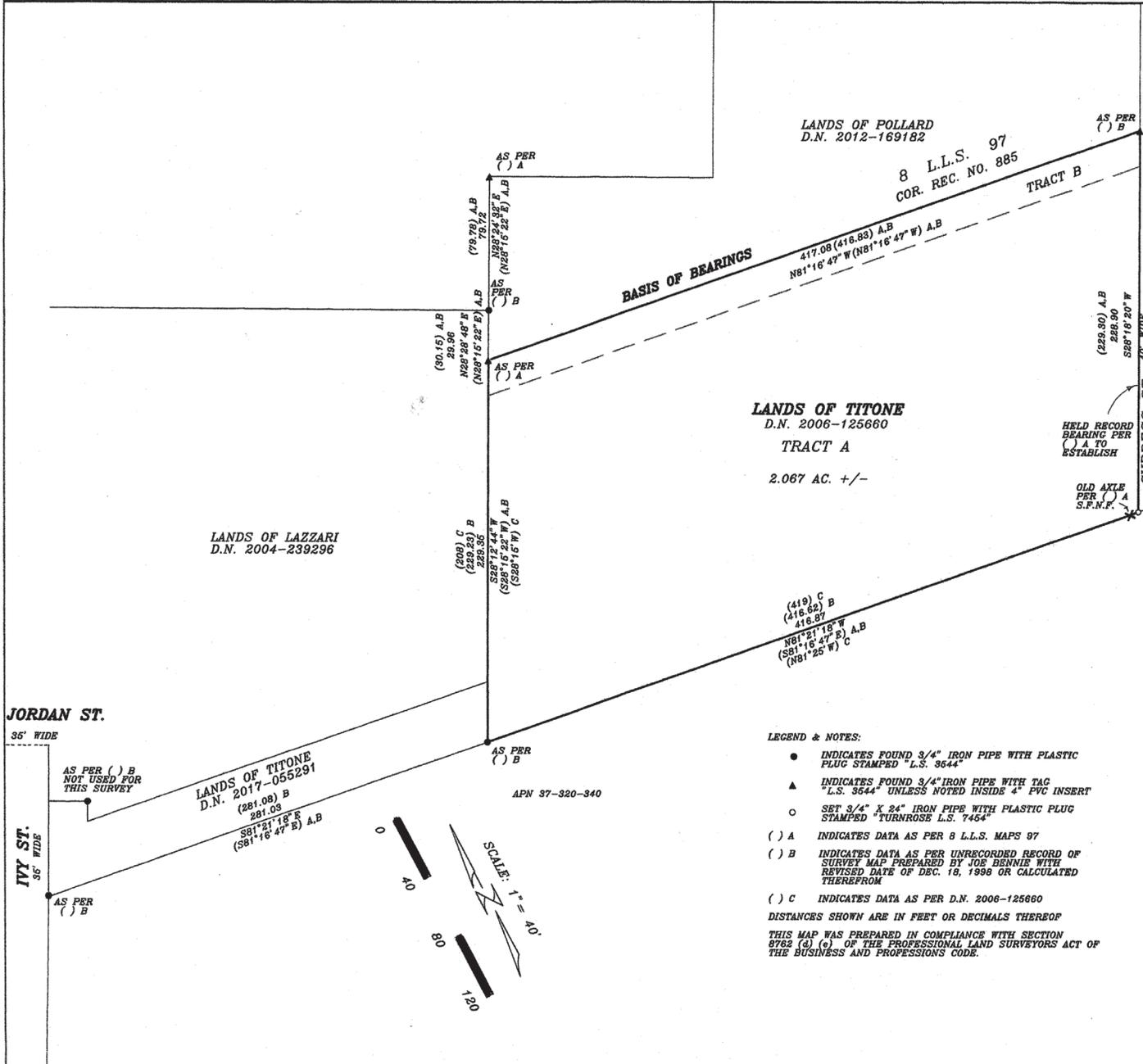
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS ACT AT THE REQUEST OF DEBRA TITONE IN JUNE 2017.

Michael T. Turnrose 2-2-18
 MICHAEL T. TURNROSE L.S. 7454 DATE
 LICENSE EXPIRES 12-31-18



BASIS OF BEARINGS

THE BEARING NORTH 81°16'47" WEST BEING THAT 2.021 ACRE PARCEL AS SHOWN VOLUME 8 OF L.L.S. MAPS AT PAGE IN 97 WAS TAKEN AS BASIS OF BEARINGS FOR THIS MAP.

COUNTY SURVEYOR'S STATEMENT

THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 8766 OF THE PROFESSIONAL LAND SURVEYORS ACT THIS 2ND DAY OF February, 2018.

John T. May
 JOHN T. MAY, L.S. 8570 DATE
 ACTING COUNTY SURVEYOR



COUNTY RECORDER'S STATEMENT

FILED THIS 21TH DAY OF February, 2018
 AT 4:40 P.M. IN VOLUME 45 OF L.L.S. MAPS
 AT PAGE 52, AT THE REQUEST OF MICHAEL TURNROSE.

FILE NO. 2018-900022 FEE \$24.00
 MARK CHURCH, COUNTY RECORDER
 BY: *Mark Church* DEPUTY

RECORD OF SURVEY

R/S NO. 3107
 LANDS OF TITONE
 PER DN 2006-125660
 SAN MATEO COUNTY RECORDS, CALIFORNIA.

UNINCORPORATED, SAN MATEO COUNTY CALIFORNIA
 SCALE: 1" = 40' DATE OF SURVEY: JUNE 2017

TURNROSE LAND SURVEYING
 125 EAST MAIN STREET NO. 4
 RIPON, CA 95366
 (209) 599-5100
 (650) 324-3316

LANDS OF POLLARD
 D.N. 2012-169182
 8 L.L.S. 97
 COR. REC. NO. 885
 TRACT B

LANDS OF TITONE
 D.N. 2006-125660
 TRACT A
 2.067 AC. +/-

LEGEND & NOTES:
 ● INDICATES FOUND 3/4" IRON PIPE WITH PLASTIC PLUG STAMPED "L.S. 3644"
 ▲ INDICATES FOUND 3/4" IRON PIPE WITH TAG "L.S. 3644" UNLESS NOTED INSIDE 4" PVC INSERT
 ○ SET 3/4" X 24" IRON PIPE WITH PLASTIC PLUG STAMPED "TURNROSE L.S. 7454"
 () A INDICATES DATA AS PER 8 L.L.S. MAPS 97
 () B INDICATES DATA AS PER UNRECORDED RECORD OF SURVEY MAP PREPARED BY JOE BENNIE WITH REVISED DATE OF DEC. 18, 1998 OR CALCULATED THEREFROM
 () C INDICATES DATA AS PER D.N. 2006-125660
 DISTANCES SHOWN ARE IN FEET OR DECIMALS THEREOF
 THIS MAP WAS PREPARED IN COMPLIANCE WITH SECTION 8762 (d) (e) OF THE PROFESSIONAL LAND SURVEYORS ACT OF THE BUSINESS AND PROFESSIONS CODE.

LANDS OF LAZZARI
 D.N. 2004-239296

LANDS OF TITONE
 D.N. 2017-055291

LOCATION OF NEIGHBOR'S DOMESTIC WELL
>200' DISTANCE FROM PROPOSED LEACH FIELD

Neighbor's Leach Field (E)
LANDS OF POLLARD
Domestic Water Served By MWSD

PROJECT DESCRIPTION

New 3 bedroom single family home to replace existing 2 bedroom house. New septic system is necessary.

A percolation test was performed on July 8, 2020 by Sigma Prime Geosciences, Inc.

Results show a "A" Percolation Rate.

OWTS design is for a 3 bedroom single family home, 140 linear feet of drain-field will be necessary for Primary and Expansion Fields with a 2,000 gallon septic tank. 4 leach fields are required, 2 leach fields "A" and "B" will be installed as the Primary leach fields, 2 leach fields "C" and "D" are shown on the plan as Expansion leach fields. This area must be protected and land in this area dedicated for future use when necessary.



LOCATION MAP (Not to Scale)

Existing Contour
Proposed Contour

P-1 PERCOLATION TEST LOCATIONS

SCOPE OF WORK

1. Install new 2,000 gallon Don Chapin Pre-Cast septic tank or equivalent as shown.
2. Install new primary leach trenches.
3. Install a new flow diversion valve and effluent filter.
4. Connect new septic tank to diversion valve and valve to tight lines and leach trenches as shown.
5. Connect new sewer lateral to inlet of new tank.

All material and methods shall comply with San Mateo County Environmental Health regulations, San Mateo County Building codes, and 2019 CBC. All work must be Inspected and approved before back-filling.

LAND USE FIELD & DATA REPORT

2000 Gallon Pre-Cast Septic Tank, Custom
Form: 8800 (12-03) For 8800 (12-03) www.landsurvey.com

PROJECT: 020011 DATE: 6/14/2020
CLIENT: MRS. J. BAKER PROJECT: 020011

FIELD NO. 1
DATE: 6/14/2020
TIME: 8:00 AM
WEATHER: Partly Cloudy, 65°F, Wind: 10-15 mph, Humidity: 65%

PERCOLATION TEST RESULTS:

DEPTH (ft)	1	2	3	4	5	6
1.00	3.5	4.0	4.5	5.0	5.5	6.0
2.00	3.5	4.0	4.5	5.0	5.5	6.0
3.00	3.5	4.0	4.5	5.0	5.5	6.0
4.00	3.5	4.0	4.5	5.0	5.5	6.0
5.00	3.5	4.0	4.5	5.0	5.5	6.0
6.00	3.5	4.0	4.5	5.0	5.5	6.0

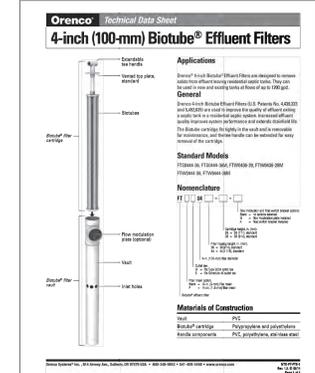
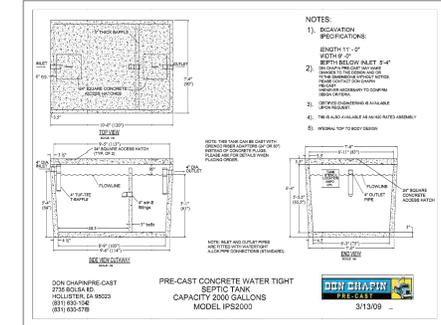
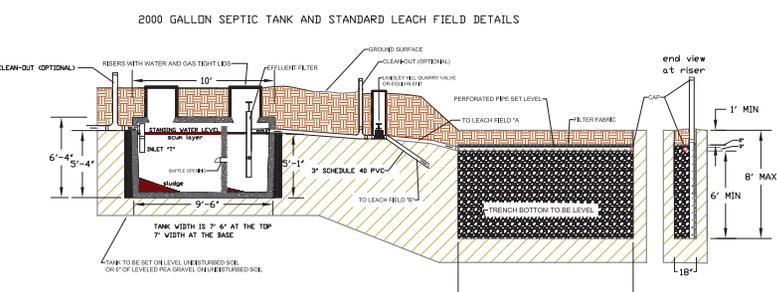
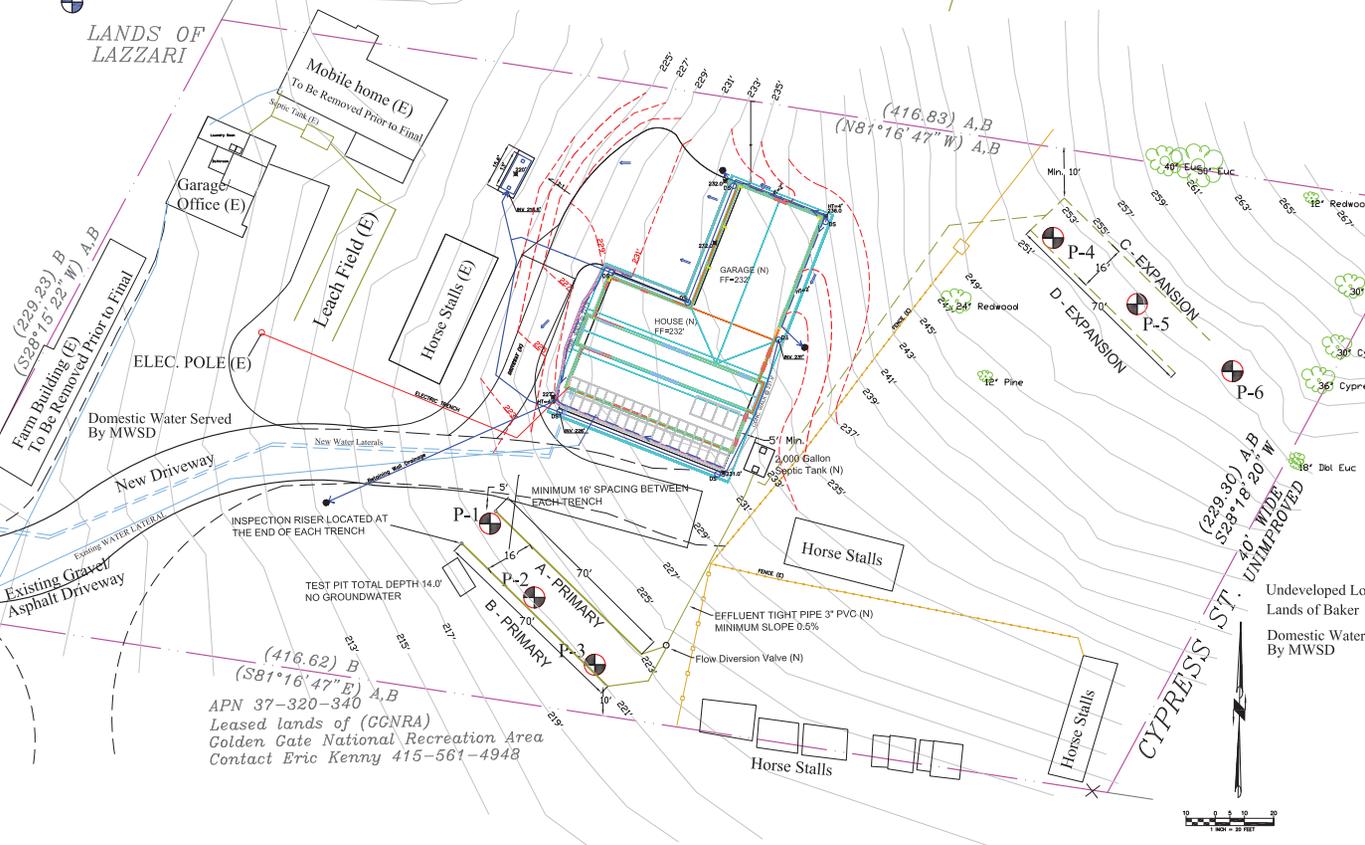
PERCOLATION RATE: 13.45%
PERCOLATION RATE: 13.45%
PERCOLATION RATE: 13.45%

PERCOLATION TEST RESULTS

DEPTH (ft)	1	2	3	4	5	6
1.00	3.5	4.0	4.5	5.0	5.5	6.0
2.00	3.5	4.0	4.5	5.0	5.5	6.0
3.00	3.5	4.0	4.5	5.0	5.5	6.0
4.00	3.5	4.0	4.5	5.0	5.5	6.0
5.00	3.5	4.0	4.5	5.0	5.5	6.0
6.00	3.5	4.0	4.5	5.0	5.5	6.0



Sigma Prime Geosciences, Inc.
SIGMA PRIME GEOSCIENCES, INC.
1490 CYPRESS STREET
MONTARA, CALIFORNIA
94035
(650) 726-5599
sigmaprime@gmail.com



PERCOLATION TEST RESULTS

DEPTH (ft)	1	2	3	4	5	6
1.00	3.5	4.0	4.5	5.0	5.5	6.0
2.00	3.5	4.0	4.5	5.0	5.5	6.0
3.00	3.5	4.0	4.5	5.0	5.5	6.0
4.00	3.5	4.0	4.5	5.0	5.5	6.0
5.00	3.5	4.0	4.5	5.0	5.5	6.0
6.00	3.5	4.0	4.5	5.0	5.5	6.0

Legend:
 Back Fill - Native Soil
 undisturbed soil
 3/4 Drain Rock or Compacted Fill
 Steel Reinforced Concrete
 3/4 to 1 1/2" Washed Rock

DATE: 11-19-2020
 DRAWN BY: AD
 CHECKED BY: CMK
 REV. DATE:
 REV. DATE:
SEPTIC SYSTEM PLAN
 BEDTALL RANCH
 1490 CYPRESS STREET
 MONTARA, CALIFORNIA
 APN: 0361-240-1190
SHEET
OWTS-1



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT E

County of San Mateo
Planning and Building Department

**INITIAL STUDY
ENVIRONMENTAL EVALUATION CHECKLIST**
(To Be Completed by Planning Department)

1. **Project Title:** Redtail Ranch New Single-Family Residence
2. **County File Number:** PLN2020-00067
3. **Lead Agency Name and Address:** County of San Mateo Planning & Building Department, 455 County Center, 2nd Floor, Redwood City, CA 94063
4. **Contact Person and Email:** Summer Burlison, Project Planner, sburlison@smcgov.org
5. **Project Location:** 1490 Cypress Street, Montara
6. **Assessor's Parcel Number and Size of Parcel:** 036-261-160 and 036-261-180 (2.3 acres)
7. **Project Sponsor's Name and Address:** David Richard Morris, 1490 Cypress Street, Montara, CA 94037
8. **Name of Person Undertaking the Project or Receiving the Project Approval (if different from Project Sponsor):** N/A
9. **General Plan Designation:** Very Low Density Residential
10. **Zoning:** RM-CZ/DR/CD (Resource Management-Coastal Zone/Design Review/Coastal Development)
11. **Description of the Project:** The proposed project requires a Coastal Development Permit, Resource Management Permit, Design Review, and Grading Permit for the construction of a new one-story, 3,190 sq. ft. residence with an attached 1,433 sq. ft. garage and a new septic system located on a legal 2.3-acre parcel. The project includes a new 6-inch water line extension along Jordan Street, from Sunshine Valley Road to the project property, minor road widening of Jordan Street, and a new hydrant and water meter. Grading in the amount of 610 cubic yards of cut and 235 cubic yards of fill is proposed to accommodate the project, and no tree removal. This project is appealable to the California Coastal Commission.
12. **Surrounding Land Uses and Setting:** The project site is surrounded by single-family residential uses to the north and west, agricultural uses to the south, and a vacant parcel to the east. The property has a gentle slope from west to east and has been used as a commercial horse boarding facility for over 20 years.
13. **Other Public Agencies Whose Approval is Required:** N/A
14. **Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code Section 21080.3.1? If so, is there a plan for consultation that includes, for example, the**

determination of significance of impacts to tribal cultural resources, procedures regarding confidentiality, etc.?: This project is not subject to Public Resources Code Section 21080.3.1 as the County of San Mateo has no records of written requests for formal notification of proposed projects within the County from any traditionally or culturally affiliated California Native American Tribes.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a “Potentially Significant Impact” or “Significant Unless Mitigated” as indicated by the checklist on the following pages.

	Aesthetics		Energy		Public Services
	Agricultural and Forest Resources		Hazards and Hazardous Materials		Recreation
X	Air Quality	X	Hydrology/Water Quality		Transportation
	Biological Resources		Land Use/Planning	X	Tribal Cultural Resources
	Climate Change		Mineral Resources		Utilities/Service Systems
X	Cultural Resources		Noise		Wildfire
X	Geology/Soils		Population/Housing	X	Mandatory Findings of Significance

EVALUATION OF ENVIRONMENTAL IMPACTS

1. A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
2. All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant. If there are one or more “Potentially Significant Impact” entries when the determination is made, an Environmental Impact Report (EIR) is required.
4. “Negative Declaration: Less Than Significant with Mitigation Incorporated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact”

to a "Less Than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from "Earlier Analyses," as described in 5. below, may be cross-referenced).

5. Earlier analyses may be used where, pursuant to the tiering, program EIR, or other California Environmental Quality Act (CEQA) process, an effect has been adequately analyzed in an earlier EIR or negative declaration (Section 15063(c)(3)(D)). In this case, a brief discussion should identify the following:
 - a. Earlier Analysis Used. Identify and state where they are available for review.
 - b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c. Mitigation Measures. For effects that are "Less Than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
6. Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
7. Supporting Information Sources. Sources used or individuals contacted should be cited in the discussion.

1. AESTHETICS. Except as provided in Public Resources Code Section 21099, would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
1.a. Have a substantial adverse effect on a scenic vista, views from existing residential areas, public lands, water bodies, or roads?			X	
Discussion: The project would not have a substantial adverse effect on a scenic vista, views from existing residential areas, public lands, water bodies, or roads. The project is surrounded by similarly sized rural residentially developed and undeveloped properties to the north east and west and agricultural use and open space land to the south. The project's location and topography, including tree canopy in the surrounding area, would screen and minimize visual impacts to a less-than-significant level. Additionally, the Coastside Design Review Committee (CDRC) has recommended approval of the proposed residence based on project conformance with all applicable Design Review (DR) standards, including the design and style being harmonious to the rural environment and respectful in minimizing visual impacts to neighboring residences and the surrounding area.				

Source: Project Plans, Project Location, County Geographic Information System (GIS) Maps, Field Observations, Coastside Design Review Committee Recommendation Letter (dated March 11, 2021).					
1.b.	Substantially damage or destroy scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?			X	
<p>Discussion: The project parcel does not contain and is not located in close proximity to any rock outcroppings or any historic buildings within a state scenic highway. No trees are proposed to be removed. The subject parcel is located behind a residentially developed property which would screen the proposed structures from the surrounding public roads.</p> <p>Source: Project Plans, Project Location, Field Observations, Coastside Design Review Committee Recommendation Letter (dated March 11, 2021), County Zoning Regulations.</p>					
1.c.	In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings, such as significant change in topography or ground surface relief features, and/or development on a ridgeline? (Public views are those that are experienced from publicly accessible vantage point.) If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?			X	
<p>Discussion: The project is located in a non-urbanized area and is surrounded by rural single-family residences and agricultural uses. The project site is not on a ridgeline. The project involves grading but would not create a significant change in topography. Grading has been minimized to accommodate the house, driveway, septic system. As discussed in Section 1.a, the CDRC determined that the project, as proposed and conditioned, is in compliance with all applicable DR standards.</p> <p>Source: Project Location, San Mateo County General Plan, Scenic Resources Map, Coastside Design Review Committee Recommendation Letter (dated March 11, 2021).</p>					
1.d.	Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?			X	
<p>Discussion: The project plans includes downwash recessed can lights, one at each exterior entry/exit as minimally required by California Building Standards Code. In its review, the CDRC acknowledged the project's compliance with the Midcoast DR Standards regarding exterior lighting which states: "All exterior, landscape, and site lighting shall be designed and located so that light and glare are directed away from neighbors and confined to the site", "Exterior lighting should be minimized and designed with a specific activity in mind so that outdoor areas will be illuminated no more than is necessary to support the activity designed for that area", and "Minimize light and glare as viewed from scenic corridors and other public view corridors". The proposed locations and</p>					

<p>design of all such lighting would not create a new source of significant light or glare that would adversely affect day or nighttime views in the area.</p> <p>Source: Project Plans, Project Location, County Midcoast DR Standards.</p>				
1.e.	Be adjacent to a designated Scenic Highway or within a State or County Scenic Corridor?			X
<p>Discussion: The project site is not adjacent to a designated Scenic Highway or within a State or County Scenic Corridor. The closest County Scenic Corridor is the Cabrillo Highway (Highway 1) County Scenic Corridor which is approximately 0.20 mile away.</p> <p>Source: Project Location, County GIS Maps, County General Plan Scenic Corridors Map.</p>				
1.f.	If within a Design Review District, conflict with applicable General Plan or Zoning Ordinance provisions?			X
<p>Discussion: The project parcel is located within a Design Review (DR) District as it is zoned RM-CZ/DR/CD (Resource Management-Coastal Zone/Design Review/Coastal Development). As discussed in Section 1.a, the CDRC determined that the project, as proposed and conditioned, is in compliance with all applicable DR standards. The project meets all applicable General Plan and Zoning Ordinance provisions.</p> <p>Single-family residences are a permitted use in the RM-CZ Zoning District. The proposed residence will conform with the applicable zoning standards.</p> <p>Source: Project Plans, Project Location, County Zoning Regulations, Coastsides Design Review Committee Recommendation Letter (dated March 11, 2021).</p>				
1.g.	Visually intrude into an area having natural scenic qualities?		X	
<p>Discussion: The proposed project complies with all applicable zoning regulations, specifically Design Review standards. Also, in its review, the CDRC determined the proposed residence to be in compliance with Midcoast Design Review standards.</p> <p>Based on these findings, the proposed project will have a less than significant visual impact on natural scenic qualities.</p> <p>Source: Project Plans, Project Location, County GIS Maps, Field Observations, Coastsides Design Review Committee Recommendation Letter (dated March 11, 2021), County Zoning Regulations, County Midcoast DR Standards.</p>				

2. AGRICULTURAL AND FOREST RESOURCES. In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
2.a. For lands outside the Coastal Zone, convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?				X

Discussion: The project site is located within the Coastal Zone. The parcel is also not within an area that is mapped or designated as Prime or Unique Farmland or Farmland of Statewide Importance.
Source: Project Location, County GIS Maps, California Department of Conservation Farmland Mapping and Monitoring Program.

2.b. Conflict with existing zoning for agricultural use, an existing Open Space Easement, or a Williamson Act contract?				X
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Discussion: The project site is zoned Resource Management-Coastal Zone (RM-CZ). The zoning allows for both agriculture and residential uses. The property is also not subject to an existing Open Space Easement or Williamson Act contract.
Source: Project Location, County Zoning Regulations, County GIS Maps, County Williamson Act Contracts.

2.c. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forestland to non-forest use?				X
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Discussion: The project site contains existing non-agricultural development and horse stalls, and is largely surrounded by single-family residential development. The site is currently being used for residential use and confined animals. However, the project site does not contain Farmland or forestland (defined as land that can support 10 percent native tree cover of any species, including

hardwoods, under natural conditions, and that allows for management of one or more forest resources including timber, aesthetics, fish and wildlife, biodiversity, water quality, recreation, and other public benefits). Therefore, the project would not convert Farmland to a non-agricultural use or forestland to non-forest use.

Source: Project Location, County GIS Maps, California Department of Conservation Farmland Mapping and Monitoring Program.

2.d. For lands within the Coastal Zone, convert or divide lands identified as Class I or Class II Agriculture Soils and Class III Soils rated good or very good for artichokes or Brussels sprouts?

X

Discussion: Although the project site is located within the Coastal Zone, it does not contain Class I or Class II Agriculture Soils, or Class III Soils rated excellent, good or fair for artichokes or Brussels sprouts. The project site is located on soils classified with a Storie Index of Grade 5 – Very Poor.

Source: Project Location, Natural Resources Conservation Service Web Soil Survey – California Revised Storie Index.

2.e. Result in damage to soil capability or loss of agricultural land?

X

Discussion: The project site is located on soils classified with a Storie Index of Grade 5 – Very Poor. The project site currently does not consist of agricultural uses. The area of the parcel south of the project site has soils classified with a Storie Index of Grade 2 – Good. The proposed single-family residence on the subject parcel would be located in the Grade 5 area and would result in the development of approximately 5 percent of the subject parcel to a residential use. The Grade 2 area that makes up the area of the parcel south of the project site has horse stalls but could be potentially used for agricultural purposes in the future if it were to be cleared. As discussed in Section 2.b., residential and agricultural uses are allowed within the project parcel’s zoning district (RM-CZ Resource Management – Coastal Zone). Once the subject parcel is developed, future property owners could use the remaining open land for agricultural purposes. With no current agricultural use of the site and the potential for future agricultural use of the property, the development of the single-family residence would not result in the significant loss of agricultural land.

Source: Project Location, Natural Resources Conservation Service Web Soil Survey – California Revised Storie Index, County Zoning Regulations.

2.f. Conflict with existing zoning for, or cause rezoning of, forestland (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))?

X

Note to reader: This question seeks to address the economic impact of converting forestland to a non-timber harvesting use.

Discussion: The project site has not been identified as forestland or timberland, therefore, there is no conflict with existing zoning or cause for rezoning.

Source: Project Location, County GIS Maps, County Zoning Regulations.

3. AIR QUALITY. Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
3.a. Conflict with or obstruct implementation of the applicable air quality plan?		X		

Discussion: The Bay Area 2017 Clean Air Plan (CAP), developed by the Bay Area Air Quality Management District (BAAQMD), is the current regulating air quality plan for San Mateo County. The CAP was created to improve Bay Area air quality and to protect public health and the climate.

The project would not conflict with or obstruct the implementation of the BAAQMD's 2017 Clean Air Plan. During project implementation, air emissions would be generated from site grading, equipment, and work vehicles; however, any such grading-related emissions would be temporary and localized. Once constructed, use of the development as a single-family residence would have minimal impacts to the air quality standards set forth for the region by the BAAQMD.

The BAAQMD has established thresholds of significance for construction emissions and operational emissions. As defined in the BAAQMD's 2017 CEQA Guidelines, the BAAQMD does not require quantification of construction emissions due to the number of variables that can impact the calculation of construction emissions. Instead, the BAAQMD emphasizes implementation of all feasible construction measures to minimize emissions from construction activities. The BAAQMD provides a list of construction-related control measures that they have determined, when fully implemented, would significantly reduce construction-related air emissions to a less than significant level. These control measures have been included in Mitigation Measure 1 below:

Mitigation Measure 1: The applicant shall require construction contractors to implement all the Bay Area Air Quality Management District's Basic Construction Mitigation Measures, listed below, and include these measures on permit plans submitted to the Building Inspection Section:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d. All vehicle speeds on unpaved roads shall be limited to 15 mph.
- e. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.

- f. All construction equipment shall be maintained and properly tuned in accordance with manufacturers' specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- g. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of the California Code of Regulations (CCR)). Clear signage shall be provided for construction workers at all access points.
- h. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.

Source: Project Plans, Bay Area Air Quality Management District.

3.b. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable Federal or State ambient air quality standard?		X		

Discussion: As of December 2012, San Mateo County is a non-attainment area for PM-2.5. On January 9, 2013, the Environmental Protection Agency (EPA) issued a final rule to determine that the Bay Area attains the 24-hour PM-2.5 national standard. However, the Bay Area will continue to be designated as "non-attainment" for the national 24-hour PM-2.5 standard until the BAAQMD submits a "re-designation request" and a "maintenance plan" to EPA and the proposed redesignation is approved by the Environmental Protection Agency. A temporary increase in the project area is anticipated during construction since these PM-2.5 particles are a typical vehicle emission. The temporary nature of the proposed construction and California Air Resources Board vehicle regulations reduce the potential effects to a less than significant impact. Mitigation Measure 1 in Section 3.a. would minimize increases in non-attainment criteria pollutants generated from project construction to a less than significant level.

Source: Project Plans, Bay Area Air Quality Management District.

3.c. Expose sensitive receptors to substantial pollutant concentrations, as defined by the Bay Area Air Quality Management District?		X		
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Discussion: Any pollutant emissions generated from the proposed project would primarily be temporary in nature. The project site is in a very low density rural residential area with few sensitive receptors (i.e., single-family residences) located within the immediate project vicinity. Additionally, the surrounding tree canopy and vegetation on the project site would help to insulate the project area from nearby sensitive receptors. Implementation of Mitigation Measure 1 would also help in minimizing any potentially significant exposure to nearby sensitive receptors to a less than significant level.

Source: Project Plans, Project Location.

3.d. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?			X	
<p>Discussion: The proposed project is to construct a single-family residence in a rural residential area of the Midcoast. Once constructed, the daily use of the residence would not create objectionable odors. The proposed project has the potential to generate odors associated with construction activities. However, any such odors would be temporary and are expected to be minimal.</p> <p>Source: Project Plans.</p>				

4. BIOLOGICAL RESOURCES. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
4.a. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service or National Marine Fisheries Service?			X	
<p>Discussion: As the project site is developed with both landscaped and paved areas, species of concern or critical habitat would not be expected to be present. The project site does not contain any vegetation or biological habitat suitable to provide habitat for sensitive or special status species. No trees would be removed or trimmed as part of the project. Therefore, adverse effects to any species identified as a candidate, sensitive, or special status species would not be expected. Additionally, according to the California Natural Diversity Database (CNDDDB), there are no special-status plant or animal species identified on the project site or within the immediate vicinity.</p> <p>Source: Project Plans, Project Location, County GIS Maps, California Natural Diversity Database.</p>				
4.b. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service or National Marine Fisheries Service?			X	
<p>Discussion: The project site does not contain any perennial or intermittent stream. There is a seasonal riverine approximately 100 feet directly south of the project site. This watercourse provides unique riparian habitat for numerous wildlife species and serves as a natural wildlife movement corridor. However, the project footprint occurs within the developed lot surrounded by</p>				

residential development with apparent human influences (hiking and horse trails); therefore, wildlife movement within or through the project footprint is most likely limited to migratory birds and local species. The California Natural Diversity Database has no records for any sensitive terrestrial natural community or habitat type occurring within 1,000 feet of the survey area. Furthermore, no trees are proposed for removal.

Source: Project Plans, Project Location, County GIS Maps, United States Department of the Interior, Fish and Wildlife Service, February 2, 2021.

4.c. Have a substantial adverse effect on state or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?			X	
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Discussion: The National Wetlands Inventory was reviewed to determine if any wetland and/or non-wetland waters had been previously documented and mapped on or in the vicinity of the project site. No potential jurisdictional waters or wetlands occur within the project footprint and no jurisdictional waters or wetlands will be disturbed by the project.

Source: Project Plans, Project Location, County GIS Maps, United States Department of the Interior, Fish and Wildlife Service, February 2, 2021.

4.d. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites?			X	
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Discussion: A seasonal riverine is approximately 100 feet south of the project site. This watercourse provides unique riparian habitat for numerous wildlife species and serves as a natural wildlife movement corridor. However, the project footprint is located within the developed lot surrounded by residential development with human influences (hiking and horse trails), therefore, wildlife movement within or through the project site is most likely limited to migratory birds and local species. No trees are proposed for removal to disturb migratory bird breeding or habitat. Therefore, impacts to wildlife movement would be less than significant.

Source: Project Plans, Project Location, County GIS Maps, United States Department of the Interior, Fish and Wildlife Service, February 2, 2021.

4.e. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance (including the County Heritage and Significant Tree Ordinances)?			X	
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Discussion: The proposed project does not involve the removal of any trees. The application would be required by current County standards set forth in the County's Tree Ordinances to provide a detailed tree protection plan at the building permit stage to ensure that trees are protected during construction.

Source: Project Plans, Project Location, County GIS Maps, County Zoning Regulations, County Tree Ordinances.					
4.f.	Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, other approved local, regional, or state habitat conservation plan?				X
Discussion: The site is not located in an area with an adopted Habitat Conservation Plan or Natural Conservation Community Plan, other approved regional or State habitat conservation plan. Source: Project Plans, Project Location, County GIS map.					
4.g.	Be located inside or within 200 feet of a marine or wildlife reserve?				X
Discussion: The project site is not located inside or within 200 feet of a marine or wildlife reserve. Source: Project Plans, Project Location, County GIS map, National Wildlife Refuge System Locator.					
4.h.	Result in loss of oak woodlands or other non-timber woodlands?				X
Discussion: The project site includes no oak woodlands or other timber woodlands. Source: Project Plans, Project Location.					

5. CULTURAL RESOURCES. Would the project:					
		<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
5.a.	Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5?				X
Discussion: The State of California Office of Historic Preservation has not identified any known historical resources on the project parcel or surrounding area. In a review letter dated March 8, 2021, the California Historical Resources Information System also noted no record of historical resources at the project site. Source: Project Location, County GIS Maps, California Register of Historical Resources, California Historical Resources Information System Review Letter (dated March 8, 2021).					
5.b.	Cause a substantial adverse change in the significance of an archaeological resource pursuant to CEQA Section 15064.5?		X		

Discussion: The project site is surrounded by single-family residential uses to the north and west, agricultural uses to the south, and a vacant parcel to the east. Based on the developed conditions of the surrounding properties, it is not likely that the project parcel and surrounding area would contain any archaeological resources. The California Historical Resources Information System's Northwest Information Center at Sonoma State University, in a letter dated March 8, 2021, notes that there is a record of a previous cultural resource study for the project site and that the project site has a low possibility of containing unrecorded archaeological resources. However, the following mitigation measure is provided in the event that any cultural, paleontological, or archeological resources are encountered during project construction and excavation activities:

Mitigation Measure 2: In the event that cultural, paleontological, or archaeological resources are encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Community Development Director of the discovery. The applicant shall be required to retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Community Development Director for review and approval a report of the findings and methods of curation or protection of the resources. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).

Source: Project Location, County GIS Maps, California Historical Resources Information System Review Letter (dated March 8, 2021).

5.c. Disturb any human remains, including those interred outside of formal cemeteries?		X		
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Discussion: No known human remains are located within the project area or surrounding vicinity. In case of accidental discovery, Mitigation Measure 2 in Section 5.b is recommended.

Source: Project Location, County GIS Maps.

6. ENERGY. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
6.a. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?			X	

Discussion: Energy conservation standards for new residential and non-residential buildings were adopted by the California Energy Resources Conservation and Development Commission (now the California Energy Commission) in June 1977 and are updated every 3 years (Title 24, Part 6, of the California Code of Regulations). Title 24 requires the design of building shells and building components to conserve energy. The standards are updated periodically to allow for consideration

and possible incorporation of new energy efficiency technologies and methods. Building permit applications are subject to the most current standards. The project would also be required adhere to the provisions of CALGreen, which establishes planning and design standards for sustainable site development, energy efficiency (in excess of the California Energy Code requirements), water conservation, material conservation, and internal air contaminants.

Construction

The construction of the project would require the consumption of nonrenewable energy resources, primarily in the form of fossil fuels (e.g., fuel oil, natural gas, and gasoline) for automobiles (transportation) and construction equipment. Transportation energy use during construction would come from the transport and use of construction equipment, delivery vehicles and haul trucks, and construction employee vehicles that would use diesel fuel and/or gasoline. The use of energy resources by these vehicles would fluctuate according to the phase of construction and would be temporary and would not require expanded energy supplies or the construction of new infrastructure. Most construction equipment during demolition and grading would be gas-powered or diesel powered, and the later construction phases would require electricity-powered equipment.

Operation

During operations, project energy consumption would be associated with resident and visitor vehicle trips and delivery trucks. The project is a residential development project served by existing road infrastructure. Pacific Gas and Electric (PG&E) provides electricity to the project area. Due to the proposed construction of a single-family residence, project implementation would result in a permanent increase in electricity over existing conditions. However, such an increase to serve a single-family residence would represent an insignificant percent increase compared to overall demand in PG&E's service area. The nominal increased demand is expected to be adequately served by the existing PG&E electrical facilities and the projected electrical demand would not significantly impact PG&E's level of service. It is expected that nonrenewable energy resources would be used efficiently during operation and construction of the project given the financial implication of the inefficient use of such resources. As such, the proposed project would not result in wasteful, inefficient, or unnecessary consumption of energy resources. Impacts are less than significant, and no mitigation is required.

Source: California Building Code, California Energy Commission, Project Plans.

6.b. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency.				X
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Discussion: The project design and operation would comply with State Building Energy Efficiency Standards, appliance efficiency regulations, and green building standards. Therefore, the project does not conflict with or obstruct state or local renewable energy plans and would not have a significant impact. Furthermore, the development would not cause inefficient, wasteful and unnecessary energy consumption.

Source: Project Plans.

7. GEOLOGY AND SOILS. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
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7.a. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving the following, or create a situation that results in:				
i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? <i>Note: Refer to Division of Mines and Geology Special Publication 42 and the County Geotechnical Hazards Synthesis Map.</i>		X		
<p>Discussion: A geotechnical report was prepared for the project by Sigma Prime Geosciences, Inc. (Sigma Prime), dated February 25, 2020. The site reconnaissance and subsurface study consisted of drilling three (3) soil borings to depths ranging from 2 feet to 7.5 feet below ground surface. The subsurface conditions consist of 0 to 3.5 feet of stiff sandy-clay of low-moderate plasticity overlying dense, weathered, granodiorite. Free groundwater was not encountered in any borings, so groundwater is not expected to impact the proposed construction. Based on Pampeyan (1994), the site vicinity is primarily underlain by Cretaceous-age Montara granodiorite, a deposit described as highly weathered and deeply fractured.</p> <p>The site is in an area of high seismicity, with active faults associated with the San Andreas fault system. The closest active fault to the site is the San Gregorio-Seal Cove fault, located offshore, approximately 1.0 mile to the southwest. The San Andreas fault is located approximately 4.3 miles to the northeast. The site is not located in an Alquist-Priolo special studies area or zone where fault rupture is considered likely (California Division of Mines and Geology, 1974), so active faults are not believed to exist beneath the project site. Therefore, Sigma Prime considers the potential for fault rupture to occur at the project site to be low.</p> <p>According to Sigma Prime, the project site is suitable for the proposed construction from a geotechnical standpoint. However, since the project location and its distance from the cited fault zone can result in strong seismic ground shaking in the event of an earthquake, the following mitigation measure is recommended to minimize such impacts to a less than significant level:</p> <p>Mitigation Measure 3: The design of the proposed development (upon submittal of the Building Permit) on the subject parcel shall generally follow the recommendations cited in the geotechnical report prepared by Sigma Prime regarding earthwork (i.e. clearing and subgrade preparation, compaction, surface drainage), foundations (i.e. pier and grade beam, spread footings, lateral loads, and slabs-on-grade), and retaining walls. Any such changes to the recommendations by the project geotechnical engineer cited in this report and subsequent updates shall be submitted for review and approval by the County's Geotechnical Engineer.</p> <p>Source: Project Plans, Project Location, County GIS Map, Sigma Prime Geosciences, Inc. Geotechnical Study – Morris/Rhodes Property (dated February 25, 2020).</p>				
ii. Strong seismic ground shaking?		X		

<p>Discussion: Pursuant to the discussion in Section 7.a.i, the project site is in an area of high seismicity, so strong seismic ground shaking may occur in the event of an earthquake. However, Mitigation Measure 3 would minimize impacts to a less than significant level.</p> <p>Source: Project Plans, Project Location, County GIS Map, Sigma Prime Geosciences, Inc. Geotechnical Study – Morris/Rhodes Property (dated February 25, 2020).</p>				
iii. Seismic-related ground failure, including liquefaction and differential settling?		X		
<p>Discussion: According to Sigma Prime, due to the shallow granitic bedrock, the likelihood of liquefaction occurring at the site is nil. However, the County GIS map shows that a portion of the southern border of the project site is within a liquefaction zone.</p> <p>Nevertheless, Mitigation Measure 3 would minimize any potential impacts to a less than significant level.</p> <p>Source: Project Plans, Project Location, County GIS Map, Sigma Prime Geosciences, Inc. Geotechnical Study – Morris/Rhodes Property (dated February 25, 2020).</p>				
iv. Landslides?			X	
<p>Discussion: The project site is not located in a landslide zone. Therefore, any potential impacts would be less than significant.</p> <p>Source: Project Plans, Project Location, County GIS Map, Sigma Prime Geosciences, Inc. Geotechnical Study – Morris/Rhodes Property (dated February 25, 2020).</p>				
v. Coastal cliff/bluff instability or erosion?				X
<p><i>Note to reader: This question is looking at instability under current conditions. Future, potential instability is looked at in Section 7 (Climate Change).</i></p>				
<p>Discussion: The project site is located approximately 1.0 mile from the coastline. Therefore, there would be no impact on coastal cliff or bluff instability or erosion.</p> <p>Source: Project Location.</p>				
7.b. Result in substantial soil erosion or the loss of topsoil?		X		
<p>Discussion: The construction of the residence involves 610 cubic yards of cut and 235 cubic yards of fill. The proposed project is exempt from coverage under a State General Construction Permit. Mitigation Measure 1 and the following mitigation measure are included to control erosion during construction of proposed project. With these mitigation measures, the potential impact would be less-than-significant.</p> <p>Mitigation Measure 4: At the time of building permit application, the applicant shall submit for review and approval, erosion and drainage control plans that show how the transport and discharge of soil and pollutants from and within the project site will be minimized. The plans shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment</p>				

that is picked up on the project site through the use of sediment-capturing devices. The plans shall include measures that limit the application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plan shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including:

- a. Sequence construction to install sediment-capturing devices first, followed by runoff control measures and runoff conveyances. No construction activities shall begin until after all proposed measures are in place.
- b. Minimize the area of bare soil exposed at one time (phased grading).
- c. Clear only areas essential for construction.
- d. Within five (5) days of clearing or inactivity in construction, stabilize bare soils through either non-vegetative Best Management Practices (BMPs), such as mulching, or vegetative erosion control methods, such as seeding. Vegetative erosion control shall be established within two (2) weeks of seeding/planting.
- e. Construction entrances shall be stabilized immediately after grading and frequently maintained to prevent erosion and to control dust.
- f. Control wind-born dust through the installation of wind barriers such as hay bales and/or sprinkling.
- g. Soil and/or other construction-related material stockpiled on-site shall be placed a minimum of 200 ft., or to the extent feasible, from all wetlands and drain courses. Stockpiled soils shall be covered with tarps at all times of the year.
- h. Intercept runoff above disturbed slopes and convey it to a permanent channel or storm drains by using earth dikes, perimeter dikes or swales, or diversions. Use check dams where appropriate.
- i. Provide protection for runoff conveyance outlets by reducing flow velocity and dissipating flow energy.
- j. Use silt fence and/or vegetated filter strips to trap sediment contained in sheet flow. The maximum drainage area to the fence should be 0.5 acres or less per 100 ft. of fence. Silt fences shall be inspected regularly, and sediment removed when it reaches 1/3 of fence height. Vegetated filter strips should have relatively flat slopes and be vegetated with erosion resistant species.
- k. Throughout the construction period, the applicant shall conduct regular inspections of the condition and operational status of all structural BMPs required by the approved erosion control plan.
- l. Environmentally-sensitive areas shall be delineated and protected to prevent construction impacts.
- m. Control fuels and other hazardous materials, spills, and litter during construction.

n. Preserve existing vegetation whenever feasible.

Mitigation Measure 5: No grading shall be allowed during the wet weather season (October 1 through April 30) to avoid increased potential soil erosion, unless the applicant applies for an Exception to the Winter Grading Moratorium and the Community Development Director grants the exception. Exceptions will only be granted if dry weather is forecasted during scheduled grading operations, and the erosion control plan includes adequate winterization measures (amongst other determining factors).

Mitigation Measure 6: An Erosion Control and Tree Protection Pre-Site Inspection shall be conducted prior to the issuance of a grading permit “hard card” and/or building permit to ensure that the approved erosion control and tree protection measures are installed adequately prior to the start of ground disturbing activities.

Source: Project Plans, Project Location, County GIS Map, Sigma Prime Geosciences, Inc. Geotechnical Study – Morris/Rhodes Property (dated February 25, 2020).

7.c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, severe erosion, liquefaction or collapse?		X		
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Discussion: Pursuant to the discussions in Sections 7.a and 7.b, the associated Mitigation Measures would minimize the potential for an on-site or off-site landslide, lateral spreading, subsidence, severe erosion, liquefaction or collapse. Therefore, the mitigation measures would minimize impacts to a less-than-significant level.

Source: Project Plans, Project Location, County GIS Map, Sigma Prime Geosciences, Inc. Geotechnical Study – Morris/Rhodes Property (dated February 25, 2020).

7.d. Be located on expansive soil, as defined in Table 18-1-B of Uniform Building Code, creating substantial direct or indirect risks to life or property?				X
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Discussion: The project geotechnical report concludes that the project parcel is not located on expansive soils. Thus, the project poses no impact.

Source: Project Plans, Project Location, County GIS Map, Sigma Prime Geosciences, Inc. Geotechnical Study – Morris/Rhodes Property (dated February 25, 2020).

7.e. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?			X	
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Discussion: The proposed project includes the installation of a septic system. San Mateo County Environmental Health Services, which is the agency that regulates septic systems, completed a preliminary review of the project and provided a conditional approval. The review completed by Environmental Health Services did not uncover any issue with the soils in the location which the septic wastewater system is to be located. Any potential impacts would be less than significant.

Source: Project Plans, Project Location, County GIS Map, Sigma Prime Geosciences, Inc. Geotechnical Study – Morris/Rhodes Property (dated February 25, 2020).					
7.f.	Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?		X		
<p>Discussion: Based on the project parcel's existing surrounding land uses, it is not likely that the project parcel and surrounding area would host any paleontological resource or site or unique geologic feature. However, Mitigation Measure 2 is provided to minimize impacts to a less than significant level if any resources are encountered.</p> <p>Source: Project Location, County GIS Map.</p>					

8. CLIMATE CHANGE. Would the project:					
		<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
8.a.	Generate greenhouse gas (GHG) emissions (including methane), either directly or indirectly, that may have a significant impact on the environment?		X		
<p>Discussion: Greenhouse Gas Emissions (GHG) include hydrocarbon (carbon monoxide; CO2) air emissions from vehicles and machines that are fueled by gasoline. Project-related grading and construction of the proposed residence would result in the temporary generation of GHG emissions along travel routes and at the project site. In general, construction involves GHG emissions mainly from exhaust from vehicle trips (e.g., construction vehicles and personal vehicles of construction workers). Even assuming construction vehicles and workers are based in and traveling from urban areas, the potential project GHG emission levels from construction would be considered minimal. Although the project scope for the project is not likely to generate significant amounts of greenhouse gases, Mitigation Measure 1 would ensure that any impacts are less than significant.</p> <p>Source: Project Plans, Project Location.</p>					
8.b.	Conflict with an applicable plan (including a local climate action plan), policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?			X	
<p>Discussion: The proposed project does not conflict with the County of San Mateo Energy Efficiency Climate Action Plan (EECAP). The project complies with the applicable measures and criteria of the EECAP Development Checklist and will not generate a significant impact.</p> <p>Source: Project Plans, 2013 San Mateo County Energy Efficiency Climate Action Plan, EECAP Checklist.</p>					

8.c. Result in the loss of forestland or conversion of forestland to non-forest use, such that it would release significant amounts of GHG emissions, or significantly reduce GHG sequestering?				X
<p>Discussion: The project parcel and surrounding area are not considered forest land. Therefore, the project poses no impact.</p> <p>Source: Project Plans, Project Location, County GIS Maps.</p>				
8.d. Expose new or existing structures and/or infrastructure (e.g., leach fields) to accelerated coastal cliff/bluff erosion due to rising sea levels?				X
<p>Discussion: The project site is located about 1.0 mile from the coastline. Therefore, the project would not be impacted by coastal cliff/bluff erosion due to rising sea levels.</p> <p>Source: Project Location.</p>				
8.e. Expose people or structures to a significant risk of loss, injury or death involving sea level rise?				X
<p>Discussion: As discussed in Section 8.d, the project site is located about 1.0 mile from the coastline. Therefore, the project would not be impacted by rising sea levels.</p> <p>Source: Project Location.</p>				
8.f. Place structures within an anticipated 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?				X
<p>Discussion: The project site is not located in an anticipated 100-year flood hazard area as mapped by the Federal Emergency Management Agency (FEMA). The project site and associated parcels are located in FEMA Flood Zone X, which is considered a minimal flood hazard (Panel No. 06081C0136E, effective October 16, 2012). FEMA Flood Zone X areas have a 0.2 percent annual chance of flooding, with areas with one percent annual chance of flooding with average depths of less than 1-foot. Therefore, the proposed project poses no impact.</p> <p>Source: Project Location, County GIS Maps, Federal Emergency Management Agency Flood Insurance Rate Map 06081C0136E, effective October 16, 2012.</p>				
8.g. Place within an anticipated 100-year flood hazard area structures that would impede or redirect flood flows?				X
<p>Discussion: The project site is not located in an anticipated 100-year flood hazard area as mapped by FEMA. Therefore, the proposed project poses no impact.</p>				

Source: Project Location, County GIS Maps, Federal Emergency Management Agency Flood Insurance Rate Map 06081C0136E, effective October 16, 2012.

9. HAZARDS AND HAZARDOUS MATERIALS. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
9.a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials (e.g., pesticides, herbicides, other toxic substances, or radioactive material)?				X
<p>Discussion: The proposed project does not involve the routine use, transport, or disposal of hazardous materials. The proposed project involves the construction and operation of a single-family residence.</p> <p>Source: Project Plans.</p>				
9.b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?				X
<p>Discussion: The routine use of hazardous materials is not proposed for this project. The proposed project involves the construction and operation of a single-family residence.</p> <p>Source: Project Plans.</p>				
9.c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?				X
<p>Discussion: The emission or handling of hazardous materials, substances, or waste is not proposed for this project. The project parcel is also not located within one-quarter mile of an existing or proposed school.</p> <p>Source: Project Plans, Project Location.</p>				
9.d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?				X

Discussion: The project site is not included on a list of hazardous materials compiled pursuant to Government Code Section 65962.5 and therefore would not result in the creation of a significant hazard to the public or the environment.

Source: Project Location, California Department of Toxic Substances Control.

9.e. For a project located within an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, result in a safety hazard or excessive noise for people residing or working in the project area?			X	
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Discussion: The project site is located approximately 1.0 mile northeast of the northerly boundary of the Half Moon Bay Airport, a public airport operated by the County Department of Public Works. Development within certain proximities of the airport are regulated by applicable policies of the Final Half Moon Bay Airport Land Use Compatibility Plan (ALUCP), as adopted by the City/County Association of Governments (C/CAG) on October 9, 2014. The overall objective of the ALUCP safety compatibility guidelines is to minimize the risks associated with potential aircraft accidents for people and property on the ground in the event of an aircraft accident near an airport and to enhance the chances of survival of the occupants of an aircraft involved in an accident that occurs beyond the runway environment. The ALUCP has safety zone land use compatibility standards that restrict land use development that could pose particular hazards to the public or to vulnerable populations in case of an aircraft accident.

The project site is located in the Airport Influence Area (Runway Safety Zone 7), where accident risk level is considered to be low. The AIA Zone does not prohibit residential land uses.

Based on the discussion above, staff has determined that the proposed project complies with the safety compatibility criteria and would result in a less-than-significant impact.

Source: Project Plans, Project Location, 2014 Final Half Moon Bay Airport Land Use Compatibility Plan.

9.f. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?			X	
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Discussion: The proposed single-family residence would be located on a privately-owned parcel. This parcel receives access from Jordan Street. There is no evidence to suggest that the project would interfere with any emergency response plan. All work in the public right-of-way, including temporary traffic control plans, will be reviewed and approved by the County Department of Public Works through their requirement for an encroachment permit prior to the start of work. Therefore, the project poses no impact.

Source: Project Plans, Project Location, County GIS Maps.

9.g. Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?			X	
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<p>Discussion: The project site is located within a high fire risk, state responsibility area. The project was reviewed by Coastside Fire Protection District (CFPD) and received conditional approval subject to compliance with the California Building Code which requires provision of a fire truck turnaround, fire hydrant, and an automatic fire sprinkler system, among other fire service and prevention requirements, for this project. No further mitigation, beyond compliance with the standards and requirements of the CFPD, is necessary.</p> <p>Source: Project Location, California State Fire Severity Zones Maps, Coastside Fire Protection District (CFPD).</p>					
9.h.	Place housing within an existing 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?				X
<p>Discussion: The project site is not located in such an area.</p> <p>Source: Project Plans, Project Location, County GIS Maps, Federal Emergency Management Agency Flood Insurance Rate Map 06081C0136E, effective October 16, 2012.</p>					
9.i.	Place within an existing 100-year flood hazard area structures that would impede or redirect flood flows?				X
<p>Discussion: As discussed in Section 8.f, the project site and remaining vacant parcels are located in Flood Zone X, an area of minimal flood hazard. The project and any future projects on the remaining vacant parcels would not place structures within a 100-year flood hazard area as the project site and remaining parcels are not located within a flood hazard zone that will be inundated by a 100-year flood.</p> <p>Source: Project Plans, Project Location, County GIS Maps, Federal Emergency Management Agency Flood Insurance Rate Map 06081C0136E, effective October 16, 2012.</p>					
9.j.	Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?				X
<p>Discussion: In addition to the discussion Section 8.g, no dam or levee is located in close proximity to the project site, therefore there is no risk of flooding due to failure of a dam or levee.</p> <p>Source: Project Plans, Project Location, County GIS Maps, San Mateo County Hazards Maps.</p>					
9.k.	Inundation by seiche, tsunami, or mudflow?				X
<p>Discussion: The project site is not located within a San Mateo County General Plan mapped tsunami and seiche inundation area.</p> <p>Source: Project Plans, Project Location, County GIS Maps, San Mateo County Hazards Maps.</p>					

10. HYDROLOGY AND WATER QUALITY. Would the project:				
	Potentially Significant Impacts	Significant Unless Mitigated	Less Than Significant Impact	No Impact
10.a. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality (consider water quality parameters such as temperature, dissolved oxygen, turbidity and other typical stormwater pollutants (e.g., heavy metals, pathogens, petroleum derivatives, synthetic organics, sediment, nutrients, oxygen-demanding substances, and trash))?		X		
<p>Discussion: The proposed project has the potential to generate polluted stormwater runoff during site grading and construction-related activities. The project would be required to comply with the County's Drainage Policy requiring post-construction stormwater flows to be at, or below, pre-construction flow rates. A drainage report was prepared by Sigma Prime, dated February 10, 2020, detailing the proposed drainage system. The drainage report states that post-development runoff would be greater than pre-development runoff. With this mitigation measure, the potential impact would be less-than-significant.</p> <p>Mitigation Measure 7: The applicant shall route stormwater to a new infiltration-based retention feature that consists of a 13-foot long, 60-inch diameter perforated pipe surrounded by a minimum of 6-inch aggregate on the sides. The system overflows through a minimum one-square foot grate at the top. The trench will be lengthened in order to increase percolation between storms to the required rate.</p> <p>The proposed project, including the discussed drainage report and plans, were reviewed and conditionally approved by the Building Inspection Section's Drainage Section for compliance with County drainage standards. Based on the drainage report and review by the County's Drainage Section, the project is not expected to violate any water quality standards or waste discharge requirements. Based on these findings and implementation of Mitigation Measure 7, the proposed project impact would be less-than-significant.</p> <p>Source: Project Plans, Project Location, County GIS Maps, Sigma Prime Geosciences, Inc. Drainage Report (dated February 10, 2020), Sigma Prime Geosciences, Inc. Geotechnical Study (dated February 25, 2020), County Drainage Section.</p>				
10.b. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?			X	
<p>Discussion: In order to evaluate the geotechnical engineering characteristics of the soil layers underlying the project site, the Sigma Prime report (discussed in Section 7.a.i.) discussed the three borings drilled on the project parcel. According to the reports, groundwater was not encountered and is not expected to impact construction.</p>				

The project parcel would receive water service from the Montara Water and Sanitary District and does not involve the construction of a well.

Source: Project Plans, Project Location, County GIS Maps, Sigma Prime Geosciences, Inc. Geotechnical Study (dated February 25, 2020)

10.c. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner that would:				
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i. Result in substantial erosion or siltation on- or off-site;		X		
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Discussion: The proposed project does not involve the alteration of the course of a stream or river. The project involves the construction of approximately 9,133 sq. ft. of impervious surface associated with the single-family residence and attached three-car garage, and road widening along Jordan Street. The proposed development on the project parcel will include drainage features that have been conditionally approved by the Building Inspection Section's Civil Section. With Mitigation Measures 4 – 6 to address potential impacts during construction activities, the project will not substantially alter the existing drainage patterns of the site or result in substantial erosion or siltation. Upon mitigation, the project will have a less-than-significant impact.

Source: Project Plans, Project Location, County GIS Maps, Sigma Prime Geosciences, Inc. Drainage Report (dated February 10, 2020), County Drainage Section.

ii. Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site;		X		
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Discussion: Pursuant to the discussion in Section 10.a, post-development runoff would be greater than pre-development runoff. With implementation of Mitigation Measure 7, the proposed project impact would be less-than-significant.

Source: Project Plans, Project Location, County GIS Maps, Sigma Prime Geosciences, Inc. Drainage Report (dated February 10, 2020).

iii. Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or		X		
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Discussion: Pursuant to the discussion in Section 10.a and 10.c.ii, post-development runoff would be greater than pre-development runoff. With implementation of Mitigation Measure 7, the proposed project impact would be less-than-significant.

Source: Project Plans, Project Location, County GIS Maps, Sigma Prime Geosciences, Inc. Drainage Report (dated February 10, 2020).

iv. Impede or redirect flood flows?		X		
<p>Discussion: Pursuant to the discussion in Section 10.a and 10.c.ii, post-development runoff would be greater than pre-development runoff. With implementation of Mitigation Measure 7, the proposed project impact would be less-than-significant.</p> <p>Source: Project Plans, Project Location, County GIS Maps, Sigma Prime Geosciences, Inc. Drainage Report (dated February 10, 2020).</p>				
10.d. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?			X	
<p>Discussion: Pursuant to the discussion in Section 9.k, the proposed project would have a less-than-significant impact.</p> <p>Source: Project Plans, Project Location, County GIS Maps, San Mateo County Hazards Maps.</p>				
10.e. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?			X	
<p>Discussion: The Sustainable Groundwater Management Act (SGMA) of 2015 requires local regions to create groundwater sustainability agencies (GSA's) and to adopt groundwater management plans for identified medium and high priority groundwater basins. San Mateo County has nine identified water basins. These basins have been identified as low-priority, are not subject to the SGMA, and there is no current groundwater management agency or plan that oversees these basins. Also, see discussion in Section 10.b.</p> <p>The project includes an on-site drainage system that complies with the San Mateo County Water Pollution Prevention Program (SMCWPPP) which enforces the State requirements for stormwater quality control.</p> <p>Source: Project Plans; San Mateo County Office of Sustainability, Groundwater Website https://www.smcsustainability.org/energy-water/groundwater/.</p>				
10.f. Significantly degrade surface or ground-water water quality?			X	
<p>Discussion: As discussed in Section 10.b, the proposed project does not involve any new wells and would have water service from the Montara Water and Sanitary District. Thus, the proposed project would pose a less than significant impact.</p> <p>Source: Project Plans, Montara Water and Sanitary District letter (dated January 12, 2021).</p>				
10.g. Result in increased impervious surfaces and associated increased runoff?		X		
<p>Discussion: The proposed project would increase impervious surfaces. Pursuant to the discussion in Section 10.a, post-development runoff would be greater than pre-development runoff. With implementation of Mitigation Measure 7, the proposed project impact would be less-than-significant.</p>				

Source: Project Plans, Project Location, County GIS Maps, Sigma Prime Geosciences, Inc. Drainage Report (dated February 10, 2020).

11. LAND USE AND PLANNING. Would the project:

	Potentially Significant Impacts	Significant Unless Mitigated	Less Than Significant Impact	No Impact
11.a. Physically divide an established community?				X
<p>Discussion: There is no development proposed that would result in the division of an established community. The proposed project is located on a developed parcel and is surrounded by properties with rural residential development. Thus, the project would not result in the division of an established community.</p> <p>Source: Project Plans, Project Location.</p>				
11.b. Cause a significant environmental impact due to a conflict with any land use plan, policy or regulation adopted for the purpose of avoiding or mitigating an environmental effect?			X	
<p>Discussion: The project has been reviewed for conformance and found to not conflict with applicable policies of the County's Local Coastal Program or applicable RM-CZ Zoning Regulations as discussed in Section 1.f. The project site's RM-CZ zoning includes the Design Review (DR) District regulations. The project has been reviewed and determined to conform with the Design Review standards for the Midcoast area. Additionally, the RM-CZ Zoning District requires that development comply with the County's Zoning Regulations, Chapter 36A.2. (Development Review Criteria). The project has been reviewed against and found to comply with those applicable criteria. Therefore, the project impact would be less-than-significant.</p> <p>Source: County Local Coastal Program; County Zoning Regulations, Coastside Design Review Committee Recommendation Letter (dated March 11, 2021).</p>				
11.c. Serve to encourage off-site development of presently undeveloped areas or increase development intensity of already developed areas (examples include the introduction of new or expanded public utilities, new industry, commercial facilities or recreation activities)?			X	
<p>Discussion: Development density in the RM-CZ zoning district is controlled through the allocation of density credits. The amount of density credits a parcel has is determined by the parcel's size, topography and the presence of mapped hazards. Every legal parcel in the RM-CZ Zoning District has at least one density credit. In this instance, because the subject parcel is under 40 acres in size, it has one density credit which allows for a maximum development of one single-family</p>				

residential home. As all development in this area is controlled by the density credit program, the development of the proposed project would not increase the development density of the surrounding area.

Located adjacent to two developed parcels, the construction and habitation of a single-family residence on the subject parcel is not expected to encourage off-site development. Though new utility lines will be installed to serve the proposed development, including a water mainline extension, these utilities and connections are proposed and extended to meet the needs of the project parcel.

Source: Project Plans.

12. MINERAL RESOURCES. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
12.a. Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?				X

Discussion: The proposed project neither involves nor results in any extraction or loss of known mineral resources. Therefore, the project poses no impact.

Source: Project Plans, Project Location.

12.b. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?				X
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Discussion: There are no known mineral resources on the project parcel; therefore, the proposed project would not result in the loss of availability of a locally important mineral resource recovery site as delineated on a local general plan, specific plan, or other land use plan.

Source: Project Plans, Project Location.

13. NOISE. Would the project result in:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
13.a. Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the			X	

local general plan or noise ordinance, or applicable standards of other agencies?				
<p>Discussion: The proposed project would not produce any long-term significant noise source. However, the project would generate short-term noise associated with grading and construction activities. The short-term noise during grading and construction activities would be temporary, where volume and hours are regulated by Section 4.88.360 (Exemptions) of the San Mateo County Ordinance Code for Noise Control.</p> <p>Source: Project Plans, Project Location, San Mateo County Ordinance.</p>				
13.b. Generation of excessive ground-borne vibration or ground-borne noise levels?		X		
<p>Discussion: The habitation of the proposed single-family residence is not expected to generate excessive ground-borne vibration or noise levels. As the soils report recommends a drilled pier foundation, as opposed to a pile-driven pier foundation, exposure of persons to or generation of excessive ground-borne vibration (or noise levels) is not expected during construction activities. Mitigation Measure 1 would also ensure that the impact during construction are less-than-significant.</p> <p>Source: Project Plans, Project Location, Sigma Prime Geosciences, Inc. Geotechnical Study (dated February 25, 2020), San Mateo County Ordinance.</p>				
13.c. For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, exposure to people residing or working in the project area to excessive noise levels?			X	
<p>Discussion: There are no private airstrips in the vicinity of the project site. The project site is located approximately 1.0 mile northeast of the northerly boundary of the Half Moon Bay Airport, a public airport operated by the County Department of Public Works. The project site is not located within the airport's noise exposure contours. Thus, people residing or working in the project area would not be exposed to excessive noise levels. Therefore, the project would result in a less-than-significant impact.</p> <p>Source: Project Plans, Project Location, 2014 Final Half Moon Bay Airport Land Use Compatibility Plan.</p>				

14. POPULATION AND HOUSING. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
14.a. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example,			X	

through extension of roads or other infrastructure)?				
<p>Discussion: As discussed in Section 11.c, intensity of development in this area of San Mateo County is controlled through the allocation of density credits and is parcel specific. It was determined that the project parcel has one available density credit which allows a maximum development of one main residence. The additional population created by those who would live in the proposed single-family residence is not significant nor is the project expected to induce any significant population growth. The project is located adjacent to two developed parcels and would include limited roadway widening along Jordan Street to meet fire access needs. Additionally, a water mainline extension is proposed to meet the needs of serving the proposed property, which is already served water by Montara Water and Sanitary District. All improvements associated with the project are only sufficient to serve the proposed single-family residence.</p> <p>Source: Project Plans, Project Location, County Zoning Regulations.</p>				
14.b. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?				X
<p>Discussion: The proposed residence only replaces the existing residence on the same parcel. Therefore, the project poses no impact.</p> <p>Source: Project Plans.</p>				

<p>15. PUBLIC SERVICES. Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities, the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:</p>				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
15.a. Fire protection?				X
15.b. Police protection?				X
15.c. Schools?				X
15.d. Parks?				X
15.e. Other public facilities or utilities (e.g., hospitals, or electrical/natural gas supply systems)?				X
<p>Discussion: The proposed project is to construct a single-family residence in an area which adjoins other single-family residential uses. The proposed project does not involve and is not associated with the provision of new or physically altered government facilities, nor would it generate a need for</p>				

an increase in any such facilities. Per the review of the Coastside Fire Protection District, the project would not disrupt acceptable service ratios, response times or performance objectives of fire, police, schools, parks, or any other public facilities or energy supply systems. The payment of development fees, such as school fees, user fees, and additional property taxes generated, will allow the maintenances of the existing service levels. A new parcel is not being created as part of this project. Therefore, the project poses no impact.

Source: Project Plans, Project Location, Coastside Fire Protection District.

16. RECREATION. Would the project:				
	Potentially Significant Impacts	Significant Unless Mitigated	Less Than Significant Impact	No Impact
16.a. Increase the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?				X
<p>Discussion: The project would not increase the use of existing neighborhood or regional parks or other recreational facilities such that significant physical deterioration of the facility would occur or be accelerated. A new parcel is not being created as part of this project.</p> <p>Source: Project Plans, Project Location.</p>				
16.b. Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?				X
<p>Discussion: The project does not include any recreational facilities as proposed development is limited to a single-family residential use.</p> <p>Source: Project Plans, Project Location.</p>				

17. TRANSPORTATION. Would the project:				
	Potentially Significant Impacts	Significant Unless Mitigated	Less Than Significant Impact	No Impact
17.a. Conflict with a program plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities, and parking?			X	

Discussion: The County Local Coastal Program Policy 2.52 exempts single-family dwellings from the development and implementation of a traffic impact analysis and mitigation plan. The traffic trips (comprised of both owners of and guests/visitors to) generated by the new residence would not introduce any significant increase in vehicles on Jordan Street, and thus will pose no significant safety impact to other vehicles, pedestrians or bicycles. The adequacy of access to and from the site has been reviewed by the Coastside Fire Protection District and the County Department of Public Works, who have concluded that such access complies with their respective policies and requirements. The proposed development would provide compliant standard and emergency access to the house site on the project parcel.

Per the Screening Thresholds for Land Use Projects section of the Technical Advisory on Evaluating Transportation Impacts in CEQA document published by the Governor's Office of Planning and Research, the proposed project "may be assumed to cause a less-than significant transportation impact" because it generates or attracts fewer than 110 trips per day. Due to the low number of traffic trips anticipated with a single-family residential use, the proposed project would remain well under the threshold.

Therefore, project would result in a less-than-significant impact.

Source: Project Plans, Project Location, Coastside Fire Protection District, County Department of Public Works, County Local Coastal Program, Screening Thresholds for Land Use Projects Section of the Technical Advisory on Evaluating Transportation Impacts in CEQA.

<p>17.b. Would the project conflict or be inconsistent with CEQA Guidelines Section 15064.3, Subdivision (b) <i>Criteria for Analyzing Transportation Impacts?</i></p> <p><i>Note to reader: Section 15064.3 refers to land use and transportation projects, qualitative analysis, and methodology.</i></p>			X	
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Discussion: Section 15064.3 of the CEQA Guidelines provides specific considerations for evaluating a project's transportation impacts. A project's effect on automobile delay does not constitute a significant environmental impact under CEQA. Per Section 15064.3, an analysis of vehicle miles traveled (VMT) attributable to a project is the most appropriate measure of transportation impacts. Other relevant considerations may include the effects of the project on transit and non-motorized travel.

Per Section 15064.3(b)(3), a lead agency may analyze a project's VMT qualitatively based on the availability of transit, proximity to destinations, etc. The proposed project site is located in a rural unincorporated community halfway between Pacifica and Half Moon Bay. The project site is within 1,000 feet of a public transit stop. The site's proximity to a transit stop would reduce VMT associated with the proposed single-family residence. In addition, given that the project includes only one single-family residence, traffic generated by the project would not have a substantial effect on the operation of local roadways and intersections, nor does the project include any modifications to the existing circulation system in the project vicinity that would result in a traffic safety hazard. The proposed residential use of the parcel would be compatible with the existing rural residential development in the project area. In addition, as discussed in Section 17.a., the project can be assumed to cause a less-than-significant transportation impact because it would generate or attract fewer than 110 trips per day per the Technical Advisory on Evaluating Transportation Impacts in CEQA document published by the Governor's Office of Planning and Research. Therefore, the project would result in a less-than-significant impact.

Source: Project Location, CEQA Guidelines Section 15064.3, Subdivision (c) Applicability, Screening Thresholds for Land Use Projects Section of the Technical Advisory on Evaluating Transportation Impacts in CEQA.

17.c. Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?				X
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Discussion: The project would be served by an existing driveway off Jordan Street. The project would not require the construction of a new road nor does it propose to alter any existing roadway in a way that would create a hazard due to sharp turns or dangerous intersections. The project does include repaving and some minor widening of Jordan Street to meet fire access standards, which will improve access to the project site. Additionally, the construction and operation/habitation of the project does not propose the permanent utilization of equipment that would be incompatible with the existing vehicular traffic on Jordan Street and any other connecting roads. No mitigation is necessary. Also see discussion in Section 17.a.

Source: Project Plans, Project Location.

17.d. Result in inadequate emergency access?			X	
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Discussion: The project proposes repaving and minor roadway widening of Jordan Street, and construction of a fire truck turnaround on the parcel to meet required emergency access standards. Upon review of the proposed project and fire truck turnaround, CFPD has conditionally approved the project for emergency access requirements. Additionally, all work in the public right-of-way, including temporary traffic control plans, will be reviewed and approved by the County Department of Public Works through their requirement for an encroachment permit prior to the start of work. Thus, the project would have a less-than-significant impact.

Source: Project Plans, Coastside Fire Protection District.

18. TRIBAL CULTURAL RESOURCES. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
18.a. Cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074 as either a site, feature, place or cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:				

i. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k)				X
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Discussion: Pursuant to discussion in Sections 5.a and 5.b and that the project is not listed in a local register of historical resources, pursuant to any local ordinance or resolution as defined in Public Resources Code Section 5020.1(k), the project poses no impact.

Source: Project Location, County GIS Maps, California Register of Historical Resources, California Historical Resources Information System Review Letter (dated March 8, 2021), County General Plan.

ii. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in Subdivision (c) of Public Resources Code Section 5024.1. (In applying the criteria set forth in Subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.)		X		
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Discussion: This project is not subject to Assembly Bill 52 for California Native American Tribal Consultation requirements, as no traditionally or culturally affiliated tribe has requested, in writing, to the County to be informed of proposed projects in the geographic project area. However, a Sacred Lands File and Native American Contacts List Request was sent to the Native American Heritage Commission (NAHC) in February 2021. A Sacred Lands File search was completed by the NAHC and no sacred lands were found in the subject area. In following the NAHC's recommended Best Practices, the County has also contacted local Native American tribes who may have knowledge of cultural resources in the project area. While the project is not expected to cause a substantial adverse change to any potential tribal cultural resources, the following mitigation measures are recommended to minimize any potential significant impacts to unknown tribal resources:

Mitigation Measure 8: In the event that tribal cultural resources are inadvertently discovered during project implementation, all work shall stop until a qualified professional can evaluate the find and recommend appropriate measures to avoid and preserve the resource in place, or minimize adverse impacts to the resource, and those measures shall be approved by the Current Planning Section prior to implementation and continuing any work associated with the project.

Mitigation Measure 9: Any inadvertently discovered tribal cultural resources shall be treated with culturally appropriate dignity taking into account the tribal cultural values and meaning of the resource, including, but not limited to, protecting the cultural character and integrity of the resource, protecting the traditional use of the resource, and protecting the confidentiality of the resource.

Source: Project Location, County GIS Maps, Native American Heritage Commission, State Assembly Bill 52.

19. UTILITIES AND SERVICE SYSTEMS. Would the project:				
	Potentially Significant Impacts	Significant Unless Mitigated	Less Than Significant Impact	No Impact
19.a. Require or result in the relocation or construction of new or expanded water, wastewater treatment or stormwater drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?			X	
<p>Discussion: The proposed project would rely on a private septic system because there is no municipal sewer service available in this area of unincorporated San Mateo County. Environmental Health Services reviewed the proposed septic system design, found it be in compliance with the prevailing standards and regulations, and conditionally approved the project.</p> <p>The property would continue to be served by Montara Water and Sewer District. Although a mainline extension within the urban zone fronting the property and relocation of the the appropriately sized water meter to the property line would be required prior to development, the proposed project does not involve or require any water or wastewater treatment facilities that would exceed any requirements of the Regional Water Quality Control Board. In addition, the project would connect to PG&E infrastructure for electric power. Therefore, the project would result in a less-than-significant impact.</p> <p>Source: Project Plans, San Mateo County Environmental Health Services, Montara Water and Sanitary District.</p>				
19.b. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?			X	
<p>Discussion: With the mainline extension within the urban zone fronting the property and relocation of the appropriately sized water meter to the property line, the proposed project would have adequate water service connections from the Montara Water and Sewer District. Therefore, the project would result in a less-than-significant impact.</p> <p>Source: Project Plans, Montara Water and Sewer District.</p>				
19.c. Result in a determination by the waste-water treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?			X	
<p>Discussion: Pursuant to the discussion in Section 19.a, the proposed project would result in a less-than-significant impact.</p> <p>Source: Project Plans, Project Location, County GIS.</p>				

19.d. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?			X	
<p>Discussion: The construction of the proposed project would generate some solid waste, both during construction and after completion (on an ongoing basis typical for that generated by residential uses). Similar to all other properties in the Midcoast area, the residence would receive municipal trash and recycling pick-up service by Recology. The County's local landfill facility is the Corinda Los Trancos (Ox Mountain) Landfill, located at 12310 San Mateo Road (State Highway 92), a few miles east of Half Moon Bay. This landfill facility has permitted capacity/service life until 2034. Therefore, the project impact is less-than-significant.</p> <p>Source: San Mateo County Environmental Health Services.</p>				
19.e. Comply with Federal, State, and local management and reduction statutes and regulations related to solid waste?			X	
<p>Discussion: Solid waste generated by a new single-family residence is expected to be minimal. The project site would receive solid waste service by Recology. The landfill cited in Section 19.d. is licensed and operates pursuant to all Federal, State and local statutes and regulations as overseen by the San Mateo County Health System's Environmental Health Services. Therefore, the project impact will be less-than-significant.</p> <p>Source: San Mateo County Environmental Health Services.</p>				

<p>20. WILDFIRE. If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:</p>				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
20.a. Substantially impair an adopted emergency response plan or emergency evacuation plan?			X	
<p>Discussion: The project is located within a High Fire Hazard, State Responsibility Area as identified by the County's GIS maps.</p> <p>However, the project site is developed with existing residential uses and is surrounded by residential uses to the north and west. No revisions to the adopted Emergency Operations Plan would be required as a result of the proposed Project. The nearest public service is the Coastside Fire Protection District - Station 44 located approximately half a mile southwest of the site at 501 Stetson Street Moss Beach and would not be impacted because primary access to all major roads would be maintained during construction. As discussed in Section 9 (Hazards and Hazardous Materials), the proposed project would not impair or physically interfere with an adopted emergency response or evacuation plan. Therefore, impacts would be less-than-significant, and no mitigation is required.</p>				

Source: Project Plans, Project Location, County GIS Maps.				
20.b. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?			X	
<p>Discussion: Pursuant to the discussion in Section 20.a, the proposed project would not exacerbate wildfire risks, and thereby expose project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire.</p> <p>Source: Project Location, County GIS Maps.</p>				
20.c. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?			X	
<p>Discussion: The project does not involve a new road, fuel break, emergency water source, or other associated infrastructure that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment. Any new power lines would be installed underground.</p> <p>Source: Project Location, County GIS Maps.</p>				
20.d. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?			X	
<p>Discussion: While the house site itself is generally level, the overall parcel moderately slopes downward toward the west. The proposed on-site drainage facilities have been sized and appropriately placed to retain the stormwater on-site and would allow it to percolate into the ground as determined by the review of the County's Drainage Section. As the project would not increase the risk of wildfire or the severity of wildfires, the project would not expose these structures to significant risk from flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes.</p> <p>Source: Project Plans, San Mateo County Drainage Section.</p>				

21. MANDATORY FINDINGS OF SIGNIFICANCE.				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
21.a. Does the project have the potential to substantially degrade the quality of the		X		

environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?				
<p>Discussion: The project as proposed with all the recommended mitigation measures discussed in the previous sections would ensure that potential impacts are less-than-significant.</p> <p>Source: All Applicable Sources Previously Cited in This Document.</p>				
21.b. Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)		X		
<p>Discussion: The project as proposed with all the recommended mitigation measures discussed in the previous sections would minimize potential impacts to a less-than-significant level.</p> <p>Source: All Applicable Sources Previously Cited in This Document.</p>				
21.c. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?		X		
<p>Discussion: The project as proposed with all the recommended mitigation measures discussed in the previous sections would minimize potential impacts to a less-than-significant level.</p> <p>Source: All Applicable Sources Previously Cited in This Document.</p>				

RESPONSIBLE AGENCIES. Check what agency has permit authority or other approval for the project.

AGENCY	YES	NO	TYPE OF APPROVAL
Bay Area Air Quality Management District		X	
Caltrans		X	
City		X	

AGENCY	YES	NO	TYPE OF APPROVAL
California Coastal Commission		X	
County Airport Land Use Commission (ALUC)		X	
Other: _____		X	
National Marine Fisheries Service		X	
Regional Water Quality Control Board		X	
San Francisco Bay Conservation and Development Commission (BCDC)		X	
Sewer/Water District:	X		Montara Water and Sanitary District
State Department of Fish and Wildlife		X	
State Department of Public Health		X	
State Water Resources Control Board		X	
U.S. Army Corps of Engineers (CE)		X	
U.S. Environmental Protection Agency (EPA)		X	
U.S. Fish and Wildlife Service		X	

MITIGATION MEASURES		
	<u>Yes</u>	<u>No</u>
Mitigation measures have been proposed in project application.	X	
Other mitigation measures are needed.	X	
<p>The following measures are included in the project plans or proposals pursuant to Section 15070(b)(1) of the State CEQA Guidelines:</p> <p>Mitigation Measure 1: The applicant shall require construction contractors to implement all the Bay Area Air Quality Management District's Basic Construction Mitigation Measures, listed below, and include these measures on permit plans submitted to the Building Inspection Section:</p> <ol style="list-style-type: none"> All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day. All haul trucks transporting soil, sand, or other loose material off-site shall be covered. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited. All vehicle speeds on unpaved roads shall be limited to 15 mph. 		

- e. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- f. All construction equipment shall be maintained and properly tuned in accordance with manufacturers' specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- g. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of the California Code of Regulations (CCR)). Clear signage shall be provided for construction workers at all access points.
- h. Post a publicly visible sign with the telephone number and person to contact at the Lead Agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.

Mitigation Measure 2: In the event that cultural, paleontological, or archaeological resources are encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Community Development Director of the discovery. The applicant shall be required to retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Community Development Director for review and approval a report of the findings and methods of curation or protection of the resources. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).

Mitigation Measure 3: The design of the proposed development (upon submittal of the Building Permit) on the subject parcel shall generally follow the recommendations cited in the geotechnical report prepared by Sigma Prime regarding earthwork (i.e. clearing and subgrade preparation, compaction, surface drainage), foundations (i.e. pier and grade beam, spread footings, lateral loads, and slabs-on-grade), and retaining walls. Any such changes to the recommendations by the project geotechnical engineer cited in this report and subsequent updates shall be submitted for review and approval by the County's Geotechnical Engineer.

Mitigation Measure 4: At the time of building permit application, the applicant shall submit for review and approval, erosion and drainage control plans that show how the transport and discharge of soil and pollutants from and within the project site will be minimized. The plans shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment-capturing devices. The plans shall include measures that limit the application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plan shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including:

- a. Sequence construction to install sediment-capturing devices first, followed by runoff control measures and runoff conveyances. No construction activities shall begin until after all proposed measures are in place.

- b. Minimize the area of bare soil exposed at one time (phased grading).
- c. Clear only areas essential for construction.
- d. Within five (5) days of clearing or inactivity in construction, stabilize bare soils through either non-vegetative Best Management Practices (BMPs), such as mulching, or vegetative erosion control methods, such as seeding. Vegetative erosion control shall be established within two (2) weeks of seeding/planting.
- e. Construction entrances shall be stabilized immediately after grading and frequently maintained to prevent erosion and to control dust.
- f. Control wind-born dust through the installation of wind barriers such as hay bales and/or sprinkling.
- g. Soil and/or other construction-related material stockpiled on-site shall be placed a minimum of 200 ft., or to the extent feasible, from all wetlands and drain courses. Stockpiled soils shall be covered with tarps at all times of the year.
- h. Intercept runoff above disturbed slopes and convey it to a permanent channel or storm drains by using earth dikes, perimeter dikes or swales, or diversions. Use check dams where appropriate.
- i. Provide protection for runoff conveyance outlets by reducing flow velocity and dissipating flow energy.
- j. Use silt fence and/or vegetated filter strips to trap sediment contained in sheet flow. The maximum drainage area to the fence should be 0.5 acres or less per 100 ft. of fence. Silt fences shall be inspected regularly, and sediment removed when it reaches 1/3 of fence height. Vegetated filter strips should have relatively flat slopes and be vegetated with erosion resistant species.
- k. Throughout the construction period, the applicant shall conduct regular inspections of the condition and operational status of all structural BMPs required by the approved erosion control plan.
- l. Environmentally-sensitive areas shall be delineated and protected to prevent construction impacts.
- m. Control fuels and other hazardous materials, spills, and litter during construction.
- n. Preserve existing vegetation whenever feasible.

Mitigation Measure 5: No grading shall be allowed during the wet weather season (October 1 through April 30) to avoid increased potential soil erosion, unless the applicant applies for an Exception to the Winter Grading Moratorium and the Community Development Director grants the exception. Exceptions will only be granted if dry weather is forecasted during scheduled grading operations, and the erosion control plan includes adequate winterization measures (amongst other determining factors).

Mitigation Measure 6: An Erosion Control and Tree Protection Pre-Site Inspection shall be conducted prior to the issuance of a grading permit "hard card" and/or building permit to ensure

that the approved erosion control and tree protection measures are installed adequately prior to the start of ground disturbing activities.

Mitigation Measure 7: The applicant shall route stormwater to a new infiltration-based retention feature that consists of a 13-foot long, 60-inch diameter perforated pipe surrounded by a minimum of 6-inch aggregate on the sides. The system overflows through a minimum one-square foot grate at the top. The trench will be lengthened in order to increase percolation between storms to the required rate.

Mitigation Measure 8: In the event that tribal cultural resources are inadvertently discovered during project implementation, all work shall stop until a qualified professional can evaluate the find and recommend appropriate measures to avoid and preserve the resource in place, or minimize adverse impacts to the resource, and those measures shall be approved by the Current Planning Section prior to implementation and continuing any work associated with the project.

Mitigation Measure 9: Any inadvertently discovered tribal cultural resources shall be treated with culturally appropriate dignity taking into account the tribal cultural values and meaning of the resource, including, but not limited to, protecting the cultural character and integrity of the resource, protecting the traditional use of the resource, and protecting the confidentiality of the resource.

DETERMINATION (to be completed by the Lead Agency).

On the basis of this initial evaluation:

I find the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared by the Planning Department.

I find that although the proposed project could have a significant effect on the environment, there WILL NOT be a significant effect in this case because of the mitigation measures in the discussion have been included as part of the proposed project. A MITIGATED NEGATIVE DECLARATION will be prepared.

I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.



(Signature)

Summer Burlison, Project Planner

(Title)

May 11, 2021

Date