

Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063
 Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Application for Design Review by the County Coastside Design Review Committee

Permit #: PLN _____

Other Permit #: _____

1. Basic Information

Applicant:

Name: _____

Address: _____

Zip: _____

Phone,W: _____ H: _____

Email: _____

Owner (if different from Applicant):

Name: _____

Address: _____

Zip: _____

Phone,W: _____ H: _____

Email: _____

Architect or Designer (if different from Applicant):

Name: _____

Address: _____ Zip: _____

Phone,W: _____ H: _____ Email: _____

2. Project Site Information

Project location:

APN: _____

Address: _____

Zip: _____

Zoning: _____

Parcel/lot size: _____ sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe):

EXISTING ONE-STORY, SINGLE FAMILY HOME WITH ATTACHED GARAGE AND DETACHED GARAGE

3. Project Description

Project:

- New Single Family Residence: _____ sq. ft
- Addition to Residence: **866** sq. ft
- Other: _____

Describe Project:

ADDITION TO THE REAR OF THE EXISTING ONE-STORY HOME AND SMALL WINDOW SEAT AND PORCH ADDITION ON RIGHT SIDE OF HOME. NEW DECK OFF THE GREAT ROOM ADDITION AT REAR OF THE EXISTING HOME.

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	<u>HORIZONTAL SIDING, BOARD & BATTEN</u>	<u>PAINTED, KENDALL CHARCOAL</u>	<input type="checkbox"/>
b. Trim	<u>PAINTED WOOD</u>	<u>PAINTED, ASHWOOD MOSS</u>	<input type="checkbox"/>
c. Windows	<u>COMPOSITE FIRBEX BY ANDERSON</u>	<u>PAINTED, BLACK</u>	<input type="checkbox"/>
d. Doors	<u>WOOD, PAINTED</u>	<u>BLACK FRONT DOOR</u>	<input type="checkbox"/>
e. Roof	<u>ASPHALT SHINGLE</u>	<u>MOIRE BLACK</u>	<input type="checkbox"/>
f. Chimneys	<u>N/A</u>		<input type="checkbox"/>
g. Decks & railings	<u>METAL W/WOOD TOP RAIL</u>	<u>BLACK METAL, STAINED WOOD</u>	<input type="checkbox"/>
h. Stairs	<u>TREX</u>	<u>COASTAL BLUFF</u>	<input type="checkbox"/>
i. Retaining walls	<u>N/A</u>		<input type="checkbox"/>
j. Fences	<u>N/A</u>		<input type="checkbox"/>
k. Accessory buildings	<u>N/A</u>		<input type="checkbox"/>
l. Garage/Carport	<u>HORIZONTAL SIDING, BOARD & BATTEN</u>	<u>PAINTED, KENDALL CHARCOAL</u>	<input type="checkbox"/>

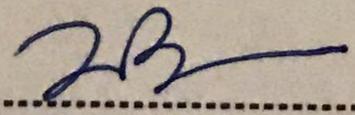
5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

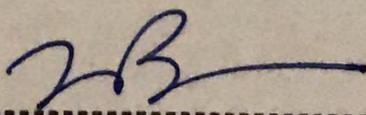
- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.



 Owner:



 Applicant:

4/15/2021

 Date:

4/15/2021

 Date:

Certificate of Exemption or Exclusion from a Coastal Development Permit

Permanent Record
Microfilming Required

Permit #: PLN _____

Permit #: BLD _____

1. Basic Information

Owner
 Name: MATT & TARA BENSON
 Address: 738 FRANCISCO STREET
 EL GRANADA, CA Zip: 94018
 Phone,W: H: 6505768849
 Email Address: taralbenson@gmail.com

Applicant
 Name: MATT & TARA BENSON
 Address: 738 FRANCISCO STREET
 EL GRANADA, CA Zip: 94018
 Phone,W: H: 6505768849
 Email Address: taralbenson@gmail.com

2. Project Information

Project Description:
 866 SF ADDITION TO SINGLE FAMILY HOME AND DECK OFF ADDITION.
 NO SIGNIFICANT TREES ARE PROPOSED FOR REMOVAL. MINIMAL
 GRADING FOR FOOTPRINT OF ADDITION ON RELATIVELY FLAT LOT.

Existing water source:
 Utility connection _____
 Well _____

Proposed water source:
 Utility connection _____
 Well _____

Assessor's Parcel Number(s):
 47 — 274 — 40
 47 — 274 — 50
 — —

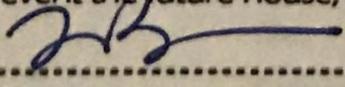
Staking of well location and property lines are required.

Provide site plan depicting location and all trees.
 Will this require any grading or vegetation/tree removal? Yes No

If Yes, additional permits may be required. Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.

3. Signatures

We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we hereby agree to carry out this project in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance.

 _____ 4/15/2021 _____
 Owner Date Applicant Date

(Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)

Environmental Information Disclosure Form

PLN _____

BLD _____

Project Address: _____

Assessor's Parcel No.: — —

Zoning District: _____

Name of Owner: _____

Address: _____

Phone: _____

Name of Applicant: _____

Address: _____

Phone: _____

Existing Site Conditions

Parcel size: _____

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). _____

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
		a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
		b. Construction of a new multi-family residential structure having 5 or more units?
		c. Construction of a commercial structure > 2,500 sq.ft?
		d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : _____ c.y. Fill: _____ c.y.
		f. Subdivision of land into 5 or more parcels?
		g. Construction within a State or County scenic corridor?
		h. Construction within a sensitive habitat?
		i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
		j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?
Please explain any "Yes" answers:		

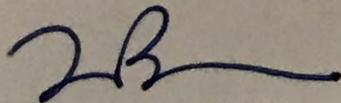
3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u></p> <p>If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>b. <u>Land disturbance of 1 acre or more of area?</u></p> <p>If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.</p>

Certification

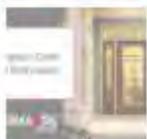
I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:



Date: 4/15/2021

(Applicant may sign)



Classic Craft® Visionary Collection™ in Fir Grain



Full Lite Shaker Flush-Glazed | Style No. CCA2300XE-SDLF4 

★★★★★ 5.0 (1) [Write a review](#)

1 Available Size ›



VIEW ON HOME

THERMA-TRU PRISMAGUARD STAIN OPTIONS



Looking for more information on finishing options? Check out our [finishing page](#) and learn how you can use finish to make your house a home with Therma-Tru.

GLASS OPTIONS



Satin Etch



Satin Etch Colonial 3 Lite
1Wx3H Simulated Divided Lites
- Flat 5-1/2"





ROOK

1784SK-LL

MEDIUM WALL MOUNT LANTERN

With a strong and imperial presence, Rook features clean, modern lines with a down light softly grazing the clear seedy glass. The bold Bronze, Satin Black and Titanium finish options accentuate its sturdy frame and aluminum construction.

DETAILS	
FINISH:	Satin Black
MATERIAL:	Aluminum
GLASS:	Clear Seedy

DIMENSIONS	
WIDTH:	4.8"
HEIGHT:	12"
WEIGHT:	3.5 lbs.
BACK PLATE:	4.75" Sq.
EXTENSION:	5.5"
TOP TO OUTLET:	2.5"

LIGHT SOURCE	
LIGHT SOURCE:	LED Lamp
LED NAME:	GU10LED-6.5
WATTAGE:	1-6.50w GU10 LED *Included
VOLTAGE:	120v
COLOR TEMP:	2700
LUMENS:	500
CRI:	80
INCANDESCENT EQUIVALENCY:	1 x 50w
DIMMABLE:	Yes - CL Type Dimmer (SSL7A)

SHIPPING	
CARTON LENGTH:	11"
CARTON WIDTH:	8"
CARTON HEIGHT:	15.5"
CARTON WEIGHT:	4.5 lbs.

PRODUCT DETAILS:

- Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky.
- LED lamp included is JA8 2016 certified.
- 2 year finish warranty
- LED Lamps carry a 3-year limited warranty
- Bold lines and a clean, minimalist style complement contemporary architecture
- Striking black finish enhances design
- Please refer to Hinkley's Warranty for complete product warranty details; some warranty limitations may apply.



PROPOSED REAR LEFT VIEW



PROPOSED REAR RIGHT VIEW



PROPOSED FRONT RIGHT VIEW

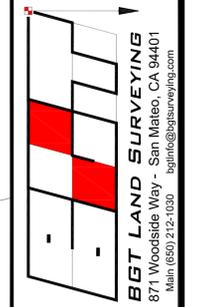
BENSON RESIDENCE

738 FRANCISCO STREET, EL GRANADA CA 94018

DEMONSTRATION OF SCALE

04/15/21

FAT PEN
STUDIOS



BOUNDARY AND TOPOGRAPHIC SURVEY
 LOTS 29-32, BLOCK 19, "PLAT OF SUBDIVISION NO. 1 'GRANADA'" (BOOK 5 MAPS 43)

738 FRANCISCO STREET
 EL GRANADA, CALIFORNIA

Assessor Parcel Number:
 047-274-050
 047-274-040

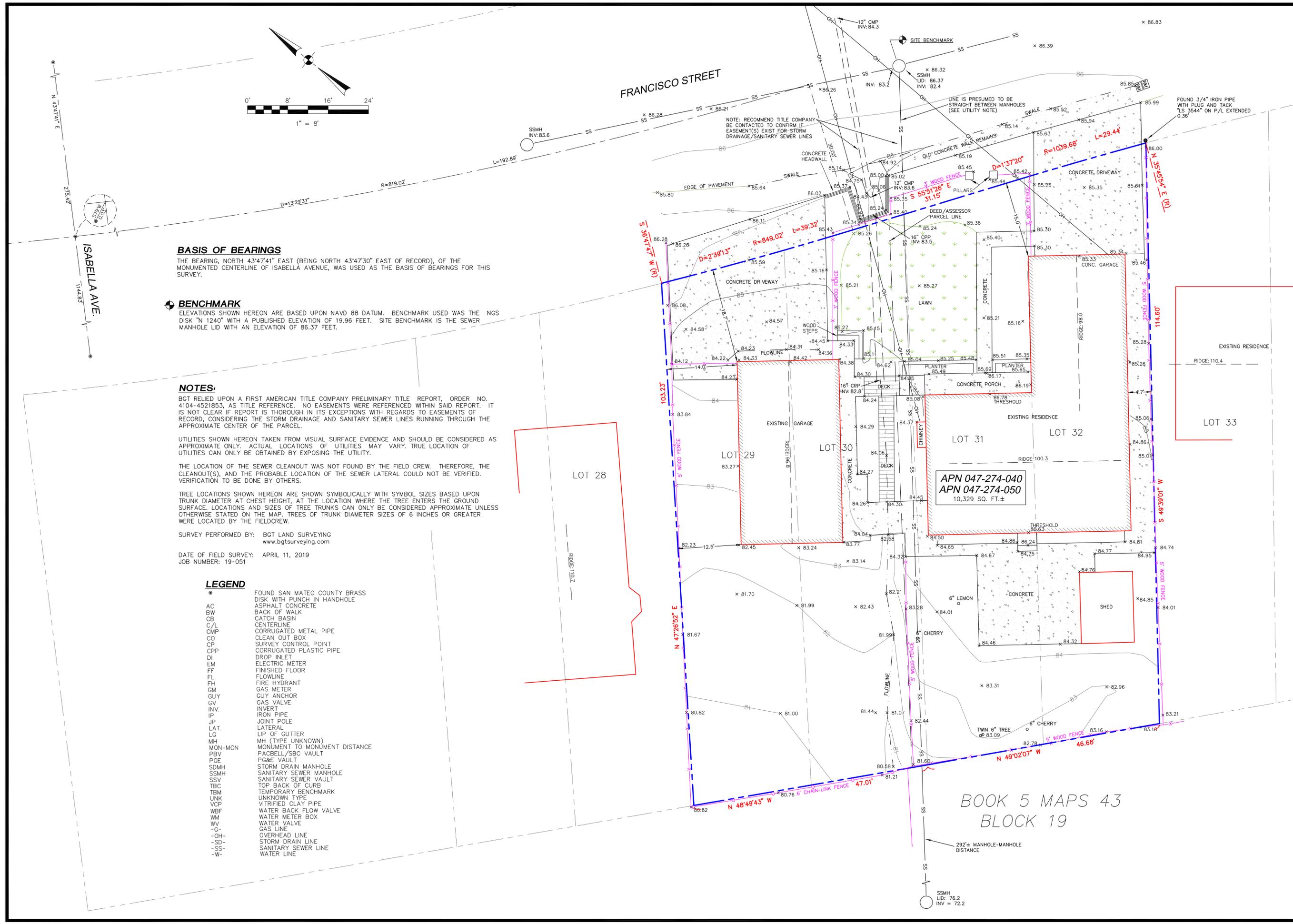
Prepared For:
 TARA BENSON
 PO BOX 2339
 EL GRANADA, CA 94018

Date: APRIL 2019
 Scale: 1" = 8'
 Contour Interval: 1'
 Drawn by: LHL

Revisions:

SU-1

Job No. 19-051



BASIS OF BEARINGS
 THE BEARING, NORTH 43°47'41" EAST (BEING NORTH 43°47'30" EAST OF RECORD), OF THE MONUMENTED CENTERLINE OF ISABELLA AVENUE, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK
 ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM. BENCHMARK USED WAS THE NGS DISK "N 1240" WITH A PUBLISHED ELEVATION OF 19.96 FEET. SITE BENCHMARK IS THE SEWER MANHOLE LID WITH AN ELEVATION OF 86.37 FEET.

NOTES:
 BGT RELIED UPON A FIRST AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 4104-4521853, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT. IT IS NOT CLEAR IF REPORT IS THOROUGH IN ITS EXCEPTIONS WITH REGARDS TO EASEMENTS OF RECORD, CONSIDERING THE STORM DRAINAGE AND SANITARY SEWER LINES RUNNING THROUGH THE APPROXIMATE CENTER OF THE PARCEL.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

THE LOCATION OF THE SEWER CLEANOUT WAS NOT FOUND BY THE FIELD CREW. THEREFORE, THE CLEANOUT(S), AND THE PROBABLE LOCATION OF THE SEWER LATERAL COULD NOT BE VERIFIED. VERIFICATION TO BE DONE BY OTHERS.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELD CREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING
 www.bgtlandsurveying.com

DATE OF FIELD SURVEY: APRIL 11, 2019
 JOB NUMBER: 19-051

LEGEND

●	FOUND SAN MATEO COUNTY BRASS DISK WITH PUNCH IN HANDHOLE
AC	ASPHALT CONCRETE
BW	BACK OF WALK
CB	CATCH BASIN
C/L	CENTERLINE
CMP	CORRUGATED METAL PIPE
CD	CLEAN OUT BOX
CP	SURVEY CONTROL POINT
CPP	CORRUGATED PLASTIC PIPE
DI	DROP INLET
EM	ELECTRIC METER
FF	FINISHED FLOOR
FL	FLOWLINE
FH	FIRE HYDRANT
GM	GAS METER
GUY	GUY ANCHOR
GV	GAS VALVE
INV.	INVERT
IP	IRON PIPE
JP	JOINT POLE
LAT.	LATERAL
LG	LIP OF GUTTER
MH	MH (TYPE UNKNOWN)
MON-MON	MONUMENT TO MONUMENT DISTANCE
PBV	PACBELL/SBC VAULT
PGE	P&G VAULT
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
SSV	SANITARY SEWER VAULT
TBC	TOP BACK OF CURB
TBM	TEMPORARY BENCHMARK
UNK	UNKNOWN TYPE
VCP	VITRIFIED CLAY PIPE
WBF	WATER BACK FLOW VALVE
WM	WATER METER BOX
WV	WATER VALVE
-G-	GAS LINE
-OH-	OVERHEAD LINE
-SD-	STORM DRAIN LINE
-SS-	SANITARY SEWER LINE
-W-	WATER LINE



LEGEND

- EXISTING CONTOURS
- DOWNSPOUT
- 4" SOLID DRAIN PIPE
- DIRECTION OF SURFACE DRAINAGE

GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF:
TARA BENSON, OWNER
2. TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED APRIL 11, 2019.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM NAVD88.

DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. ALL NEW DOWNSPOUT DRAIN LINES SHALL LEAD TO DRY WELL, AS SHOWN.
3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DRY WELL TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

CUT VOLUME : 10 CY (FOR FOUNDATION)
 FILL VOLUME: 0 CY

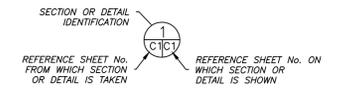
VOLUMES ABOVE ARE APPROXIMATE.

THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

SECTION AND DETAIL CONVENTION

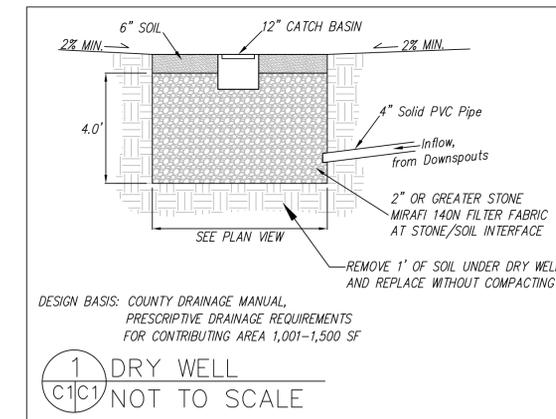


Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 SUITE 1100 SAN BART, CA 94019
 (505) 728-5890
 FAX 728-9583

DATE: 3-22-21
 DRAWN BY: CMK
 CHECKED BY: AZG
 REV. DATE: 4-14-21
 REV. DATE:
 REV. DATE:

GRADING AND DRAINAGE PLAN
 BENSON PROPERTY
 738 FRANCISCO STREET
 EL GRANADA
 APN 047-274-140,050

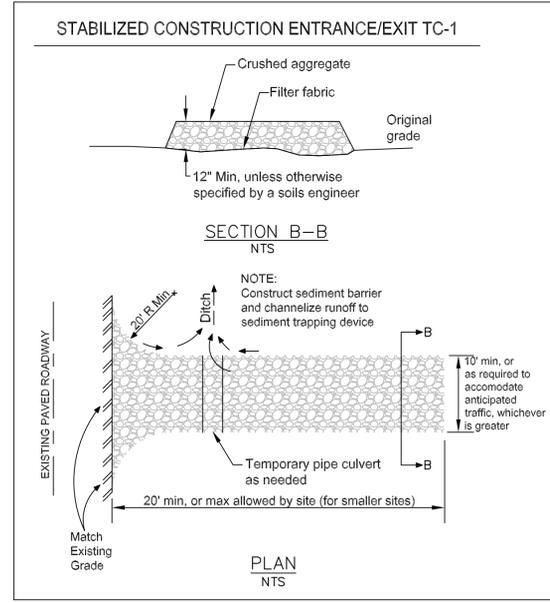
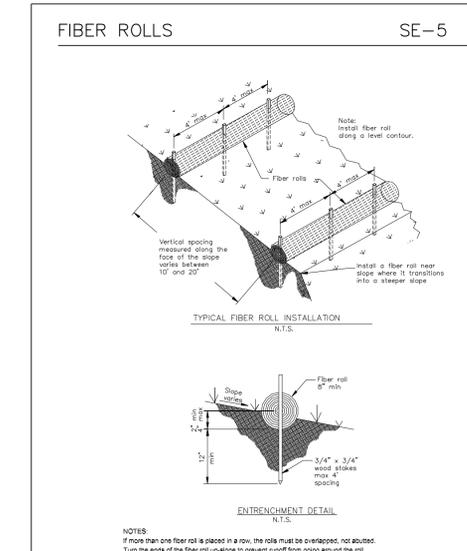
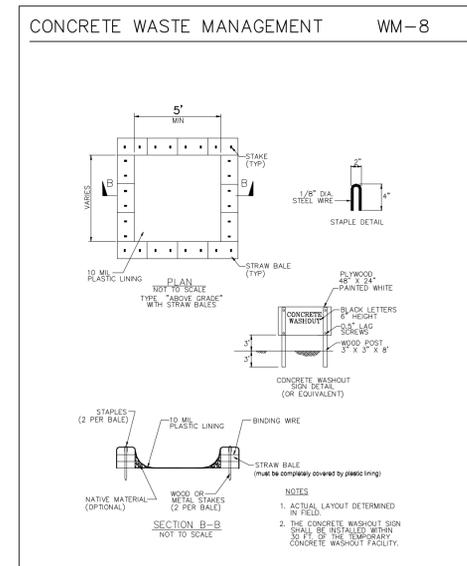
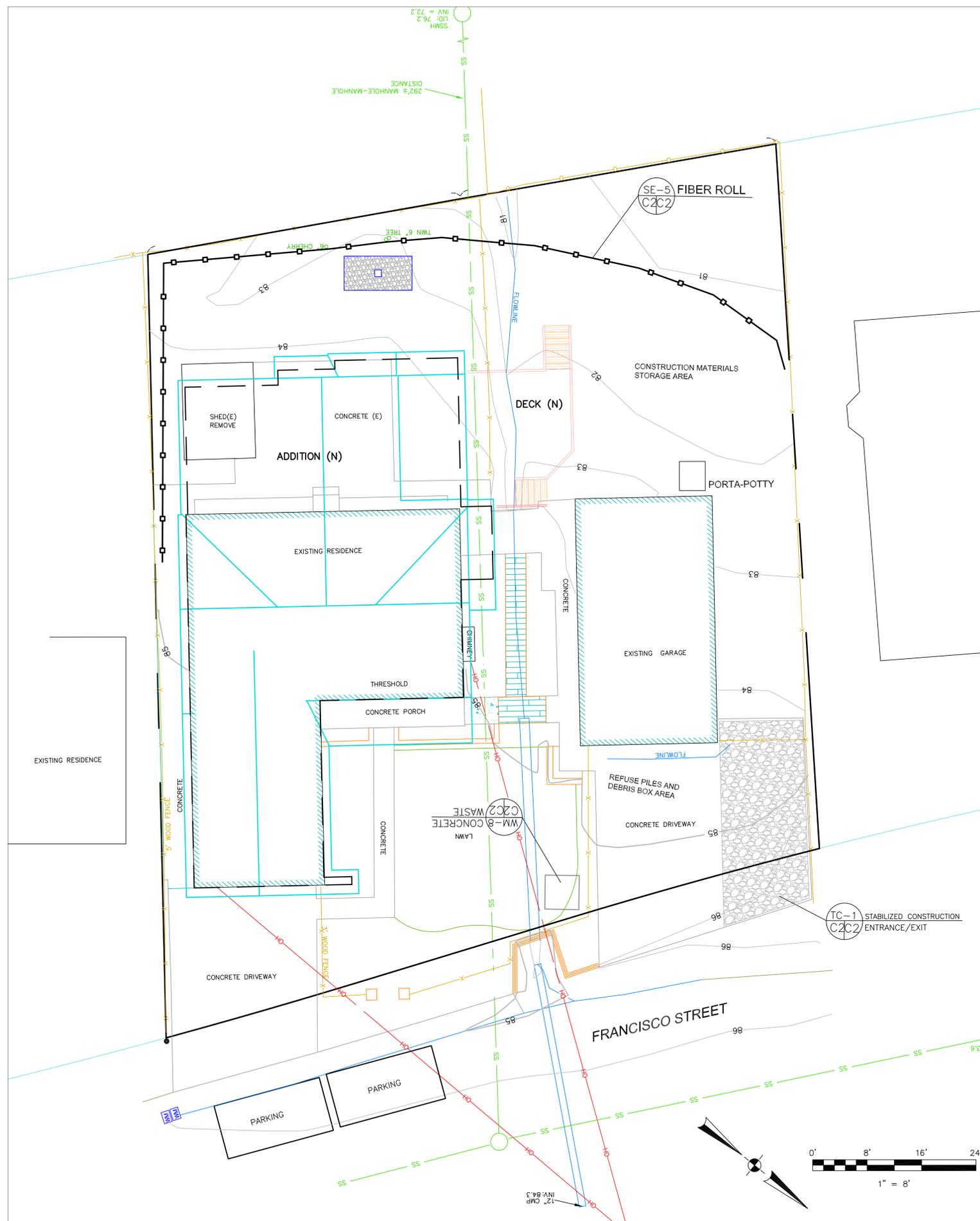
SHEET
 C-1



GENERAL EROSION AND SEDIMENT CONTROL NOTES



- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There are no trees or driplines on the site.



EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: TARA BENSON
 TITLE/QUALIFICATION: OWNER
 PHONE: 650-576-8849
 PHONE:
 E-MAIL: TARALBENSON@GMAIL.COM



Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3580
 FAX 728-3593

DATE: 3-22-21
 DRAWN BY: CMK
 CHECKED BY: AZG
 REV. DATE: 4-14-21
 REV. DATE:
 REV. DATE:

EROSION AND SEDIMENT CONTROL PLAN
 BENSON PROPERTY
 738 FRANCISCO STREET
 EL GRANADA
 APN 047-274-140,050

SHEET
 C-2



SAN MATEO COUNTYWIDE

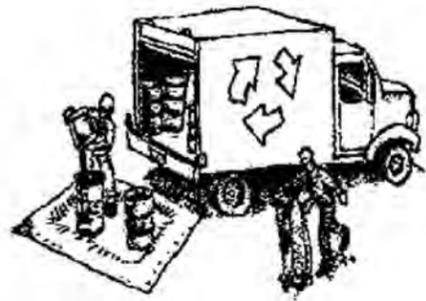
Water Pollution Prevention Program

Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



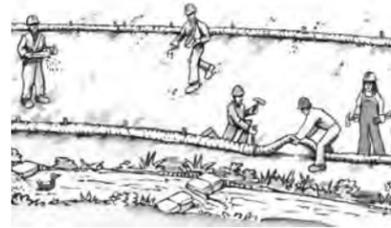
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



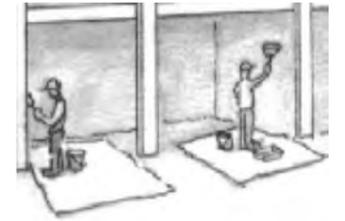
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

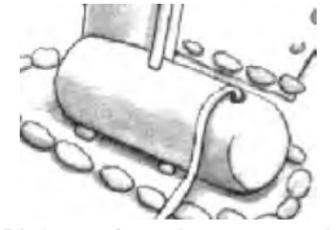
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!