

Planning and Building Department

Application for Design Review by the County Coastside Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Permit #: PLN _____

Other Permit #: _____

1. Basic Information

Applicant:

Name: Randy Ralston
Address: 385 Miramar Drive
Half Moon Bay, CA Zip: 94019
Phone,W: H: 650.245.561
Email: ralsmend@comcast.net

Owner (if different from Applicant):

Name: Same
Address: 385 Miramar Drive
Zip: 94019
Phone,W: H:
Email:

Architect or Designer (if different from Applicant):

Name: Sue Taylor Design
Address: PO Box 961 Camino, CA Zip: 95709
Phone,W: 530.391.219 H: Email: suetaylor@comcast.net

2. Project Site Information

Project location:

APN: 047-217-11
Address: XXX Ave Del Oro
El Granada, CA Zip: 94018
Zoning: R-1
Parcel/lot size: 6,000 sq. ft.

Site Description:

- vacant parcel
Existing Development (Please describe):

3. Project Description

Project:

- New Single Family Residence: 2601 sq. ft
Addition to Residence:
Other:

Additional Permits Required:

- Certificate of Compliance Type A or Type B
Coastal Development Permit
Fence Height Exception (not permitted on coast)
Grading Permit or Exemption
Home Improvement Exception
Non-Conforming Use Permit
Off-Street Parking Exception
Variance

Describe Project:

NEW SINGLE FAMILY HOME

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	Stucco, Wood, Rock	_____	<input type="checkbox"/>
b. Trim	Wood	_____	<input type="checkbox"/>
c. Windows	Vinyl	_____	<input type="checkbox"/>
d. Doors	Wood	_____	<input type="checkbox"/>
e. Roof	Composite	_____	<input type="checkbox"/>
f. Chimneys	N/A	_____	<input type="checkbox"/>
g. Decks & railings	Concret	_____	<input type="checkbox"/>
h. Stairs	Interior-Wood	_____	<input type="checkbox"/>
i. Retaining walls	Concrete	_____	<input type="checkbox"/>
j. Fences	Wood	_____	<input type="checkbox"/>
k. Accessory buildings	N/A	_____	<input type="checkbox"/>
l. Garage/ Carport	Stucco, wood	_____	<input type="checkbox"/>

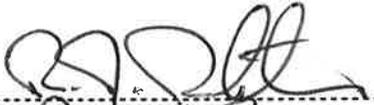
5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.


 Owner: RANDY TALSTON


 Applicant: RANDY TALSTON

6/17/20
 Date:

6/17/20
 Date:

Planning and Building Department

Planning Permit Application Form

455 County Center, 2nd Floor • Redwood City CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849
www.co.sanmateo.ca.us/planning

PLN:

BLD:

Applicant/Owner Information

Applicant: Randy Ralston

Mailing Address: 385 Miramar Drive, Half Moon Bay, C

Zip: 94019

Phone,W: H: 650.245.561

E-mail Address: ralsmend@comcast.net FAX:

Name of Owner (1): Randy Ralston Name of Owner (2):

Mailing Address: 385 Miramar Drive Mailing Address:

Half Moon Bay, CA

Zip: 94019 Zip:

Phone,W: Phone,W:

H: 650.245.561 H:

E-mail Address: ralsmend@comcast.net E-mail Address:

Project Information

Project Location (address): Assessor's Parcel Numbers: 047-217-110

XXX Ave Del Oro, El Granada, CA 94

Zoning: R-1 Parcel/lot size: 6,000 SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)

New, single family residence on an undeveloped 6,000 sq-ft infill lot.

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):

Upsloping lot with mature trees on site.

Describe Existing Structures and/or Development:

None

Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature: [Handwritten Signature]

Owner's signature:

Applicant's signature: [Handwritten Signature]

Environmental Information Disclosure Form

Planning and Building Department

PLN _____

BLD _____

Project Address: XXX Avenue Del Oro
El Granada, CA 94018

Assessor's Parcel No.: 047 — 217 — 110

Zoning District: R-1

Name of Owner: Randy Ralston

Address: 385 Miramar Drive
Half Moon Bay Phone: 650.245.561

Name of Applicant: Same

Address: _____
Phone: _____

Existing Site Conditions

Parcel size: 6,000 sq-f

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). Upsloping lot with several mature trees.

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? <u>Qty-7</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>450</u> c.y. Fill: _____ c.y.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

D. Seven trees to be removed.

E. ~~200~~ 450 cubic yards of soil to be excavated.

2. National Marine Fisheries Rule 4(d) Review		
Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?
Please explain any "Yes" answers:		

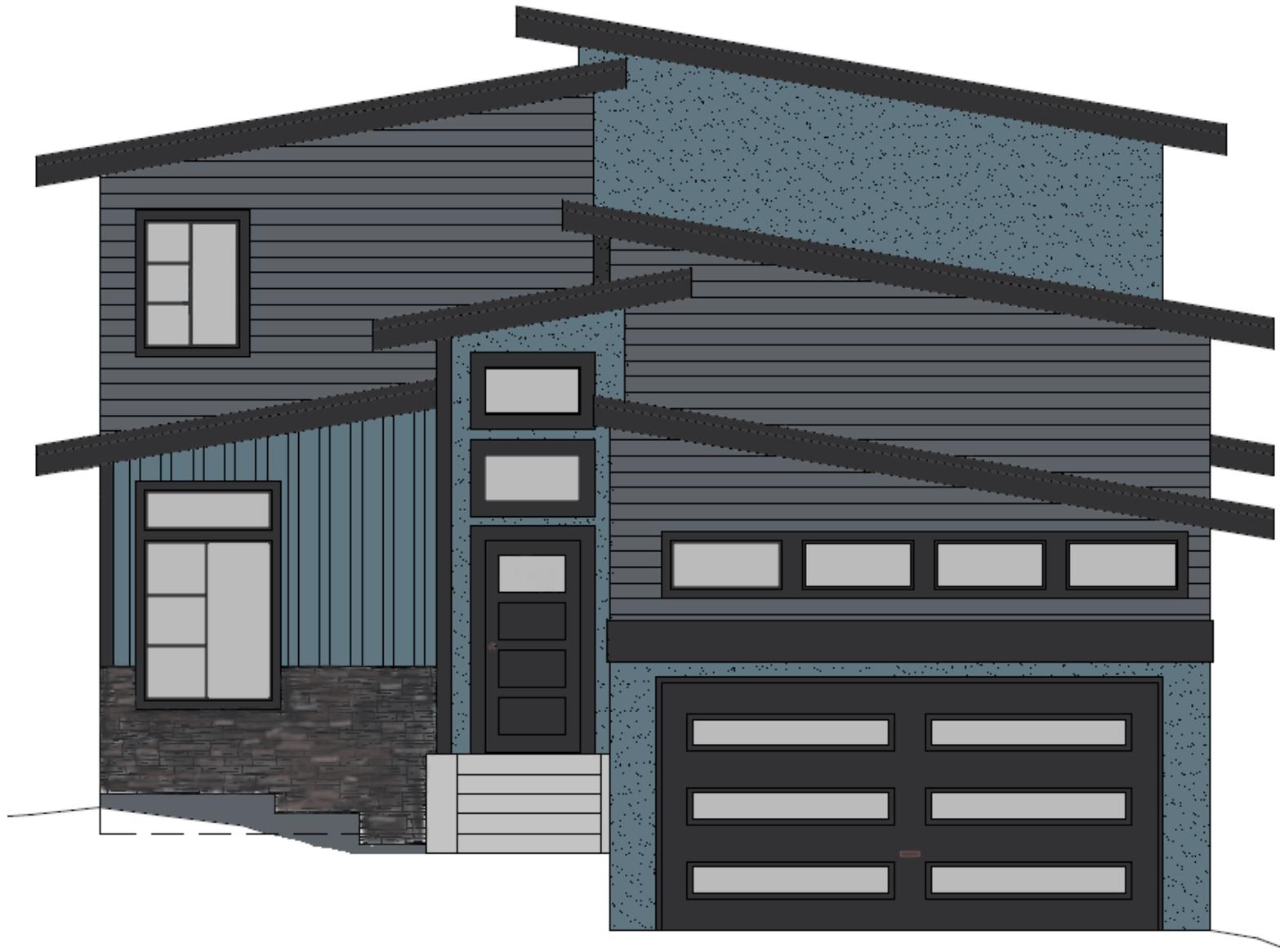
3. National Pollutant Discharge Elimination System (NPDES) Review		
Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: 
(Applicant may sign)

Date: 6/17/20



Trim and Windows
Black
HC-190



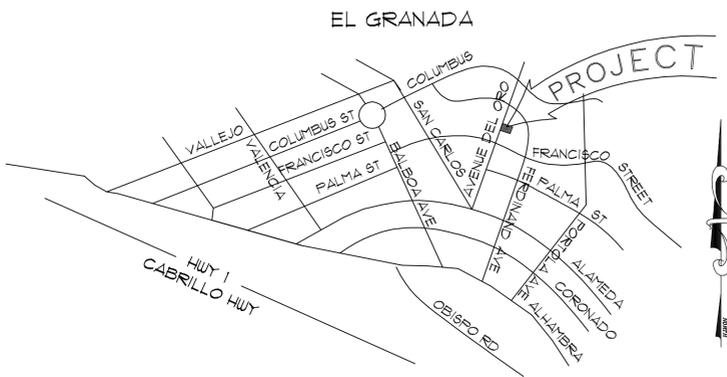
Siding
Anchor Gray
2126-30



Stucco
Hamilton Blue
HC-191



Stone
Eldorado Stone
Stacked Stone
Dark Rundle



VICINITY MAP
NO SCALE

PROFESSIONALS

GEOTECH ENGINEER:
SIGMA PRIME GEOSCIENCES INC.
111 VASSAR ST, HALF MOON BAY, CA 94019
(650) 128-3590

SURVEYOR:
BGT LAND SURVEYING
BRYAN G. TAYLOR, PLS
1920 LESLIE ST, SAN MATEO, CA 94403
(650) 212-1030

FIRE SPRINKLER ENGINEERING:
PENINSULA FIRE PROTECTION INC.
1431 PARKWOOD DR, SAN MATEO, CA, 94403
(650) 113-0108

STRUCTURAL ENGINEER:
MIKE O'CONNELL, P.E.
900 ROSITA ROAD
PACIFICA, CA 94044
(650) 303-0495

BUILDING DESIGNER:
SUE TAYLOR
P. O. BOX 961 CAMINO, CA 95109
(530) 391-2190

NOTES

1. NEW RESIDENTIAL BUILDINGS SHALL HAVE ADDRESS NUMBERS THAT ARE INTERNALLY OR EXTERNALLY ILLUMINATED. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES IN HEIGHT WITH A STROKE OF NOT LESS THAN 0.5 INCH. THE ADDRESS DESIGNATION SHALL BE AT LEAST SIX FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY, WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY. A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. THE SIGNAGE WILL CONSIST OF A 6 INCH BY 18 INCH REFLECTIVE METAL SIGN WITH 3 INCH REFLECTIVE NUMBERS SIMILAR TO HY-KO 911 OR EQUIVALENT. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE).

2. THE RESIDENCE AND GARAGE SHALL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM. SEE PLAN PROVIDED BY PENINSULA FIRE PROTECTION INC.

3. A FUELBREAK OR DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES, EXISTING AND NEW, TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES.

4. TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP TO 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10 FEET TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.

5. REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OF STOVEPIPE OR IS WITHIN 5 FEET OF ANY STRUCTURE. REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5 FEET OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.

6. NEW POWER AND TELEPHONE UTILITY LINE FROM THE STREET OR NEAREST EXISTING UTILITY POLE TO THE MAIN DWELLING AND/OR ANY OTHER STRUCTURE ON THE PROPERTY SHALL BE PLACED UNDERGROUND.

PROJECT INFORMATION

LOT AREA: 6,006.83 SQ. FT.
MAXIMUM LOT COVERAGE: 35% OF LOT AREA (35 x 6,006.83 = 2,102.39 SQ. FT.)
PROPOSED LOT COVERAGE: 2101.11 SQ FT
MAXIMUM BUILDING FLOOR AREA: 53% OF LOT AREA (53 x 6,006.83 = 3,183.62 SQ. FT.)
PROPOSED FLOOR AREA: 2615 SQ. FT.
MAXIMUM IMPERVIOUS SURFACE: 10% OF LOT AREA (10 x 6,006.83 = 600.68 SQ. FT.)
PROPOSED IMPERVIOUS SURFACE: 579 SQ. FT.
FRONT SET BACKS: 20'
REAR SET BACKS: 20'
SIDE SET BACK: TOTAL 15', MIN. 5'
MAXIMUM HEIGHT PERMITTED: 28'
PROPOSED MAX. HEIGHT: 23'-2 1/4"

GENERAL INFORMATION

OWNER: RANDY RALSTON & LINDA MENDIOLA
385 MIRAMAR DRIVE
HALF MOON BAY, CA 94019

SITE ADDRESS: AVENUE DEL ORO
EL GRANADA, CA

PHONE: (650) 245-5613

PROJECT: NEW RESIDENCE

BUILDING INFORMATION

OCCUPANCY: R-3 / U
CODE: 2019 CALIFORNIA RESIDENTIAL CODE, BUILDING, PLUMBING, MECHANICAL, FIRE, ELECTRICAL CODES, CALIFORNIA TITLE 24 ENERGY CODE, GREEN BUILDING STANDARDS CODE, WILDLAND-URBAN INTERFACE 2019 CRC SECTION R331.

FLOOR AREA (2 STORY)	FIRST FLOOR AREA	1650#
	SECOND FLOOR AREA	545#
	TOTAL LIVING AREA :	2195#
	GARAGE AREA	420#
	TOTAL FLOOR AREA:	2615#

BUILDING TYPE: V-B
DESIGN LOADS: ROOF 20 psf LIVE, FLOOR 40 psf LIVE

SITE INFORMATION

JURISDICTION: COUNTY OF SAN MATEO
ASSESSOR'S PARCEL NO.: 041-211-110
SITE AREA: 6,006.83 SQ. FT.
ZONE: R-1/3-11/DR/CD
WATER: PUBLIC
SEWAGE DISPOSAL: PUBLIC

ENERGY STATEMENT

THE BUILDING SHOWN ON THESE PLANS SUBSTANTIALLY CONFORMS TO THE REQUIREMENTS OF TITLE 24 PART 2, CHAPTER 2-53, OF THE CALIFORNIA ADMINISTRATION CODE. SEE CALCULATIONS.

OWNER & BUILDER'S NOTE

THESE PLANS WERE PREPARED BY SUE TAYLOR, DESIGNER, FOR THE EXCLUSIVE USE OF HER CLIENT AT THE SPECIFIC SITE SHOWN. NO OTHER USE OR DUPLICATION OF THESE PLANS IS PERMITTED WITHOUT HER PERMISSION.

THESE PLANS SHALL NOT BE USED FOR CONSTRUCTION UNTIL STAMPED BY ENGINEER FOR NON-CONVENTIONAL STRUCTURAL FEATURES AND APPROVED BY THE LOCAL BUILDING DEPARTMENT. THE BUILDER IS EXPECTED TO FOLLOW THESE PLANS, APPLICABLE BUILDING CODES, AND LOCAL ORDINANCES. HE SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WHILE THESE PLANS ARE DRAWN TO SHOW THE PROPOSED WORK AS ACCURATELY AS POSSIBLE, SCHEMATIC DETAILS MAY BE USED IN SOME CASES FOR CLARITY. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. IF CONFLICTING INFORMATION IS SHOWN, THE MORE STRINGENT SHALL GOVERN. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF EXISTING CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES.

THE ENGINEER/DESIGNER ASSUMES NO RESPONSIBILITY FOR SCHEDULING, FABRICATION, CONSTRUCTION TECHNIQUES (INCLUDING SHORING) OR MATERIALS, OR QUANTITIES USED IN THE WORK. THE ENGINEER/DESIGNER ASSUMES NO RESPONSIBILITY FOR FIELD CHANGES, SITE VARIANCES OR DISCREPANCIES NOT BROUGHT TO HIS/HER ATTENTION FOR CLARIFICATION. LIABILITY TO THE DESIGNER SHALL BE LIMITED TO THE DESIGN FEE.

SHEET INDEX

PAGE #	TITLE	SHEET #
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SITE PLAN

SCALE: 1" = 10'-0"



SITE STATEMENT

THE INFORMATION SHOWN ON THIS PLOT PLAN WAS PROVIDED BY BGT LAND SURVEYING. NO FIELD SURVEY OR VERIFICATION WAS MADE. REFER TO BGT LAND SURVEYING SHEET FOR SURVEY AND SITE PLAN.

THE BEARING, SOUTH 23°40'51" WEST, OF THE CENTERLINE OF AVENUE DEL ORO, AS SHOWN ON THAT CERTAIN RECORD OF SURVEY WHICH WAS FILED FOR RECORD IN VOLUME 41 OF LL&S MAPS PAGE 1 ON APRIL 21, 2015, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

SUE TAYLOR
DESIGN



P.O. BOX 961
CAMINO, CA 95109
(530) 391-2190
suetaylor@comcast.net

NEW RESIDENCE
COVER SHEET
SITE PLAN

RANDY RALSTON & LINDA MENDIOLA
AVENUE DEL ORO
EL GRANADA, CA 94019

REVISION	DATE	DESCRIPTION
1	4-16-21	REVISIONS PER PLAN CHECK 1-9-21

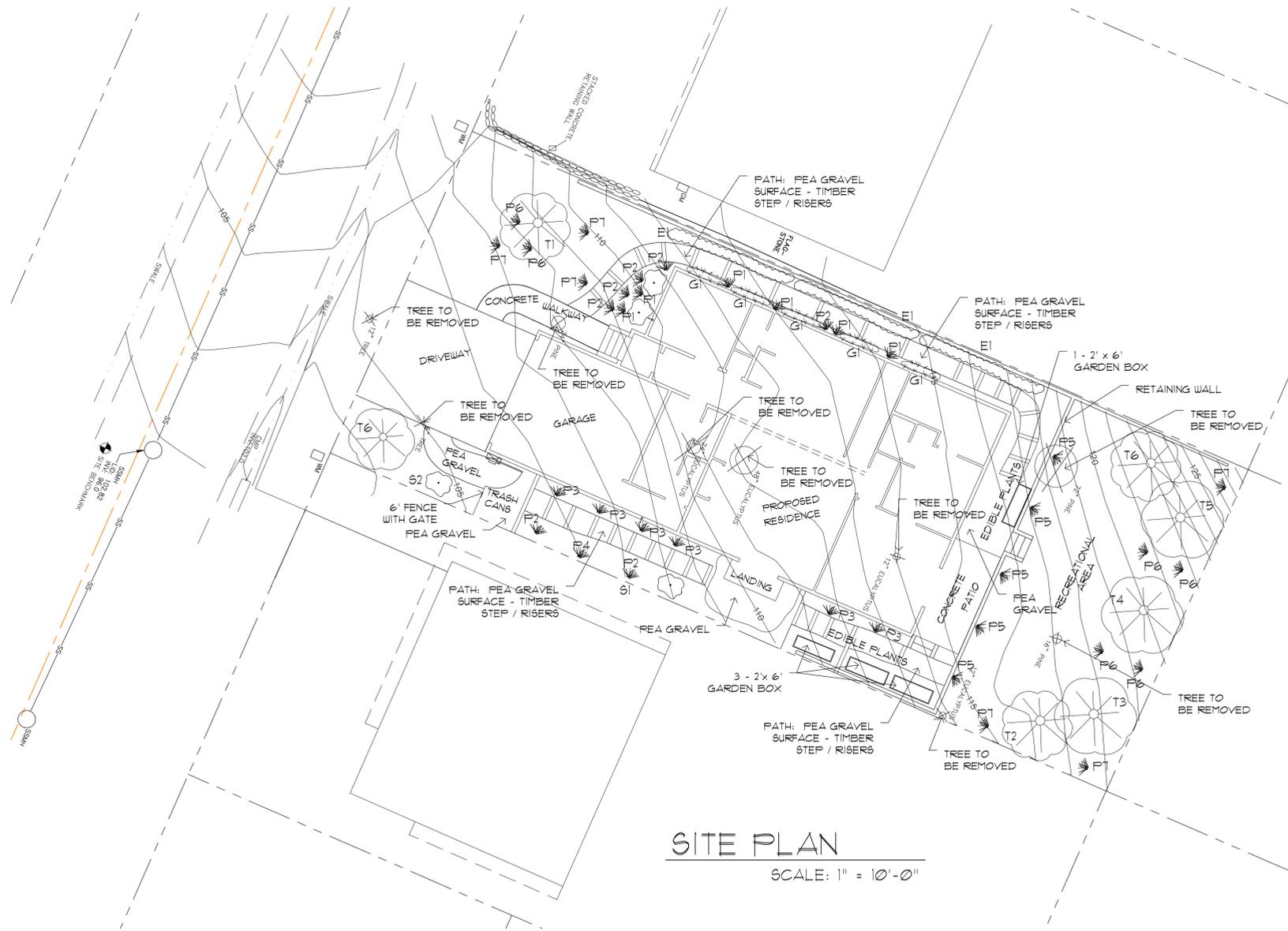
Sue Taylor

DATE:
APRIL 16, 2021

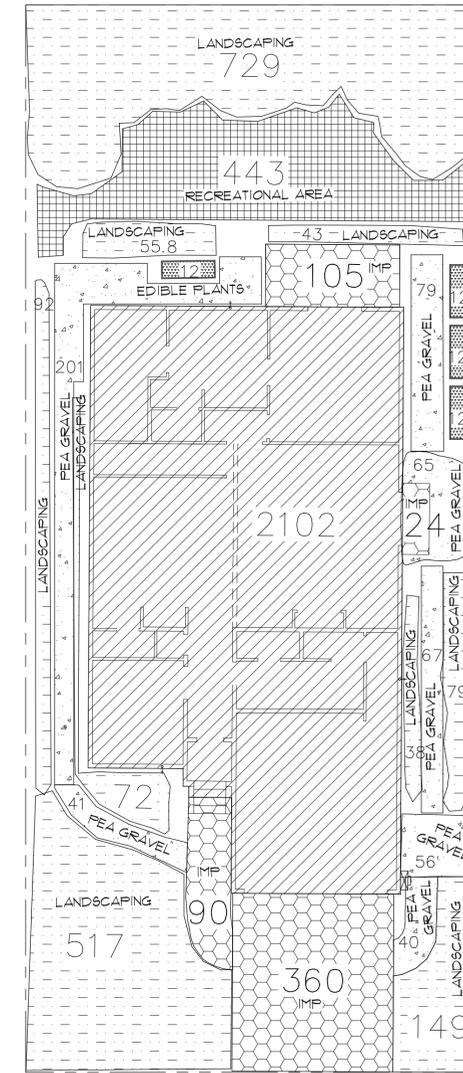
DESIGNED BY: SRT
DRAWN BY: SRT
CHECKED BY: SRT
FILE: PROJECTS\2020\001\00011
PROJECT: 20002

PAGE 1 OF 8

SHEET NO. C-1.1



SITE PLAN
SCALE: 1" = 10'-0"



LOT COVERAGE DIAGRAM
SCALE: 1" = 10'-0"

LOT COVERAGE	2102
IMPERVIOUS (IMP) SURFACE	579
LANDSCAPING	1774.8
RECREATIONAL	443
GARDEN - EDIBLE PLANTS	48
PEA GRAVEL	561
MULCH	499
TOTAL PROPERTY SQUARE FOOTAGE:	6006.83

SYMBOL		PLANT LIST:										WCOLS
QTY	SIZE	NAME	COMMON NAME	GROWTH RATE	AVG. SIZE	DECID/EVERGRN	CA. NATIVE	COASTAL	WATER USAGE	PLANT FACTOR	AVERAGE WCOLS FACTOR = L (.34)	
TREES:												
T1	1	15 GAL.	ACER CIRCINATUM	VINE MAPLE (19#)	MODERATE	10HT x 10 FT	DECIDUOUS	X	MODERATE/MEDIUM	M (.45)		
T2	1	15 GAL.	FRAXINUS DIPETALA	CALIFORNIA ASH (117#)	MODERATE	23HT x 15 FT	DECIDUOUS	X	LOW	L (.2)		
T3	1	5 GAL.	PRUNUS PLUM / APRICOT	PLUOT (117#)	MODERATE	15HT x 15 FT	DECIDUOUS		LOW	L (.2)		
T4	1	5 GAL.	MALUS DOMESTICA	PINK LADY (SEMI-DWARF APPLE) (117#)	MODERATE	15HT x 15 FT	DECIDUOUS		MODERATE/MEDIUM	M (.45)		
T5	1	5 GAL.	PYRUS PYRIFOLIA	SHINSEKI ASIAN PEAR (117#)	MODERATE	10HT x 1 FT	DECIDUOUS		MODERATE/MEDIUM	M (.45)		
T6	2	15 GAL.	AESCULUS CALIFORNICA	CALIFORNIA BUCKEYE (38#)(76#)	MODERATE	10HT x 1 FT	DECIDUOUS	X	VERY LOW	V (.05)		
SCRUBS:												
S1	1	1 GAL.	CARPENTERIA CALIFORNICA	BUSH ANEMONE (28#)	SLOW	6' HT x 6 FT	EVERGREEN	X	MODERATE/MEDIUM	M (.45)		
S2	1	1 GAL.	CEANOTHUS GRISEUS HORIZONTALIS 'YANKEE POINT'	CARMEL CREEPER (79#)	FAST	10HT x 10 FT	EVERGREEN	X	LOW	L (.2)		
ESPALIERS:												
E1	3	5 GAL.	CAMELLIA JAPONICA 'ALBA PIENA' ESPALIER	CAMELLIA (79#) (237#)	MODERATE	10 FT	EVERGREEN		MODERATE/MEDIUM	M (.45)		
PERENNIALS												
P1	6	1 GAL.	IRIS DOUGLASIANA	DOUGLAS IRIS (13#) (78#)	SLOW	2 HT x 4 FT	HERB	X	LOW	L (.2)		
P2	7	4"	SISYRINCHIUM CALIFORNICUM	YELLOW-EYED GRASS (1#) (7#)	MODERATE	1 HT x 1 FT	HERB	X	MODERATE/MEDIUM	M (.45)		
P3	6	1 GAL.	CAMPANULA MURALLS	BELLFLOWER (1#) (6#)	MODERATE	8 HT x 1 FT	EVERGREEN		MODERATE/MEDIUM	M (.45)		
P4	1	1 GAL.	ZAUSCHNERIA (EPILOBIUM) CALIFORNIA 'MEXICANA'	CALIFORNIA FUSHIA (3#)	MODERATE	2HT x 2 FT	EVERGREEN	X	LOW	L (.2)		
P5	5	1 GAL.	SALVIA SPATHACEA	HUMMINGBIRD SAGE (14#) (70#)	MODERATE	1' HT SPREADING	PERENNIAL	X	LOW	L (.2)		
P6	6	1 GAL.	DICENTRA FORMOSA	BLEEDING HEART (7#) (42#)	FAST	16 HTx3 FT	PERENNIAL HERB	X	MODERATE/MEDIUM	M (.45)		
P7	6	1 GAL.	ASARUM CAUDATUM	WILD GINGER (72#) (432#)	MODERATE	1' HT SPREADING	PERENNIAL HERB	X	MODERATE/MEDIUM	M (.45)		
GROUNDCOVER:												
G1	5	1 GAL.	WALDSTEINIA FRAGARIOIDES	BARREN STRAWBERRY (3#) (15#)	FAST	6" HT x 1 FT	EVERGREEN		MEDIUM	M (.45)		

PLANT FACTOR	H = HIGH	M = MEDIUM	L = LOW	VL = VERY LOW
PERCENT OF ETO	60%-100%	30%-60%	10%-30%	< 10%

NOTES:

THIS PROJECT IS USING THE PRESCRIPTIVE REQUIREMENTS FROM APPENDIX D AS A COMPLIANCE OPTION TO THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.

DATE: 8-10-20
 APPLICANTS: RANDY RALSTON & LINDA MEDIOLA
 PROJECT ADDRESS: 0 AVENUE DEL ORO, GRANADA, CA
 TOTAL LANDSCAPE AREA: 2351 SQFT, NON-TURF: 1860 SPECIAL LANDSCAPING: 491 SQFT.
 PROJECT TYPE: NEW DWELLING
 WATER SUPPLY TYPE: POTABLE
 APPLICANT PHONE # 650-245-5613

"I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION TO THE MWEO:
 SIGNATURE OF PROPERTY OWNER

NO OUTSIDE IRRIGATION TO BE USED

MULCH AREAS: A MIN. OF 3-INCH LAYER OF MULCH SHOULD BE APPLIED ON ALL EXPOSED SOIL SURVES OF PLANTING AREAS, EXCEPT IN AREA OF CREEPING OR ROOTING GROUNDCOVERS.

THERE ARE NO HERITAGE TREES IDENTIFIED ON THE PROPERTY
 THERE ARE 1 SIGNIFICANT TREES IDENTIFIED ON THE PROPERTY THAT WILL BE REPLACED BY 3 - 15 GAL. TREES INDIGENOUS TO SAN MATEO COUNTY AND DROUGHT TOLERANT AND 1 - 15 GAL. TREE INDIGENOUS TO NORTHERN CALIFORNIA AND DROUGHT TOLERANT AND 3 - 5 GAL. FRUIT TREES

THERE ARE 1 SIGNIFICANT TREES IDENTIFIED ON THE PROPERTY THAT WILL BE REPLACED COMPOST AT A RATE OF AT LEAST FOUR (4) CUBIC YARDS PER 1,000 SQFT. TO A DEPTH OF 6 INCHES INTO LANDSCAPE AREA (UNLESS CONTRA-INDICATED BY A SOIL TEST.)

AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND A SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.



REVISION	DATE	DESCRIPTION
1	10-19-20	10-19-20 PLAN CHECK REVISION
2	4-11-21	2-10-21 PLAN CHECK REVISION

Sue Taylor

DATE: APRIL 16, 2021

DESIGNED BY: SRT
DRAWN BY: SRT
CHECKED BY: SRT
FILE PROJECTS/2020/001/001C13
PROJECT 20002

PAGE 2 OF 8

SHEET NO. C-1.2



SAN MATEO COUNTYWIDE

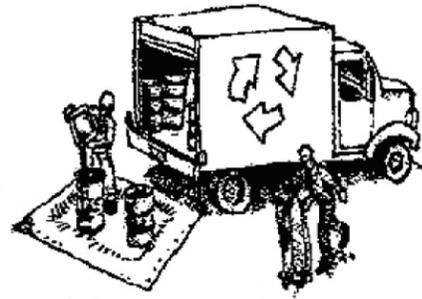
Water Pollution Prevention Program

Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



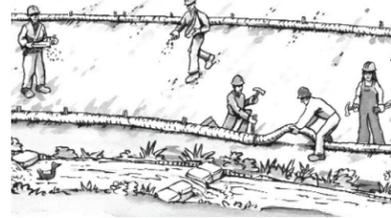
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



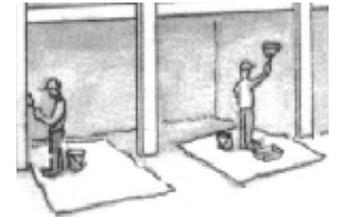
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

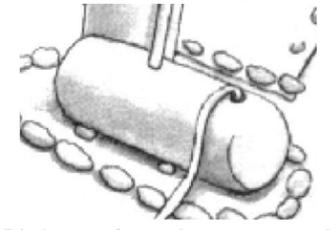
Painting & Paint Removal



Painting Cleanup and Removal

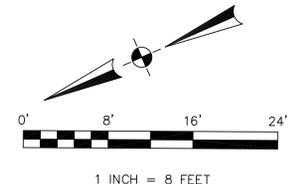
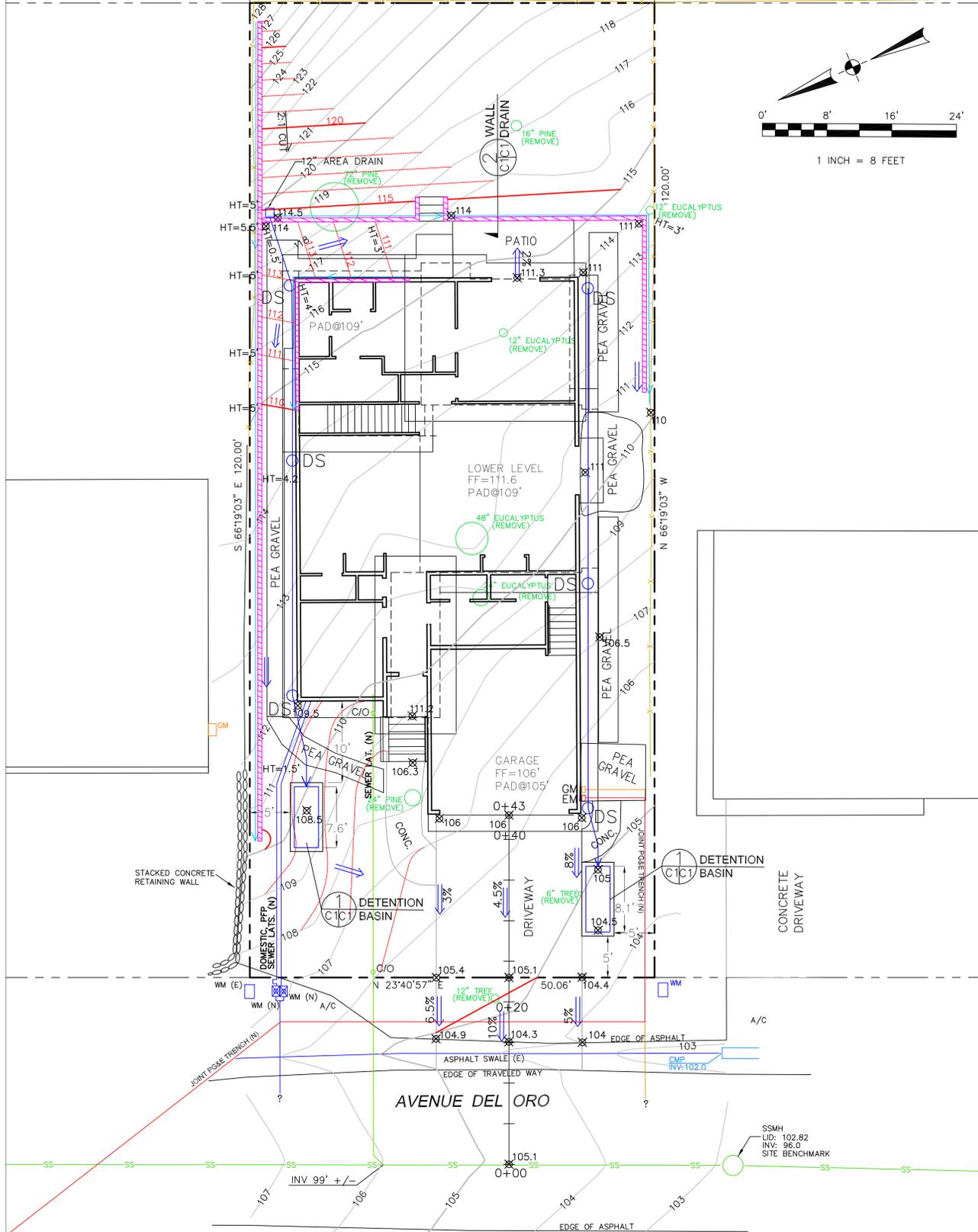
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SPOT ELEVATION
- ENERGY DISSIPATER - PER DETAIL 3
- DOWNSPOUT
- 4" MIN SOLID DRAIN PIPE
- 4" MIN PERFORATED DRAIN PIPE

GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF:
RANDY RALSTON, OWNER
2. TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED 1-31-20.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM NAVD88.
5. THE GEOTECHNICAL REPORT:
GEOTECHNICAL STUDY: RALSTON PROPERTY, AVENUE DEL ORO, EL GRANADA, APN 047-217-110; DATE: PENDING, BY SIGMA PRIME GEOSCIENCES, INC. PROJECT NO. 20-120 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, INC. ASSOCIATES, WITH THE CONTACT NUMBER (650)-728-3590. THE CONTRACTOR MUST NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
6. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650)-306-8405 EXT 181 TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

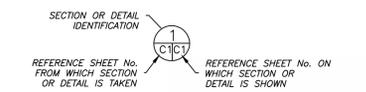
DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASINS, AS SHOWN.
3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN/ENERGY DISSIPATER TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

- CUT VOLUME : 465 CY
FILL VOLUME: 0 CY
- VOLUMES ABOVE ARE APPROXIMATE.
- THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

SECTION AND DETAIL CONVENTION

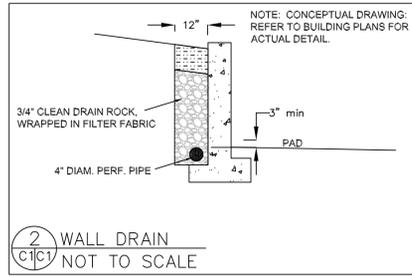
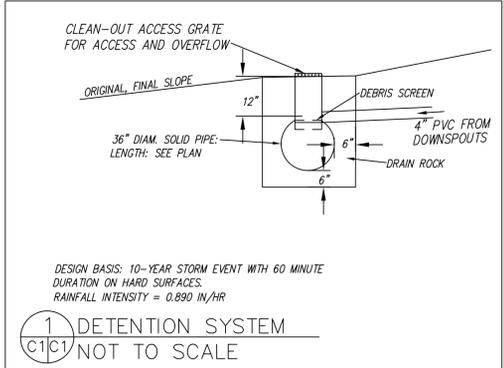
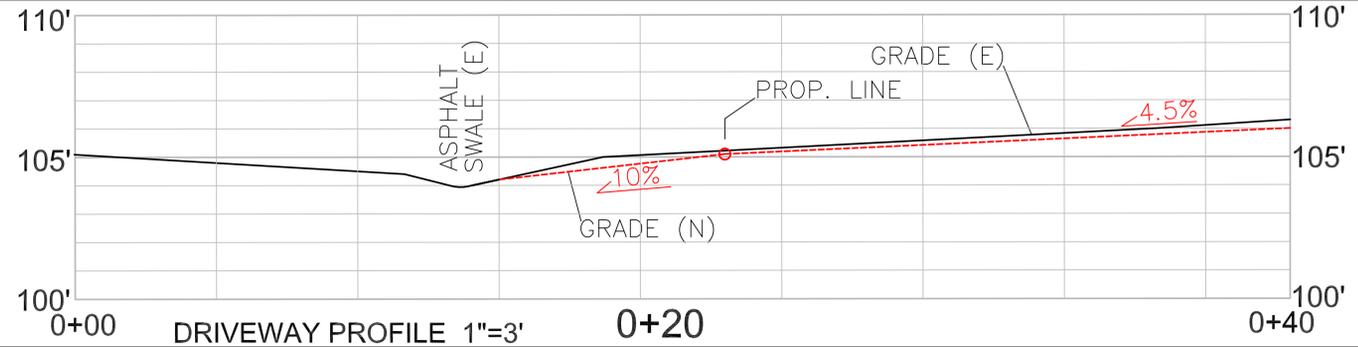


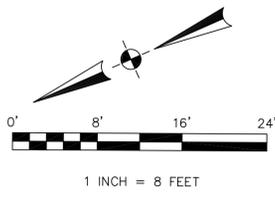
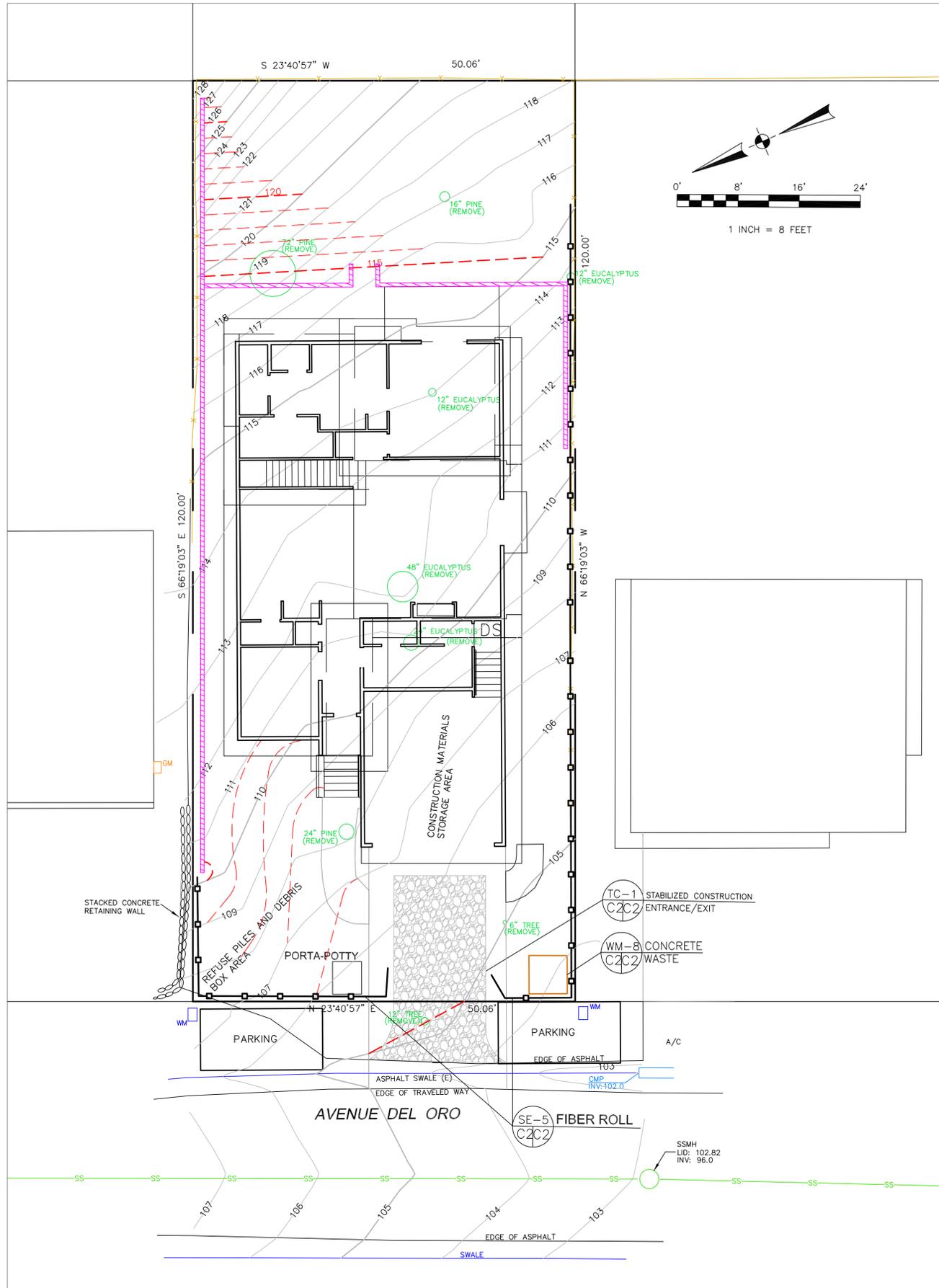
Sigma Prime Geosciences, Inc.
SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
HALF MOON BAY, CA 94019
(650) 728-3590
SIGMAPRM@GMAIL.COM

DATE: 5-5-20	DRAWN BY: CMK	CHECKED BY: AZG
REV. DATE: 10-28-20	REV. DATE: 2-9-21	REV. DATE: 3-17-21
REV. DATE: 4-19-21		

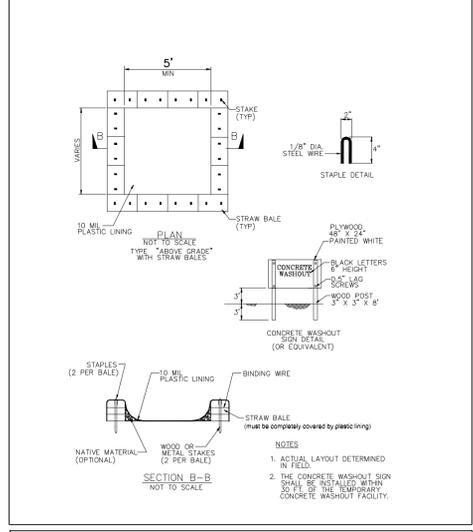
GRADING AND DRAINAGE PLAN
RALSTON PROPERTY
AVENUE DEL ORO
EL GRANADA
APN 047-217-110

SHEET
C-1

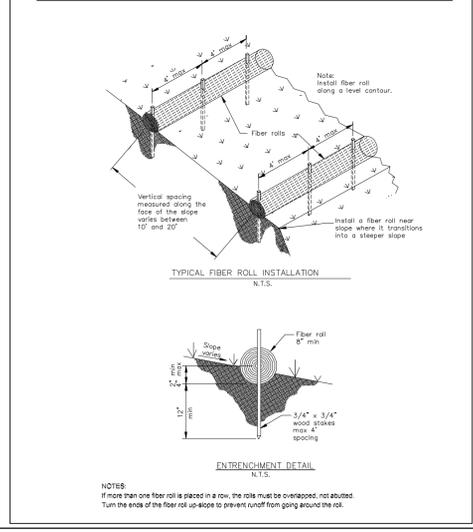




CONCRETE WASTE MANAGEMENT WM-8



FIBER ROLLS SE-5



GENERAL EROSION AND SEDIMENT CONTROL NOTES

- FIBER ROLL INSTALL AT LOCATIONS SHOWN. AFFIX AS SHOWN IN DETAIL SE-5
- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There will be no trees remaining on the site.

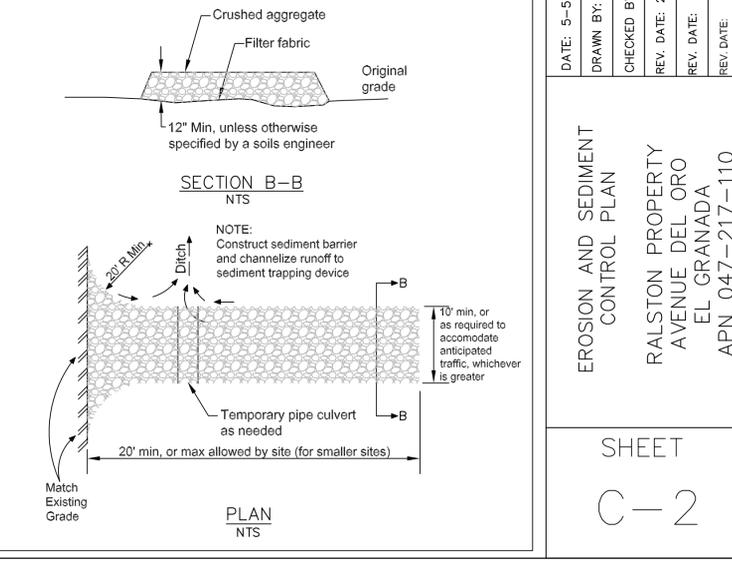
EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: RANDY RALSTON
 TITLE/QUALIFICATION: OWNER/CONTRACTOR
 PHONE: 650-245-5613
 PHONE: _____
 E-MAIL: RALSMEND@COMCAST.NET



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3590
 FAX 728-3583

DATE: 5-5-20
 DRAWN BY: CMK
 CHECKED BY: AZG
 REV. DATE: 2-8-21
 REV. DATE:
 REV. DATE:

EROSION AND SEDIMENT CONTROL PLAN
 RALSTON PROPERTY
 AVENUE DEL ORO
 EL GRANADA
 APN 047-217-110

SHEET
 C-2

WALL SCHEDULE

-EXTERIOR WALLS AND WALL SEPARATING THE HOUSE AND GARAGE TO BE 2x6

-INTERIOR WALLS TO BE 2x4 EXCEPT FOR INTERIOR WALLS MARKED AS BELOW SHALL BE 2x6.



TILE FLOORS REQUIRE THINSET, 1/4" HARDIEBACKER CEMENT BOARD AND A MAXIMUM WEIGHT OF CERAMIC TILE OF 4.1 psf.

THE GARAGE SHALL BE SEPARATED WITH NOT LESS THAN 3/8-INCH TYPE X GYPSUM BOARD, AND ALL WALLS SUPPORTING THE CEILING TO BE MINIMUM 1/2-INCH GYPSUM BOARD. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION R302.5.

TABLE R302.6

SEPARATION	MATERIAL
FROM THE RESIDENCE AND ATTICS	NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE.
FROM ALL HABITABLE ROOMS ABOVE THE GARAGE OR CARPORT	NOT LESS THAN 3/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT.
STRUCTURE(S) SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY THIS SECTION.	NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT.
GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT.	NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF THE EXTERIOR WALLS THAT ARE WITHIN THIS AREA.

DOOR SCHEDULE

- SOLID WOOD DOORS NOT LESS THAN 1-3/8 INCHES (35 MM) IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8 INCHES (35 MM) THICK, OR 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING DEVICE. SEE GENERAL NOTES FOR EXCEPTION.
- 36" EXTERIOR EXIT DOOR - NET CLEAR DOOR WAY SHALL BE 32". DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. DOOR SHALL SWING TO THE FULL OPEN POSITION WHEN AN OPENING FORCE NOT EXCEEDING 30 lbs. IS APPLIED TO THE LATCH SIDE. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60. PERIMETER OF DOOR SHALL BE WEATHER STRIPPED. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS.
- EXTERIOR DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING:
 - THE EXTERIOR SURFACE OR CLADDING SHALL BE OF NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL, OR
 - SHALL BE CONSTRUCTED OF SOLID CORE WOOD THAT COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - STILES AND RAILS SHALL NOT BE LESS THAN 1 3/8" THICK
 - RAISED PANELS SHALL NOT BE LESS THAN 1 1/4" THICK, EXCEPT FOR THE EXTERIOR PERIMETER OF THE RAISED PANEL THAT MAY TAPER TO A TONGUE NOT LESS THAN 3/8" THICK.
 - SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252.
 - SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF 6PM STANDARD 12-14-1.
 - GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS.
- INTERIOR DOORS - HOLLOW CORE.
- SECTIONAL HIGH LIFT OVERHEAD DOOR

EXTERIOR DOORS AND DOORS LEADING TO GARAGE SHALL HAVE SINGLE CYLINDER DEAD BOLT IN ADDITION TO DOOR LATCHES.

GLASS SLIDING DOORS SHALL BE SUPPLEMENTED WITH AN AUXILIARY DOOR LOCK OR PASS STRESS TEST.

LANDING

PROVIDE A MIN. 36" DEEP LANDING ON EACH SIDE OF EACH EXTERIOR DOOR. EACH LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 2%. LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1/2" LOWER THAN THE TOP OF THE THRESHOLD, EXCEPT ON THE EXTERIOR SIDE SHALL NOT BE MORE THAN 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. ALL OTHER EXTERIOR DOORS SHALL BE PROVIDED WITH LANDING NOT MORE THAN 3/4" BELOW THE TOP OF THE THRESHOLD.

STAIR RAILING AND GUARDRAIL NOTES:

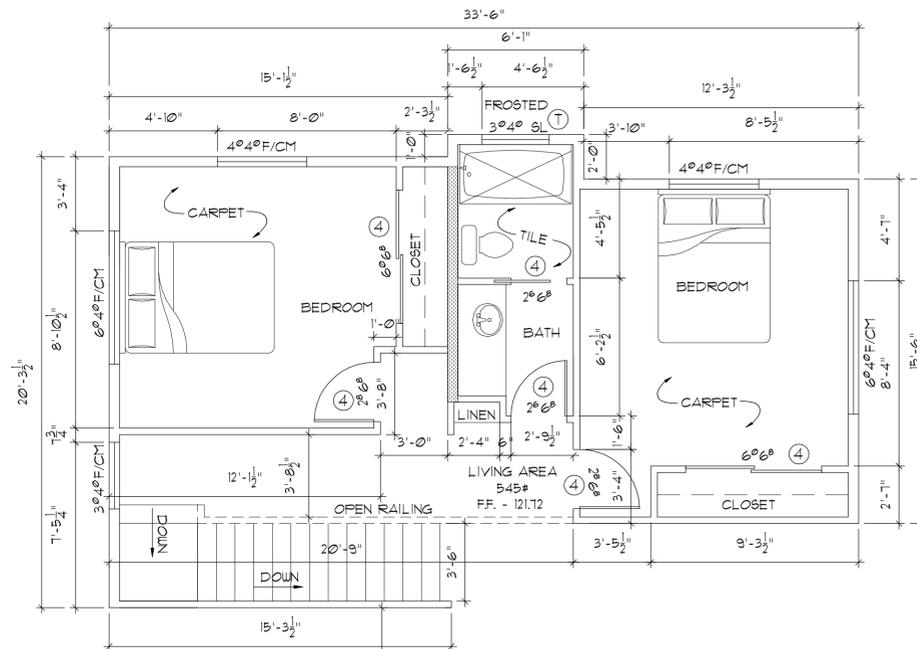
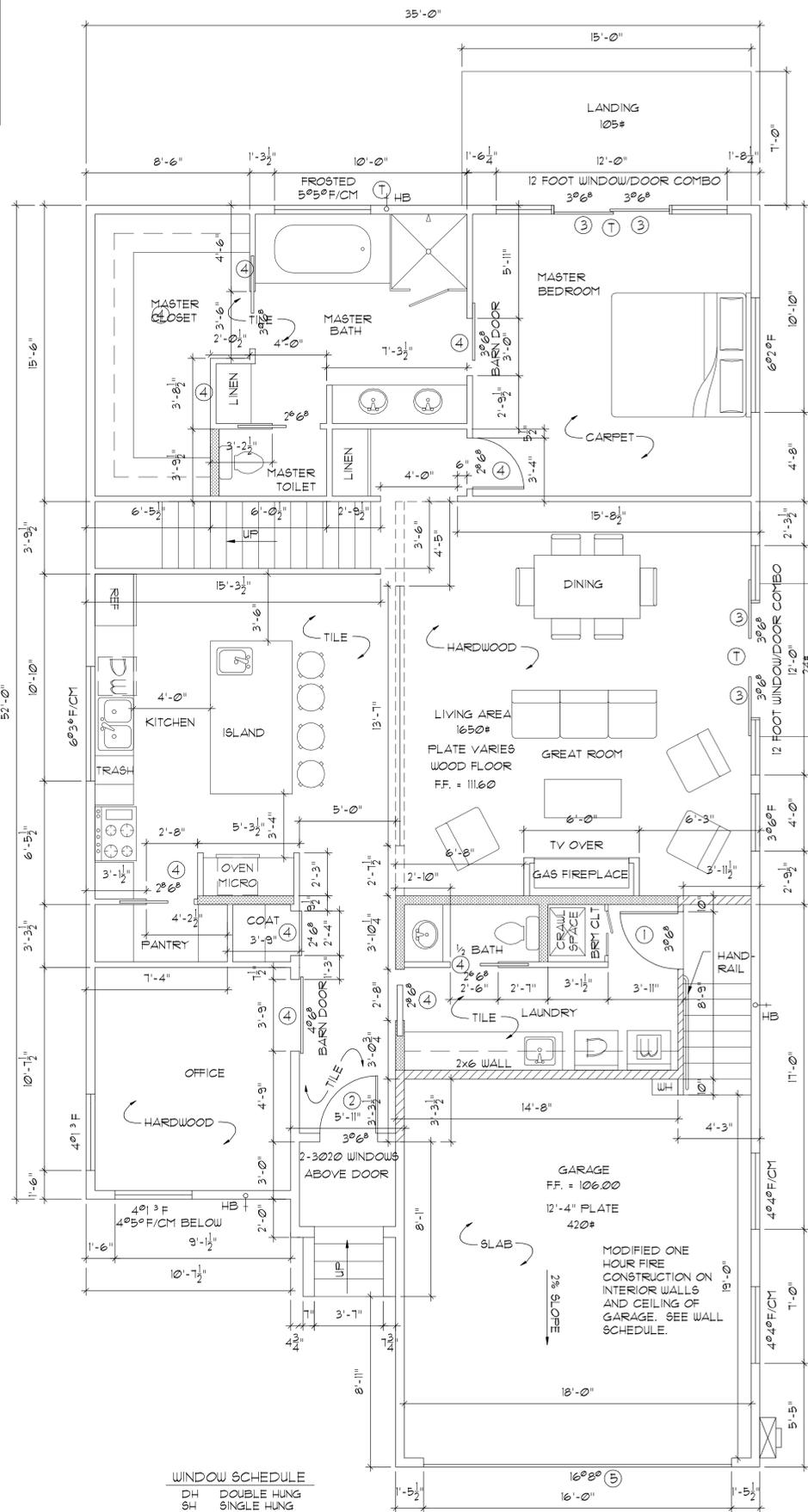
- STAIRWAYS SHALL HAVE A MINIMUM WIDTH OF 36". HAND RAILS MAY ENCRoACH A MAXIMUM OF 3/4" INTO THE REQUIRED WIDTH.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH GYPSUM BOARD, PER R302.1 OF 2016 IRC.
- TREADS SHALL HAVE A MINIMUM LENGTH OF 10".
- RISERS SHALL BE A MAXIMUM OF 7 1/4".
- A NOSING NOT LESS THAN 0.15" BUT NOT MORE THAN 125" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS WHERE THE TREAD DEPTH IS LESS THAN 11".
- TOLERANCE LARGEST AND SMALLEST RISER HEIGHT OR TREAD DEPTH SHALL BE 0.375"
- STAIRWAYS SHALL HAVE A MINIMUM OF 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.
- STAIRWAYS HAVING LESS THAN 4 RISERS DO NOT REQUIRE A HAND RAIL.
- GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 30" BELOW.
- HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS.
- THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.
- GUARDRAILS SHALL BE AT NOT LESS THAN 42" IN HEIGHT, PER CRC R312.12
- GUARDS ON THE OPEN SIDES OF STAIRS OR SERVES AS A HANDRAIL, THE TOP OF THE GUARD SHALL HAVE A HEIGHT NOT LESS THAN 34" AND NO MORE THAN 38"
- REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER. (R312.3)
- THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF A STAIR FORMED BY THE RISER, TREAD, AND BOTTOM RAIL OF A GUARD, SHALL NOT ALLOW PASSAGE OF A SPHERE 6" IN DIAMETER. (R312.3 exception #)
- TYPE 1 HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF NOT LESS THAN 1 1/4" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF NOT LESS THAN 4" AND NOT GREATER THAN 6 1/4" WITH A CROSS SECTION OF DIMENSION OF NOT MORE THAN 2 1/4". EDGES SHALL HAVE A RADIUS OF NOT LESS THAN 0.01". TYPE 2 HANDRAILS WITH A PERIMETER GREATER THAN 6 1/4" SHALL HAVE A GRASP ABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN A DISTANCE OF 3/4" MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF NOT LESS THAN 5/16" WITHIN 1/8" BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR NOT LESS THAN 3/8" TO A LEVEL THAT IS NOT LESS THAN 1 3/4" BELOW THE TALLEST PORTION OF THE PROFILE. THE WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE NOT LESS THAN 1 1/4" AND NOT MORE THAN 2 3/4". EDGES SHALL HAVE A RADIUS OF NOT LESS THAN 0.01".

WINDOW SCHEDULE

DH	DOUBLE HUNG
SH	SINGLE HUNG
SL	SLIDER
CM	CASEMENT
TR	TRANSOM
F	FIXED
T	TEMPERED

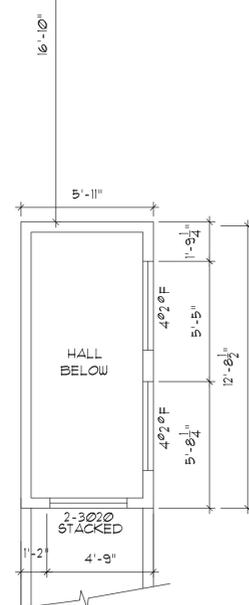
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



WINDOWS ABOVE ENTRY

SCALE: 1/4" = 1'-0"

GENERAL NOTES

REFERENCE THE ELECTRICAL PLAN FOR LOCATION AND SPECIFICATIONS OF SMOKE DETECTORS AND OTHER ELECTRICAL REQUIREMENTS.

WINDOWS AND GLAZING
WINDOWS SHALL BE DUAL PANE
EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQ. FT., 5.0 SQ. FT. ALLOWED AT GRADE. THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. THE NET CLEAR HEIGHT OPENINGS SHALL BE NOT LESS THAN 24" AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES. FINISHED SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.

RESCUE WINDOWS IN BEDROOMS ARE LABELED AS EGRESS. CONTRACTOR / OWNER TO VERIFY THAT THEY MEET ALL REQUIREMENTS.

ALL GLAZING LESS THAN 60 INCHES ABOVE A SHOWER OR TUB FLOOR, GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACES AND GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOORS SHALL BE TEMPERED GLAZING PER 2019 IRC R308.4.

SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR PER CRC 3012.

PER CBC 308.4.3 GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION:

- THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQ. FT. AND
- THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOORS AND
- THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR AND
- ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING.

FIRST FLOOR AREA	1650#
SECOND FLOOR AREA	545#
TOTAL LIVING AREA :	2195#
GARAGE AREA	420#
TOTAL FLOOR AREA:	2615#

FOR ELECTRICAL PLAN - SEE SHEET EI-11

SUE TAYLOR DESIGN
SUE TAYLOR BUILDING DESIGNER
P.O. BOX 961
CAMINO, CA 95109
(530) 391-2190
suetaylor@comcast.net

NEW RESIDENCE FLOOR PLANS

RANDY RALSTON & LINDA MENDIOLA
AVENUE DEL ORO
EL GRANADA, CA 94019

REVISION	DATE	DESCRIPTION
1	2-1-2021	CHANGES PER PLAN CHECK 1-1-2021
2	4-1-21	CHANGES PER PLAN CHECK 2-10-21

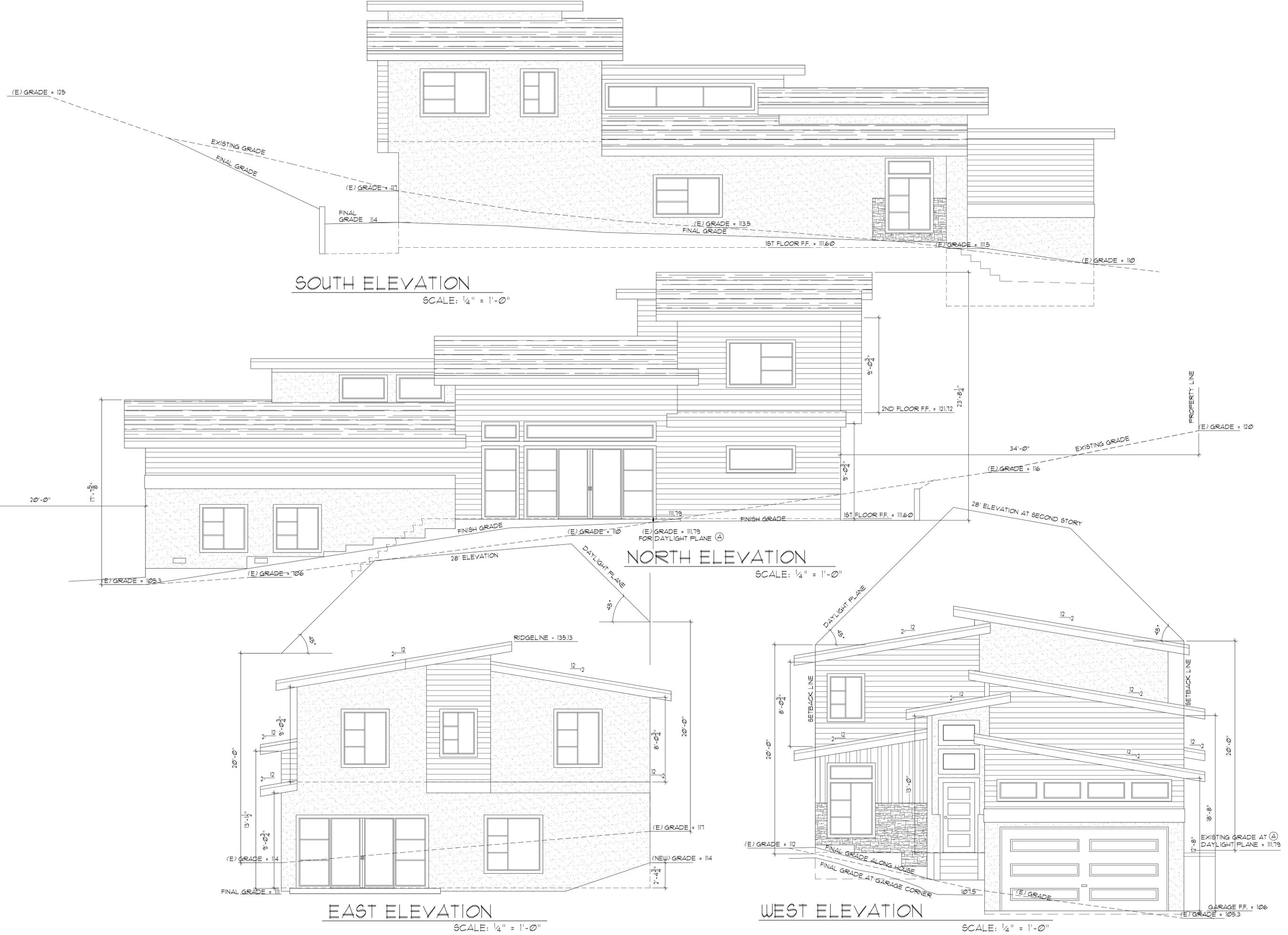
Sue Taylor

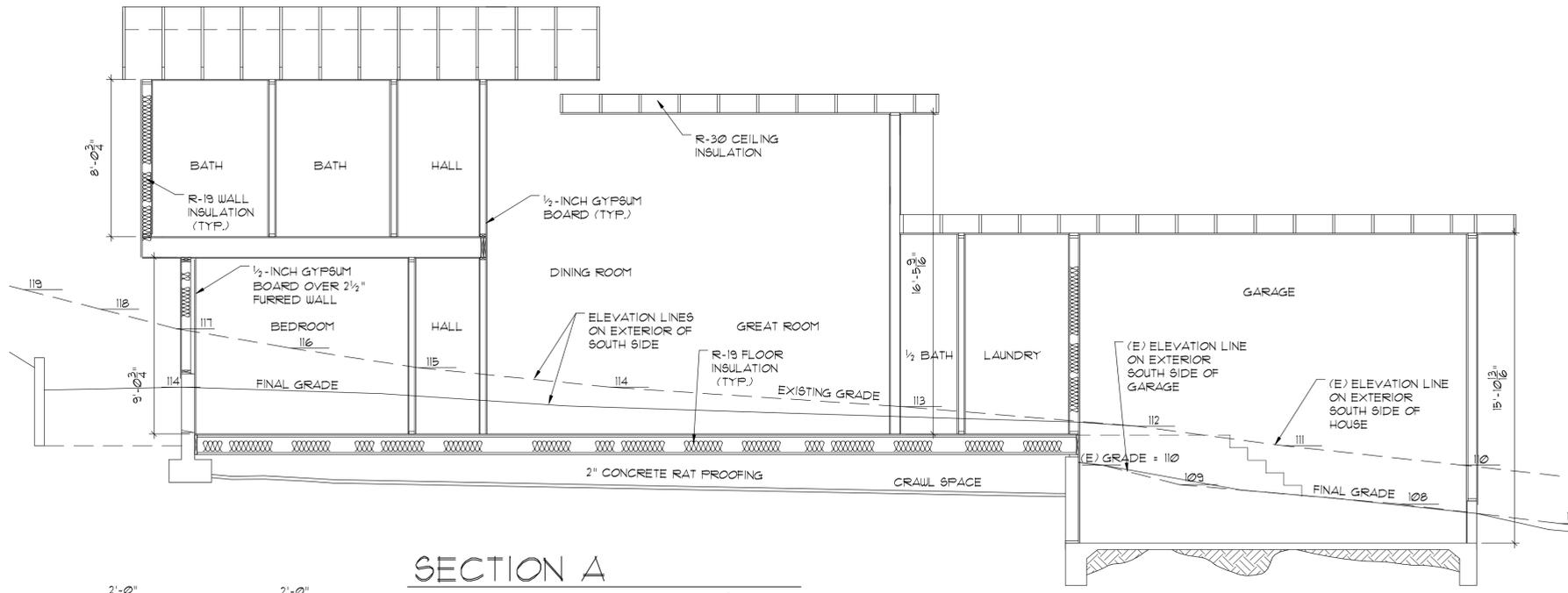
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DESIGNED BY:	SR
DRAWN BY:	SR
CHECKED BY:	SR
FILE:	PROJECTS\2020\001\002\111
PROJECT:	20002
PAGE:	5 OF 8
SHEET NO.:	A1=1.1

REVISION	DATE	DESCRIPTION
1	2-11-2021	CHANGES PER PLAN CHECK 1-11-2021
2	4-12-21	CHANGES PER PLAN CHECK 2-20-21

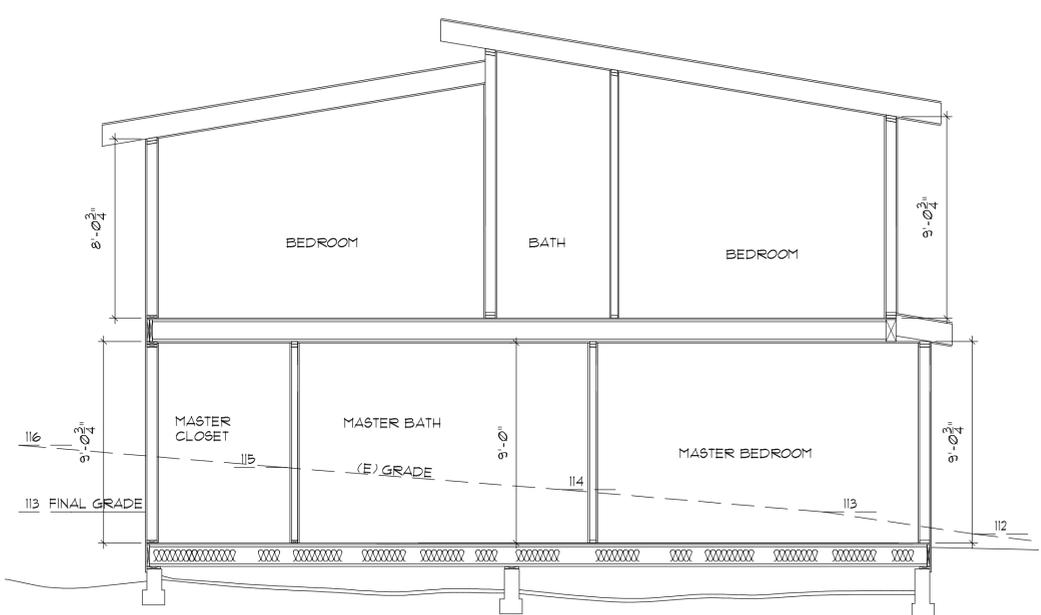
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CHECKED BY:	SRT
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PROJECT:	20002
PAGE:	6
OF:	8

DATE:	APRIL 16, 2021
DESIGNED BY:	SRT
DRAWN BY:	SRT
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PROJECT:	20002
PAGE:	6
OF:	8
SHEET NO.:	A1-2.1

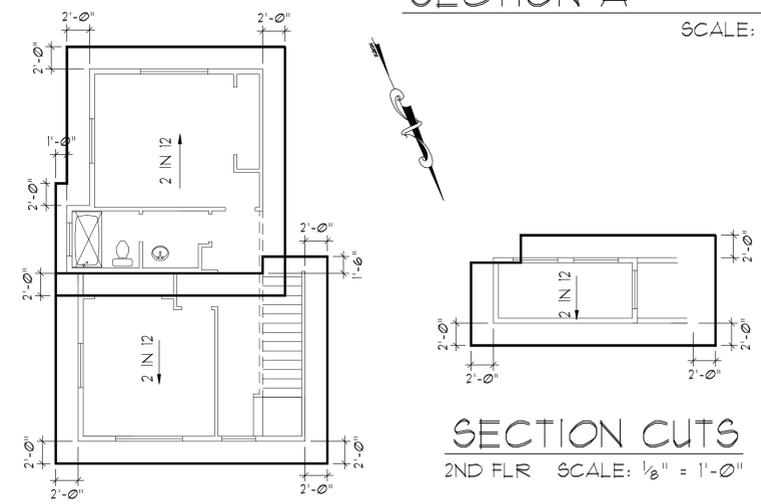




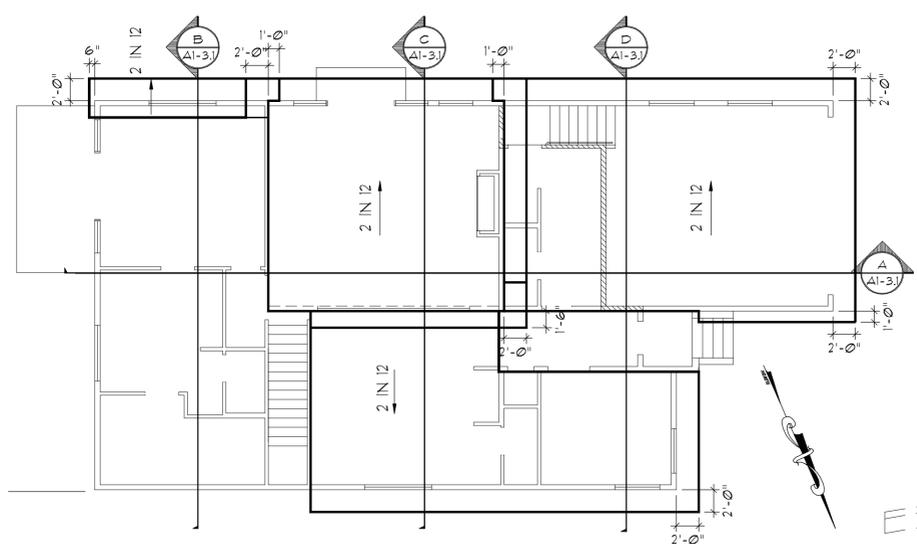
SECTION A
SCALE: 1/4" = 1'-0"



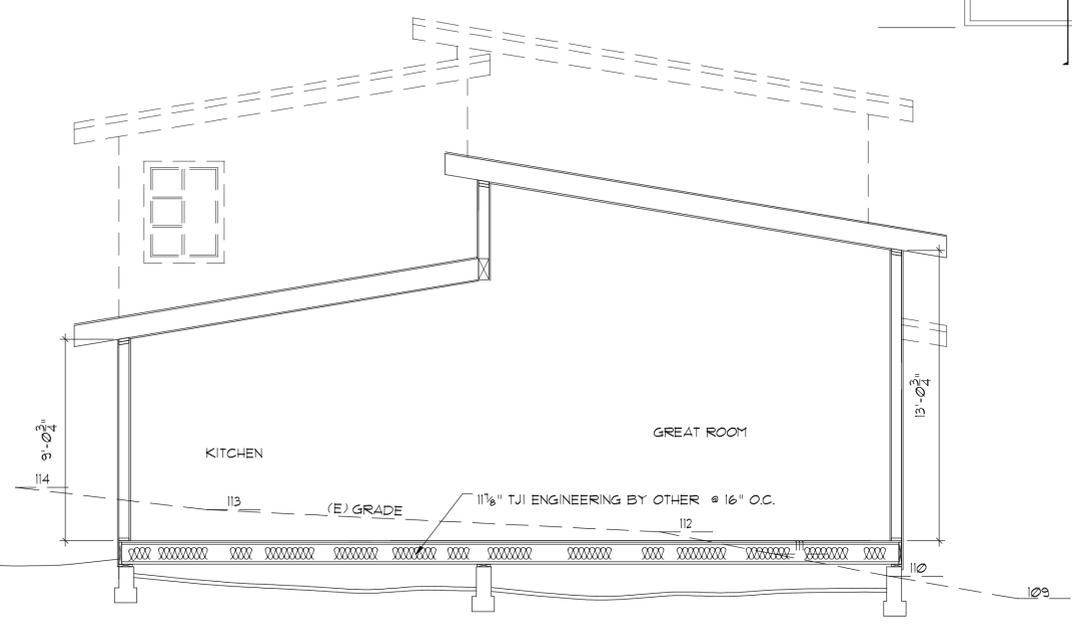
SECTION B
SCALE: 1/4" = 1'-0"



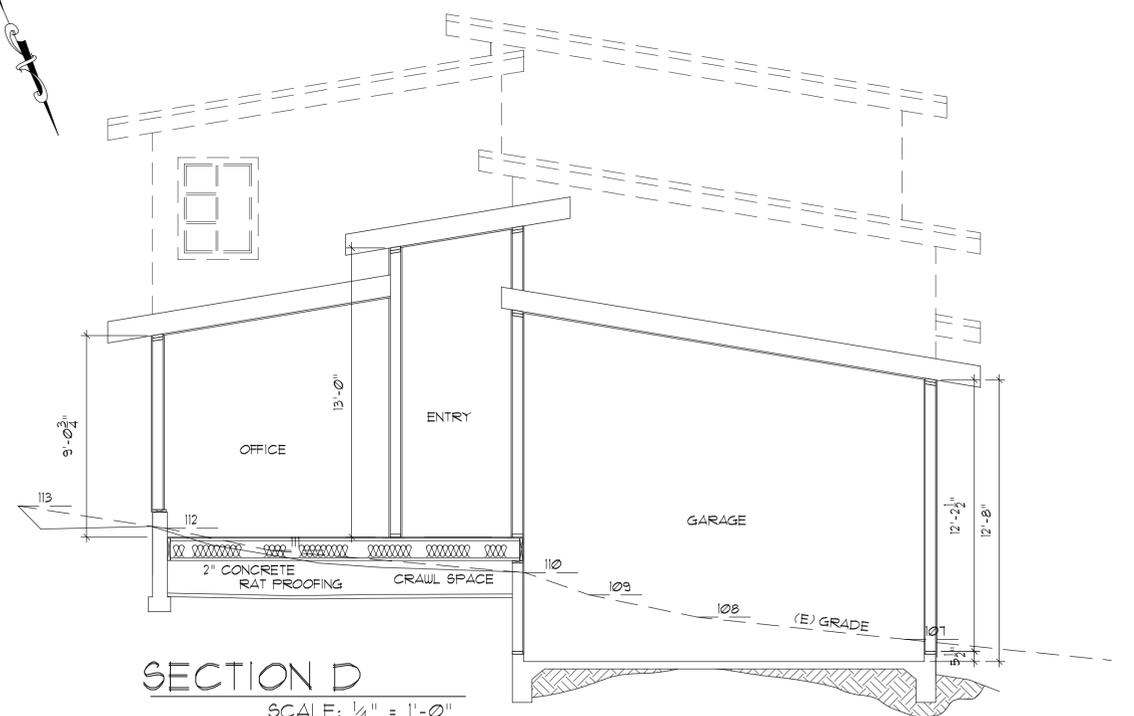
SECTION CUTS
2ND FLR SCALE: 1/8" = 1'-0"



SECTION CUTS
1ST FLR SCALE: 1/8" = 1'-0"



SECTION C
SCALE: 1/4" = 1'-0"



SECTION D
SCALE: 1/4" = 1'-0"

REVISION	DATE	DESCRIPTION
1	2-1-2021	CHANGES PER PLAN CHECK 1.01.001
2	4-13-21	CHANGES PER PLAN CHECK 4.01.21

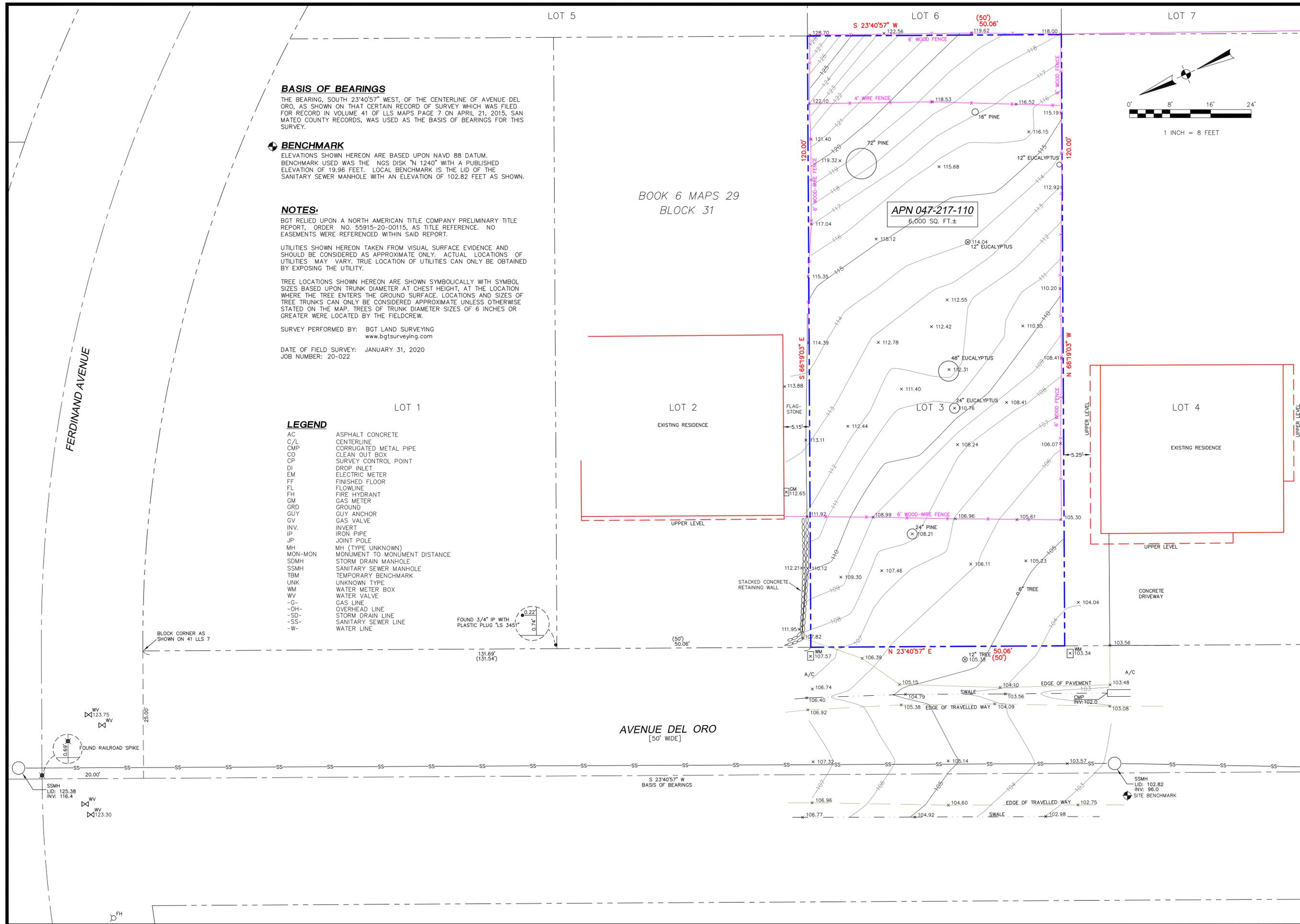
DATE:
APRIL 16, 2021

DESIGNED BY: []
DRAIN BY: []
CHECKED BY: []

FILE #
PROJECTS/2021/001/001.A131

PAGE 8 OF 8

SHEET NO.
A1-3.1



BASIS OF BEARINGS

THE BEARING, SOUTH 23°40'57" WEST, OF THE CENTERLINE OF AVENUE DEL ORO, AS SHOWN ON THAT CERTAIN RECORD OF SURVEY WHICH WAS FILED FOR RECORD IN VOLUME 41 OF LLS MAPS PAGE 7 ON APRIL 21, 2015, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM. BENCHMARK USED WAS THE NGS DISK "N 1240" WITH A PUBLISHED ELEVATION OF 19.96 FEET. LOCAL BENCHMARK IS THE LID OF THE SANITARY SEWER MANHOLE WITH AN ELEVATION OF 102.82 FEET AS SHOWN.

NOTES:

BGT RELIED UPON A NORTH AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 55915-20-00115, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtsurveying.com

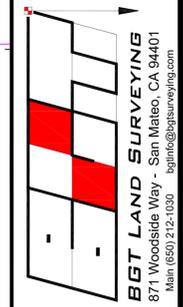
DATE OF FIELD SURVEY: JANUARY 31, 2020
JOB NUMBER: 20-022

LEGEND

- AC ASPHALT CONCRETE
- C/L CENTERLINE
- CMP CORRUGATED METAL PIPE
- CO CLEAN OUT BOX
- CP SURVEY CONTROL POINT
- DI DROP INLET
- EM ELECTRIC METER
- FF FINISHED FLOOR
- FL FLOWLINE
- FH FIRE HYDRANT
- GM GAS METER
- GRD GROUND
- GUY GUY ANCHOR
- GV GAS VALVE
- INV. INVERT
- IP IRON PIPE
- JP JOINT POLE
- MH MH (TYPE UNKNOWN)
- MON-MON MONUMENT TO MONUMENT DISTANCE
- SDMH STORM DRAIN MANHOLE
- SSMH SANITARY SEWER MANHOLE
- TBM TEMPORARY BENCHMARK
- UNK UNKNOWN TYPE
- WM WATER METER BOX
- WV WATER VALVE
- G- GAS LINE
- OH- OVERHEAD LINE
- SD- STORM DRAIN LINE
- SS- SANITARY SEWER LINE
- W- WATER LINE

BOOK 6 MAPS 29
BLOCK 31

APN 047-217-110
6,000 SQ. FT.±



BOUNDARY AND TOPOGRAPHIC SURVEY
LOT 3, BLOCK 31, "PLAT OF RESUBDIVISION OF SUBDIVISIONS NOS. 2 AND 3 OF GRANADA" (BOOK 6 MAPS 29)
VACANT LOT, AVENUE DEL ORO
EL GRANADA, COUNTY OF SAN MATEO, CALIFORNIA

Assessor Parcel Number:
047-217-110
Prepared For:
RANDY RALSTON
Date: FEB. 2020
Scale: 1" = 8'
Contour Interval: 1'
Drawn by: LHL
Revisions:
SU-1
Job No. 20-022