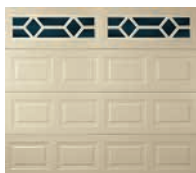
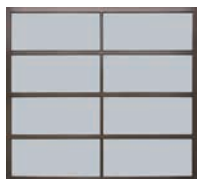
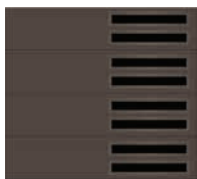


# *Garage Door*

## SELECTION GUIDE



**The Genuine. The Original.**



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### Note:

Previous model numbers and panel styles are shown in parenthesis in gray on each model page.

**Call 1-800-929-3667 (DOOR) to contact an Overhead Door™ Distributor near you.**

[overheaddoor.com](http://overheaddoor.com)



# Choosing a Door

What to consider when selecting a door



Courtyard Collection, Model 7520, X panel (167T), Brown finish, Stockbridge windows, decorative hardware

## Style

Whether your home is classic or contemporary, we offer styles to best complement your home's architecture. For a distinctive, custom look, choose insulated doors from our elegant Courtyard Collection®, Thermacore® Collection, Impression Fiberglass Collection® or the custom fine wood doors of the Signature® Carriage Collection.

## Safety

Our Impression Fiberglass Collection® doors provide peace of mind with pinch-resistant panels that help protect fingers. If you live in an area that is prone to high winds, ordered with the appropriate wind load options, our WindStorm™ doors provide reliable protection against high wind damage and offer fine craftsmanship, durability and style.

## Comfort

If you live in a climate with extreme hot or cold temperatures, we recommend a well-insulated, thermally-efficient door to ensure your comfort. Some of our insulated doors, including the Courtyard Collection® and Thermacore® Collection, also feature a steel backing that lends a finished, clean look to your garage's interior.

# Signature® Carriage Wood

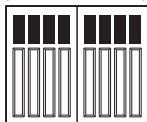
Premium wood doors – Models 9940, 9950, 9960

## Panel styles

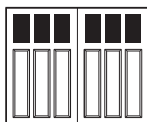
Doors provided in unfinished, stain-grade or paint-grade wood. Models are available with or without windows and with square or arched tops.

### Parson Collection

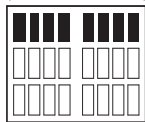
Vertical Board (R4)  
(580 Bristol Narrow)



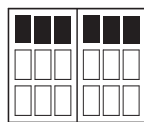
Vertical Board (PR3)  
(580 Bristol Wide)



Vertical Board (P1)  
(570 Drake Narrow)



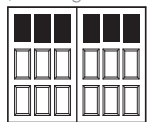
Vertical Board (P2)  
(570 Drake Wide)



Vertical Board (R1)  
(571 Kingston Narrow)



Vertical Board (R2)  
(571 Kingston Wide)



### Ponderosa Collection

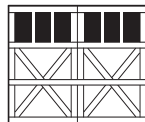
Diagonal (X)†  
(580 Buchanan)



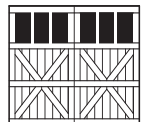
X Shaped Overlay (X3)†  
(580 Dakota)



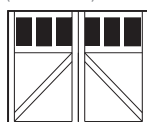
X Shaped Overlay (X3)  
(570 Austin)



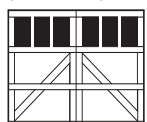
X Shaped Overlay (X3)  
(570 Austin Grooved)



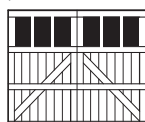
A Shaped Overlay (A)†  
(580 Sierra)



A Shaped Overlay (A3)  
(570 Baxter)

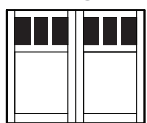


A Shaped Overlay (A3)  
(570 Baxter Grooved)

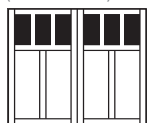


### Villa Madre Collection

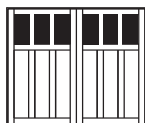
Horizontal Overlay (H)†  
(580 Ortega)



Vertical Overlay (C2)†  
(580 Medina)



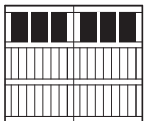
Vertical Overlay (C3)†  
(580 Pizarro)



Vertical Overlay (C4)†  
(580 Cruz)



Horizontal/Grooved Overlay (HG)  
(570 Castille Grooved)



† – insulated, R-value 4.75



Multiple designs and wood species options let you choose the perfect complement to your home with our style, window and glass options.



World class construction of rail and stile frame adds strength.

Polystyrene insulation can help diminish street noise and provide quieter door operation. R-value\* of 4.75 available for select models.

\*Overhead Door Corporation uses a calculated door section R-value for our insulated doors.

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## Window styles

For full selection of windows please see page 34.

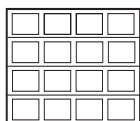
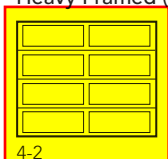


# Traditional Wood Collection

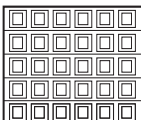
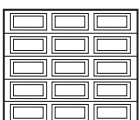
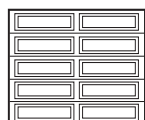
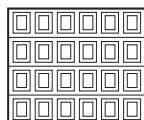
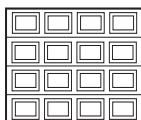
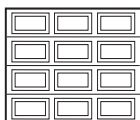
Rail and stile wood doors – Models 3240, 3260

## Panel styles

Recessed panel designs Model 3240 (450, 453) Light Framed (FP1) or Heavy Framed (FP2)



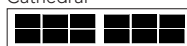
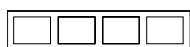
Raised panel designs Model 3260 (454) Finger-jointed (RP1) or Solid (RP34)



1 car design shown. Both panels are also available for 2 car designs. Decorative carved Raised panel designs available. Consult your Overhead Door™ Distributor for details.

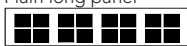
## Window styles

Recessed panel windows Model 3240 (450, 453)



\*Molded designs with plastic inserts may not fit all panel sizes. Consult your distributor for availability.

Raised panel windows Model 3260 (454)



\*\*Optional molded designs with plastic inserts may not fit all panel sizes. Consult your distributor for availability.

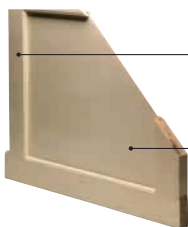
## Glass types

Clear glass comes standard with this product. Additional glass options are available, including 1/8" tempered and 1/8" double strength (DSB). Contact your local Overhead Door™ Distributor for more details.

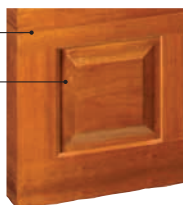


### Recessed panel Model 3240

### Raised panel Model 3260



- 1
- 2
- 3




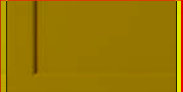


- 1 Recessed Panels are constructed of 1<sup>3</sup>/<sub>8</sub>" high quality West Coast Hemlock.
- 3 Center of Recessed Panel is constructed of durable, 1/4" exterior-grade hardboard.

- 1 Door Sections are constructed of 1<sup>3</sup>/<sub>8</sub>" thick finger-jointed wood rails and stiles; with solid stain-grade rails and stiles as an option.
- 2 Raised Panels are constructed of 3/4" solid wood; edge-glued panels.

Mortise and tenon joints are glued and steel-pinned for increased strength and durability.

Shiplap section design provides weather-tight fit and smooth operation.

Rust resistant track and hardware are constructed of hot-dipped galvanized steel.

| MODEL 3240<br>Recessed panel   | MODEL 3240<br>Recessed panel  | MODEL 3260<br>Raised panel<br>(Paint grade)   | MODEL 3260<br>Raised panel<br>(Stain grade)   |
|--|---|---|---|
|  |  |  |  |
| Features hardboard flat panels, thin rails and stiles                              | Features hardboard flat panels, thick rails and stiles                              | Features Hemlock panels, stiles and rails (finger-jointed)                          | Features Hemlock panels, stiles and rails (solid, one piece)                        |
| Smooth plywood panel option available  | Smooth plywood panel option available   | Hardboard raised panel option available   | Meranti Mahogany and Cedar panel options available                                  |

3240 Model panels pictured above are custom painted.

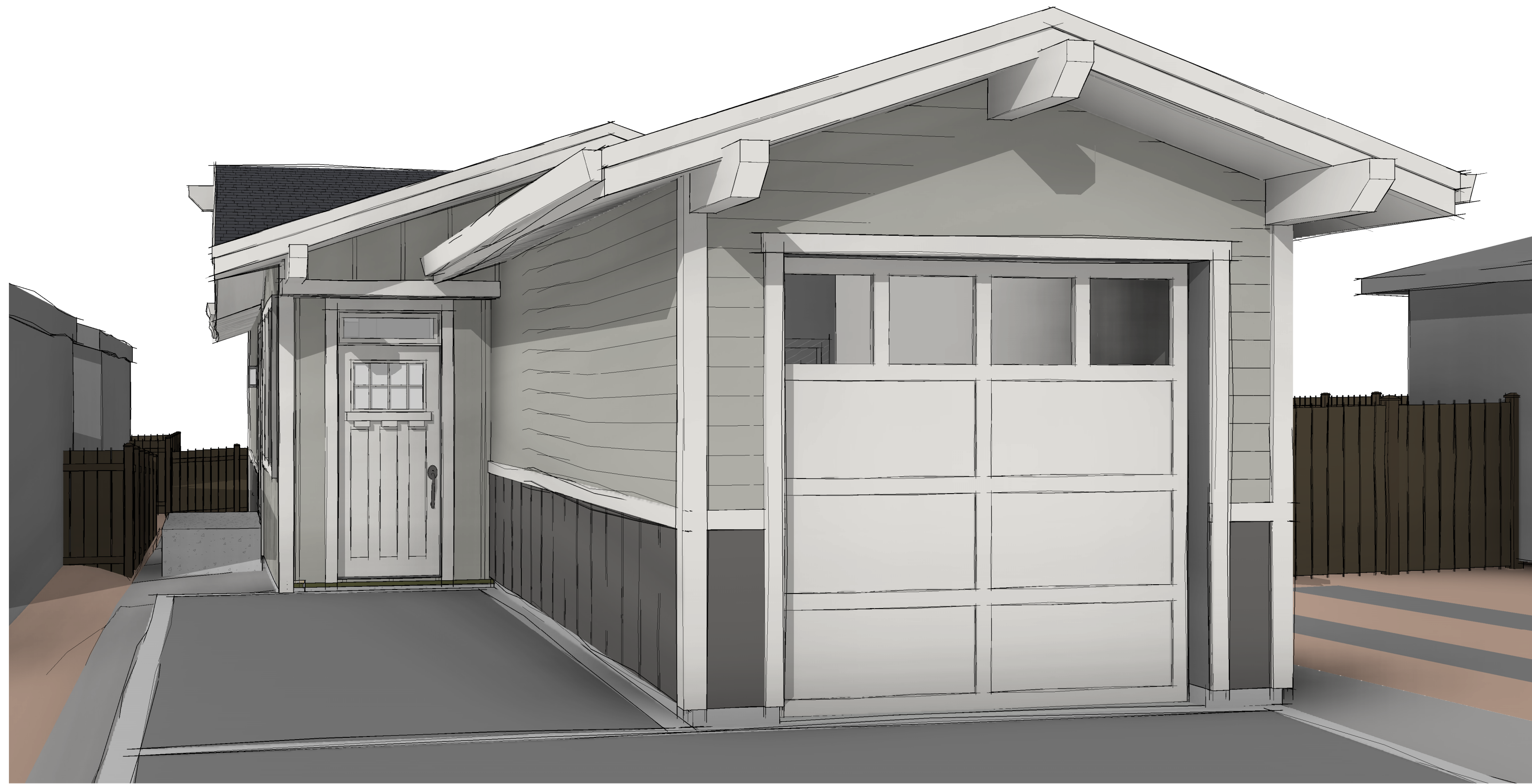


SHEET ABBREVIATIONS

|        |                  |      |                                      |        |                      |
|--------|------------------|------|--------------------------------------|--------|----------------------|
| AB     | ANCHOR BOLT      | GA   | GAUGE                                | REINF  | REINFORCED           |
| ADJ    | ADJACENT         | GFCI | GROUND FAULT INTERRUPTER             | ROOM   | ROOM                 |
| ALUM   | ALUMINUM         | GALV | GALVANIZED                           | RWD    | REDWOOD              |
| BM     | BEAM             | GL   | GLASS                                | S      | SOUTH                |
| BOW    | BOTTOM OF WALL   | GYP  | GYPSONUM                             | SB     | SET BACK             |
| BLKG   | BLOCKING         | H    | HIGH OR HEIGHT                       | SF     | SQUARE FOOT          |
| BRD    | BOARD            | HB   | HOSE BIBB                            | SHTHG  | SHEATHING            |
| CC     | CENTER TO CENTER | JTS  | JOIST                                | SHWR   | SHOWER               |
| CL     | CENTERLINE       | LAV  | LAVATORY                             | SIM    | SIMILAR              |
| CEM    | CEMENT           | LB   | POUND                                | SIMP   | 'SIMPSON'            |
| CER    | CERAMIC          | LIN  | LINEN                                | SLD    | SLIDING              |
| CJ     | CONTROL JOINT    | LT   | LIGHT                                | S&P    | SHELF & POLE         |
| CLG    | CEILING          | MANF | MANUFACTURER                         | STRUCT | STRUCTURAL           |
| CLR    | CLEAR            | MAX  | MAXIMUM                              | T      | TREAD                |
| CLO    | CLOSET           | MC   | MEDICINE CABINET                     | TEMP   | TEMPERED             |
| CO     | CLEANOUT         | MIN  | MINIMUM                              | TOC    | TOP OF CONCRETE      |
| CONC   | CONCRETE         | MTL  | METAL                                | TOG    | TOP OF GRADE         |
| CONTIN | CONTINUOUS       | N    | NORTH                                | TOF    | TOP OF FLOOR         |
| DBL    | DOUBLE           | O/   | OVER                                 | TOP    | TOP OF PAVEMENT      |
| DF     | DOUGLAS FIR      | OC   | ON CENTER                            | TOS    | TOP OF SLAB          |
| DI     | DRAIN INLET      | OFCI | OWNER FURNISHED CONTRACTOR INSTALLED | TOW    | TOP OF WALL          |
| DIA    | DIAMETER         | O    | OWNER SELECTED                       | TV     | TELEVISION           |
| DR     | DOOR             | O    | OWNER SELECTED                       | TYP    | TYPICAL              |
| DW     | DISH WASHER      | PB   | PUSH BUTTON                          | UCR    | UNDER COUNTER REFRIG |
| E      | EAST             | PH   | PHONE                                | W      | WEST                 |
| EL     | ELEVATION        | PL   | PLATE                                | W/     | WITH                 |
| EQ     | EQUAL            | POC  | POINT OF CONNECTION                  | WC     | WATER CLOSET         |
| FF     | FINISH FLOOR     | PT   | PRESSURE TREATED                     | WD     | WOOD                 |
| FIX    | FIXTURE          | R    | RISER                                | WH     | WATER HEATER         |
| FLUOR  | FLUORESCENT      | REF  | REFRIGERATOR                         | WP     | WATER PROOF          |
| FP     | FIRE PLACE       |      |                                      | WWM    | WELDED WIRE MESH     |

NEW SINGLE FAMILY RESIDENCE:

FREITAS FAMILY



**GRAPHIA**  
ARCHITECTURE & ENGINEERING

100 GATEWAY DRIVE, SUITE 120  
LINCOLN, CA 95648  
(916) 209-9890  
Sean@GRAPHIA.com  
GRAPHIA.com

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PROJECT: 20190110

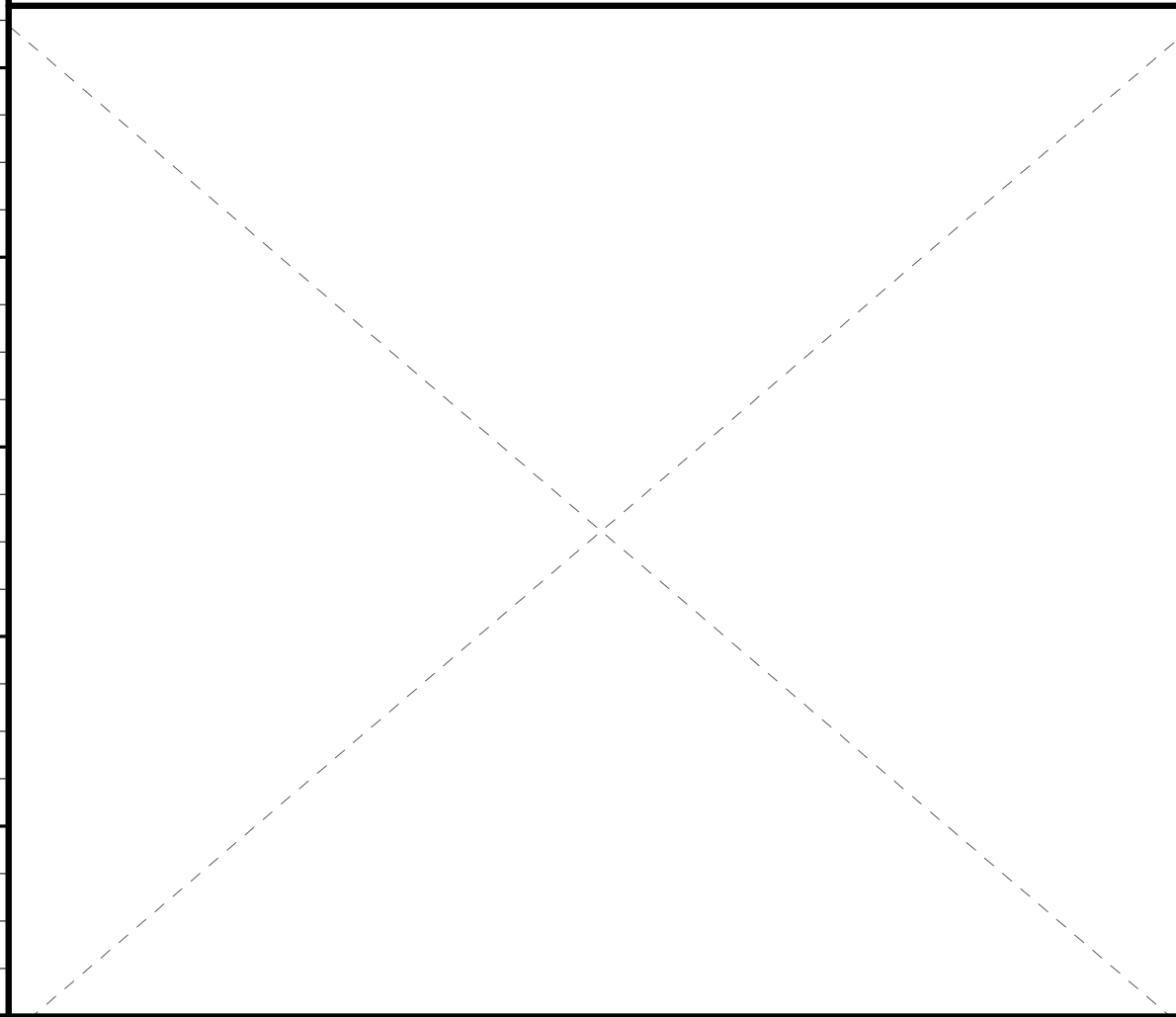
CLIENT: FREITAS FAMILY  
KATHLEEN FREITAS  
2515 ANVIL COURT,  
ROCKLIN, CA 95765

Tel: 916-580-9981  
Email: SEAN@GRAPHIA.COM

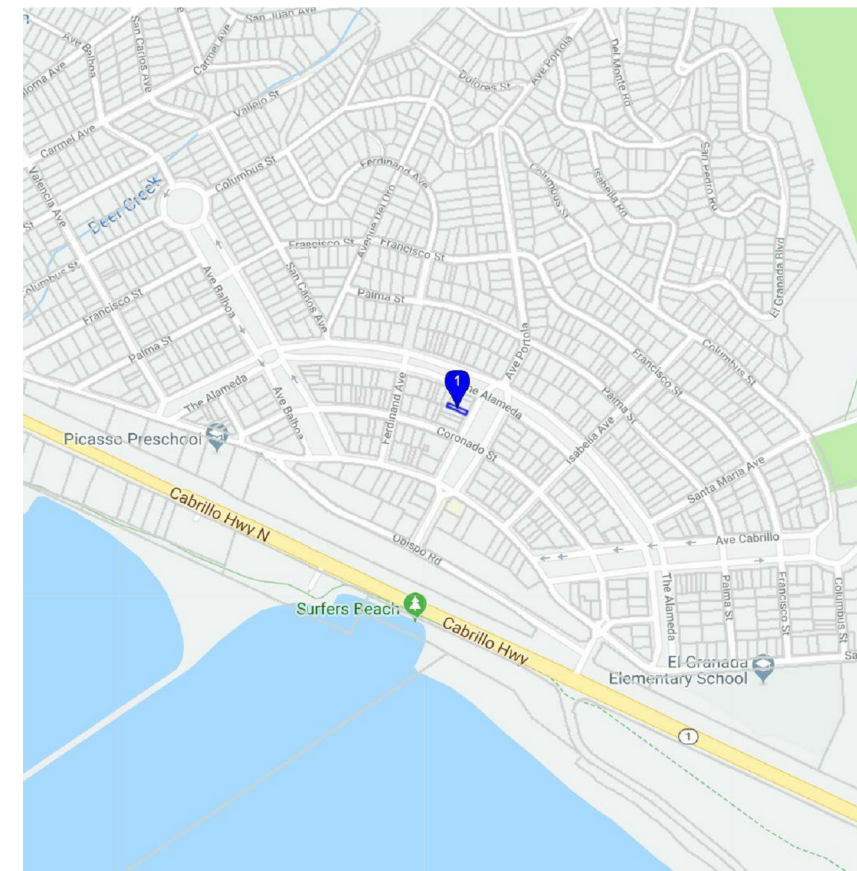
PROJECT DIRECTORY

|                     |  |
|---------------------|--|
| ARCHITECT           | SEAN FREITAS, ARCHITECT<br>100 GATEWAY DRIVE, SUITE 120,<br>LINCOLN, CA 95648<br>TEL: 916-580-9981 |
| DRAFTING            | NICHOLAS OUSHAKOFF<br>100 GATEWAY DRIVE, SUITE 120,<br>LINCOLN, CA 95648<br>TEL: 916-580-9981      |
| STRUCTURAL ENGINEER |  |
| MEP ENGINEER        |  |
| CIVIL ENGINEER      |  |
| FIRE SPRINKLER      |  |
| TRUSS DESIGNER      |  |

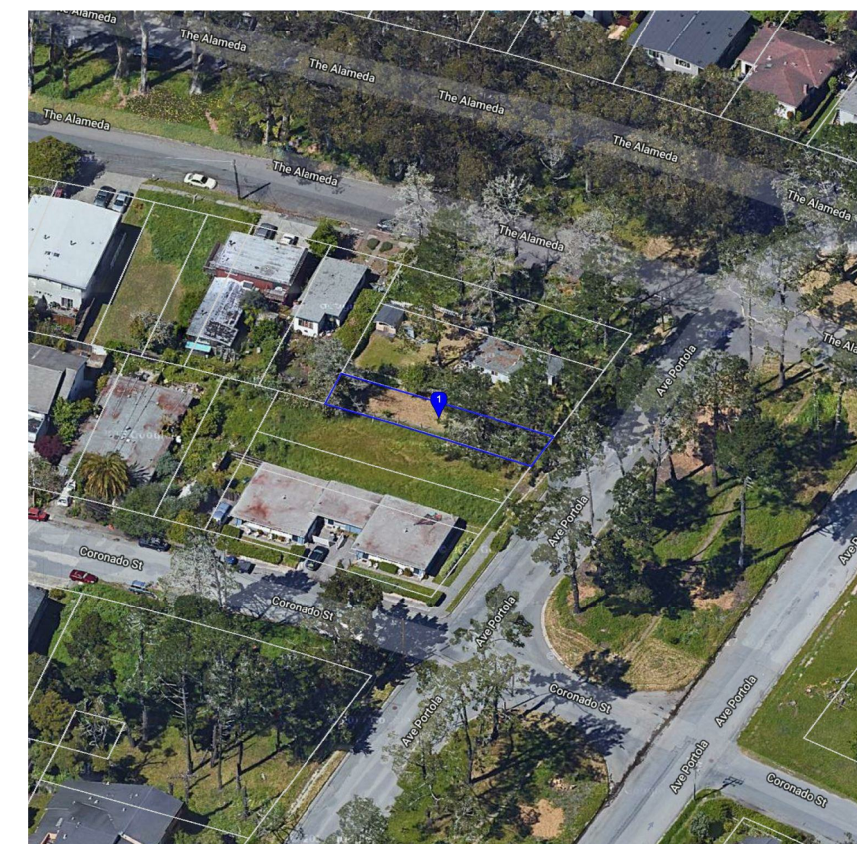
ADDITIONAL NOTES



PROJECT VICINITY MAP



AERIAL VIEW



PROJECT INFORMATION

APPLICABLE BUILDING CODE: 2019 CALIFORNIA BUILDING CODE (CBC)  
2019 CALIFORNIA RESIDENTIAL CODE (RCR)  
2019 CALIFORNIA MECHANICAL CODE (CMC)  
2019 CALIFORNIA PLUMBING CODE (CPC)  
2019 CALIFORNIA ENERGY CODE (CEC)  
2019 CALIFORNIA GREEN BUILDING CODE (CGBS)  
2019 CALIFORNIA ENERGY CODE (2019 CALIFORNIA ENERGY STANDARDS AS AMENDED BY THE STATE OF CALIFORNIA AND THE LOCAL JURISDICTION).

GENERAL PROJECT DATA:

APN: 047-208-120  
ZONE: R-3/S-3/DR/CD  
BUILDING JURISDICTION: SAN MATEO COUNTY

|                                     |          |         |
|-------------------------------------|----------|---------|
| CODE COMPLIANCE:                    | ALLOWED: | ACTUAL: |
| OCCUPANCY GROUP (CBC CH 3):         | R-3/U    | R-3/U   |
| CONSTRUCTION TYPE (CBC, TABLE 601): | V-B      | V-B     |
| ALLOWABLE HEIGHT:                   | 36'      | 13'-2"  |
| ALLOWABLE STORIES:                  | 3        | 1       |
| ALLOWABLE AREA:                     | 50%      | 49.55%  |
| FLOOR AREA RATIO:                   | 0.5      | 0.3     |

SHEET INDEX

| SHEET | TITLE                             |
|-------|-----------------------------------|
| A0.11 | COVER SHEET                       |
| A0.12 | NOTES & CALG GREEN                |
| A0.13 | COC LETTER                        |
| A1.10 | SITE SURVEY                       |
| A1.11 | SITE PLAN                         |
| A2.11 | FLOOR PLANS                       |
| A3.11 | ROOF PLAN                         |
| A5.00 | PERSPECTIVE VIEWS                 |
| A5.11 | ELEVATIONS                        |
| A5.12 | ELEVATIONS                        |
| A6.11 | BUILDING SECTIONS                 |
| AT.0  | LIGHTING SHEETS                   |
| C-1   | GRADING AND DRAINAGE PLAN         |
| C-2   | EROSION AND SEDIMENT CONTROL PLAN |

ARCHITECTURAL SYMBOLS

|   |                           |                         |                |  |                 |
|---|---------------------------|-------------------------|----------------|--|-----------------|
| #   | GRIDLINE                  | Ref 1<br>A101           | SECTION        | LAP SIDING                                 | CARPET          |
| W#<br>R#                                  | WIDTH x HEIGHT WINDOW TAG | 1<br>A101               | SIM DETAIL     | ASPHALT SHINGLE ROOFING                    | EARTH           |
| D101<br>R#                                | WIDTH x HEIGHT DOOR TAG   | ▲                       | REVISION       | STONE                                      | CONCRETE        |
| ROOM NAME<br>R#<br>A: AREA<br>CLG: CLG HT | ROOM TAG                  | Name<br>Elevation       | SPOT ELEVATION | EXTERIOR CEMENT PLASTER                    | TILE            |
| #   | PROPOSED KEYNOTE          | Ref 1<br>SHEET 1<br>Ref | ELEVATION      | FIBER-CEMENT SHINGLES                      | SS METAL        |
| ⊕   | EXISTING KEYNOTE          |                         |                | PROJECT NORTH (GRAY)<br>TRUE NORTH (BLACK) | BATTEN ON BOARD |

PROJECT SCOPE

SINGLE-FAMILY RESIDENCE CONSISTING OF TWO BEDROOMS, ONE BATHROOM. PRE-MANUFACTURED TRUSSES TO BE UTILIZED WITH ASPHALT SHINGLE ROOFING. EXTERIOR 2X6 WALLS WITH BATTEN AND BOARD & LAP SIDING FINISH. EXISTING UTILITIES AT THE SITE TO BE REROUTED.

AREA CALCULATIONS

| NAME          | (E) AREA | (N) AREA | NET CHANGE |
|---------------|----------|----------|------------|
| CONDITIONED   |          |          |            |
| LEVEL-1       | 0 SF     | 847 SF   | 847 SF     |
| CONDITIONED   | 0 SF     | 847 SF   | 847 SF     |
| UNCONDITIONED |          |          |            |
| GARAGE        | 0 SF     | 224 SF   | 224 SF     |
| DECK          | 0 SF     | 86 SF    | 86 SF      |
| UNCONDITIONED | 0 SF     | 310 SF   | 310 SF     |
| TOTAL:        | 0 SF     | 1157 SF  | 1157 SF    |

| LOT SIZE |         |        | LOT COVERAGE |        |         |             |                |
|----------|---------|--------|--------------|--------|---------|-------------|----------------|
| (E) SF   | (N) SF  | CHANGE | (E) SF       | (N) SF | (N) %   | CHANGE (SF) | CHANGE (%)     |
| 2763 SF  | 2763 SF | 0 SF   | 0 SF         | 0.00%  | 1157 SF | 41.87%      | 1157 SF 41.87% |

PROJECT LOCATION: 047-208-120 AVENUE PORTOLA, EL GRANADA, CA

APN: 047-208-120

NEW SINGLE FAMILY RESIDENCE  
**FREITAS FAMILY**  
047-208-120 AVENUE PORTOLA,  
EL GRANADA, CA

TITLE: COVER SHEET

ISSUES:  
Project Issue Date:  
Project Status:  
Sheet Issue Date: 10/11/20  
Revision Number:  
Revision Date:

REGISTERED ARCHITECT  
NOT FOR CONSTRUCTION  
THIS PROJECT IS NOT APPROVED FOR CONSTRUCTION UNLESS THE DRAWINGS ARE STAMPED AND WET SIGNED BY THE ARCHITECT AND THE BUILDING AUTHORITY HAVING JURISDICTION OVER THE PROJECT.

SHEET: **A0.11**

SHEET: OF SHEETS



| 2016 CALGREEN CODE   |              |
|--|--------------|
| SECTION  | REQUIREMENTS |
| <b>Chapter 1 - ADMINISTRATION</b>  |              |
| <b>Chapter 3 - GREEN BUILDING</b>  |              |
| <b>101.3.1</b> Applies to all newly constructed residential buildings: low-rise, high-rise, and hotels/motels.   |              |
| <b>301.1.1</b> Applies to additions or alterations of residential buildings where the addition or alteration increases the building's conditioned area, volume, or size.   |              |
| <b>301.2</b> Banners identify provisions applying to low-rise only (LR) or high-rise only (HR).  |              |
| <b>4.106.2</b> Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction.  |              |
| <b>4.106.3</b> Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Exception for additions and alterations which do not alter the existing drainage path. |              |
| <b>4.106.4</b> Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction.  |              |
| <b>4.106.4.1</b> & <b>4.106.4.1.1</b> Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction.   |              |

| 2016 CALGREEN CODE   |              |
|--|--------------|
| SECTION  | REQUIREMENTS |
| <b>4.106.4.1</b> & <b>4.106.4.1.1</b> Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction. |              |
| <b>4.106.4.2</b> Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction.                      |              |
| <b>4.106.4.2.1</b> Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction.                    |              |
| <b>4.106.4.2.2</b> Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction.                    |              |
| <b>4.106.4.2.3</b> Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction.                    |              |

| 2016 CALGREEN CODE  |              |
|---|--------------|
| SECTION   | REQUIREMENTS |
| <b>4.106.4.2.3</b> Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction. |              |
| <b>4.106.4.2.4</b> Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction. |              |

| 2016 CALGREEN CODE  |              |
|---|--------------|
| SECTION   | REQUIREMENTS |
| <b>4.106.4.2.5</b> Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction. |              |

| 2016 CALGREEN CODE  |              |
|---|--------------|
| SECTION   | REQUIREMENTS |
| <b>4.201.1 &amp; 5.201.1</b> Energy efficiency requirements for low-rise residential (Section 4.201.1) and high-rise residential/hotels/motels (Section 5.201.1) are now in both residential and nonresidential chapters of CALGreen. |              |

| 2016 CALGREEN CODE  |              |
|---|--------------|
| SECTION   | REQUIREMENTS |
| <b>4.303.1</b> Plumbing fixtures and fittings shall comply with the following:  |              |
| <b>4.303.2</b> Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet applicable standards referenced in Table 1701.1 of the California Plumbing Code. |              |
| <b>4.303.2</b> Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet applicable standards referenced in Table 1701.1 of the California Plumbing Code. |              |
| <b>4.304.1</b> After December 1, 2015, new residential developments with an aggregate landscape area equal to or greater than 500 square feet shall comply with one of the following:                             |              |

| 2016 CALGREEN CODE                                      |              |
|---|--------------|
| SECTION   | REQUIREMENTS |
| <b>4.408.1</b> Excavated soil and land-clearing debris. |              |
| <b>4.408.2</b> Construction waste management plan.      |              |
| <b>4.408.3</b> Waste management company.                |              |
| <b>4.408.4</b> Waste stream reduction alternative.      |              |

| 2016 CALGREEN CODE  |              |
|---|--------------|
| SECTION   | REQUIREMENTS |
| <b>4.410.1</b> At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which covers 10 specific subject areas shall be placed in the building.   |              |
| <b>4.410.2</b> Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage and collection of non-hazardous materials for recycling. |              |

| 2016 CALGREEN CODE   |              |
|--|--------------|
| SECTION  | REQUIREMENTS |
| <b>4.503.1</b> Any installed gas fireplace shall be a direct-vent sealed-combustion type.  |              |
| <b>4.504.1</b> At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air intake and distribution component openings shall be covered. |              |
| <b>4.504.2.1</b> Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply.                                 |              |

| 2016 CALGREEN CODE  |              |
|---|--------------|
| SECTION   | REQUIREMENTS |
| <b>4.504.2.2</b> Architectural paints and coatings shall comply with VOC limits in Table 1 of the Air Resources Board Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. |              |

| 2016 CALGREEN CODE   |              |
|--|--------------|
| SECTION  | REQUIREMENTS |
| <b>4.504.3</b> The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as Flat, Nonflat, or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37, of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat, or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply. |              |

| 2016 CALGREEN CODE  |              |
|---|--------------|
| SECTION   | REQUIREMENTS |
| <b>4.504.3.1</b> Aerosol paints and coatings shall meet the Product-Weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances. |              |
| <b>4.504.3.2</b> Carpet installed in the building interior shall meet the testing and product requirements of 1 of the following:   |              |
| <b>4.504.3.3</b> Carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label Plus Program.  |              |
| <b>4.504.3.4</b> Carpet adhesives shall meet the requirements of Table 4.504.1.   |              |
| <b>4.504.4</b> Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall comply with one or more of the following:   |              |
| <b>4.504.5</b> Documentation required by Section 4.504.5.1.   |              |

| 2016 CALGREEN CODE   |              |
|--|--------------|
| SECTION  | REQUIREMENTS |
| <b>4.504.5.1</b> Documentation required by Section 4.504.5.1.  |              |
| <b>4.504.5.2</b> Building materials with visible signs of water damage shall not be installed.   |              |
| <b>4.504.5.3</b> Moisture readings shall be taken at a point 2 feet to 4 feet from the grade-stamped end of each piece to be verified. |              |

| 2016 CALGREEN CODE   |              |
|--|--------------|
| SECTION  | REQUIREMENTS |
| <b>4.506.1</b> Each bathroom shall be mechanically ventilated and shall comply with the following:   |              |
| <b>4.506.2</b> Heating and air conditioning systems shall be sized, designed, and equipment selected using the following methods:  |              |
| <b>4.506.3</b> HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognized training or certification program. |              |

| 2016 CALGREEN CODE   |              |
|--|--------------|
| SECTION  | REQUIREMENTS |
| <b>4.702.1</b> State certified apprenticeship programs.  |              |
| <b>4.702.2</b> Public utility training programs.   |              |
| <b>4.702.3</b> Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. |              |
| <b>4.702.4</b> Programs sponsored by manufacturing organizations.  |              |
| <b>4.702.5</b> Other programs acceptable to the enforcing agency.  |              |

| 2016 CALGREEN CODE   |              |
|--|--------------|
| SECTION  | REQUIREMENTS |
| <b>4.702</b> Special inspectors must be qualified and able to demonstrate competence to the enforcing agency in the discipline in which they are inspecting.   |              |
| <b>4.703</b> Documentation of compliance shall include, but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the local enforcing agency. |              |

# GENERAL NOTES

**SCOPE:**

- THE CONSTRUCTION CONTRACT RELATED TO THE WORK OF THIS PROJECT IS HEREBY MADE A PART OF THESE DRAWINGS AS THOUGH FULLY CONTAINED THEREIN.
- THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COMPLETE ALL WORK REQUIRED TO RECEIVE A CERTIFICATE OF OCCUPANCY FROM THE BUILDING OFFICIAL HAVING JURISDICTION OVER THIS PROJECT. THE SCOPE OF PERMIT COMPLIANCE WORK IS INCLUDED IN THE GENERAL CONTRACT FOR CONSTRUCTION OF THIS PROJECT. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR AND GOVERNED BY ALL OF THE REQUIREMENTS THEREUNDER.
- PRIOR TO CONTRACT APPROVAL, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE PROJECT SITE, AND BY THEIR OWN INVESTIGATION, DETERMINE EXISTING SITE CONDITIONS AS TO THE QUANTITIES OF MATERIALS, LABOR HOURS, AND ANY OTHER COST ASSOCIATED WITH WORK THAT IS TO BE DONE UNDER THEIR CONTRACT AND AS REQUIRED TO PASS ALL BUILDING PERMIT INSPECTIONS. ALL MODIFICATIONS REQUIRED BY THE INSPECTION AUTHORITY SHALL BE MADE BY EACH SUBCONTRACTOR AT THEIR EXPENSE.
- PRIOR TO CONTRACT APPROVAL, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY AND CONFIRM THE DESIGN REQUIREMENTS OF ALL NEW AND EXISTING ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND REPORT ANY AMBIGUITIES OR DISCREPANCIES CONTAINED IN THE CONTRACT TO THE OWNER IN WRITING. ALL MODIFICATIONS REQUIRED TO COMPLETE THE CONTRACT RESULTING FROM AMBIGUITIES OR DISCREPANCIES NOT REPORTED PRIOR TO CONTRACT APPROVAL SHALL BE MADE BY EACH SUBCONTRACTOR AT THEIR EXPENSE.

**APPLICABLE LAWS, ORDINANCES, REGULATIONS AND STANDARDS:**

- THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL CONFORM TO THE LATEST APPLICABLE, ADOPTED EDITION OF THE CALIFORNIA CODE OF REGULATIONS, TITLE-24, CALIFORNIA BUILDING CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA ELECTRICAL CODE, AND ALL LOCAL CODES AND ORDINANCES REQUIRED TO RECEIVE A CERTIFICATE OF OCCUPANCY FROM THE BUILDING OFFICIAL HAVING JURISDICTION OVER THE PROJECT.
- THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM ALL WORK REQUIRED BY APPLICABLE BUILDING CODES AND REGULATIONS TO PASS ALL REQUIRED BUILDING INSPECTIONS.
- EACH SUBCONTRACTOR MUST BE A SPECIALIST IN THEIR FIELD. EACH SUBCONTRACTOR SHALL, PRIOR TO THE SUBMISSION OF HIS BID OR PERFORMANCE OF WORK, NOTIFY THE GENERAL CONTRACTOR OF ANY WORK CALLED OUT IN THE DRAWINGS OR PROJECT MANUAL IN HIS TRADE THAT CANNOT BE FULLY GUARANTEED OR CONSTRUCTED ACCORDING TO THE DESIGN INTENT.

**PERMITS, LICENSES, INSPECTIONS, AND FEES:**

- THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PLAN REVIEW, PERMIT, LICENSE, AND INSPECTION APPROVALS. ALL FEES REQUIRED FOR APPROVAL SHALL BE PAID BY THE OWNER.

**GUARANTEE:**

- THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL GUARANTEE THAT ALL WORK REQUIRED TO CONSTRUCT THE PROJECT BE A COMPLETE WORKING SYSTEM AND SHALL OPERATE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS. THE CONTRACTOR AGREES TO REPLACE, WITHOUT EXPENSE TO THE OWNER, ANY PROJECT COMPONENTS WHICH THE OWNER DETERMINES TO BE DEFECTIVE WITHIN ONE (1) CALENDAR YEAR FROM THE DATE OF FINAL CONTRACT ACCEPTANCE.

**DATA AND MEASUREMENTS:**

- DRAWING DATA CONTAINED HEREIN IS AS EXACT AS COULD BE DETERMINED WITHIN THE PROJECT DESIGNER'S DESIGN SCOPE OF SERVICES RENDERED. AS SUCH THE ABSOLUTE ACCURACY OF THE DESIGN DATA IS NOT GUARANTEED. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL ENDEAVOR TO OBTAIN, VERIFY AND CONFIRM EXACT DESIGN DATA ON SITE AND SUITABLY ADAPT THE WORK TO CONFORM TO EXACT CONDITIONS ON SITE. THE CONTRACTOR SHALL REPORT ANY DESIGN DATA AMBIGUITIES OR DISCREPANCIES CONTAINED IN THE CONTRACT TO THE OWNER IN WRITING. ALL MODIFICATIONS REQUIRED TO ADAPT THE WORK SHALL BE MADE BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS AND ACTUAL BUILDING MEASUREMENTS TAKE PRECEDENCE OVER SCALED DRAWING INFORMATION.
- DIMENSIONS TO DOORS, WINDOWS, AND OPENINGS ARE NOMINAL WIDTHS. REFER TO THE MANUFACTURER FOR ACTUAL ROUGH OPENINGS.
- ALL WALL DIMENSIONS ARE ACTUAL, FACE OF STUD TO FACE OF STUD. WALL FINISH DIMENSIONS ARE NOT TAKEN INTO ACCOUNT AND ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO DETERMINE PROPER CLEARANCES.
- NOTES ARE AN AID TO THE CONTRACTOR IN UNDERSTANDING THE WORK AND SHOULD NOT BE CONSTRUED AS BEING COMPLETE IN EVERY DETAIL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME THOROUGHLY FAMILIAR WITH THE WORK, AND REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL CONDITIONS TO THE ARCHITECT.
- DIMENSIONS MARKED AS "V.I.F." SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.
- DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT, UNLESS NOTED AS +/-.

**SUBSTITUTIONS FOR SPECIFIED MATERIALS:**

- SPECIFIC TRADE NAMES MENTIONED IN THE DRAWINGS ARE FOR THE PURPOSES OF ESTABLISHING MINIMUM STANDARDS OF QUALITY, STYLE OR TYPE, AND SHALL NOT BE CONSTRUED TO RESTRICT SUBSTITUTIONS. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER IN WRITING WITHIN A SUFFICIENT TIME FRAME AS NOT TO DELAY PROJECT COMPLETION.
- SUBSTITUTIONS SHALL NOT BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE ARCHITECT AND THE OWNER. CONSIDERATION WILL BE GIVEN TO LIFE SAFETY, FIRE RATING, ACOUSTICS, WATERPROOFING, STRUCTURAL INTEGRITY, HANDICAPPED ACCESSIBILITY AND AESTHETICS WHEN ASSESSING PROPOSED SUBSTITUTIONS.

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**PROJECT: 20190110**

CLIENT: FREITAS FAMILY  
KATHLEEN FREITAS  
2515 ANVIL COURT,  
ROCKLIN, CA 95765

Tel: 916-580-9981  
Email: sean@graphia.com

**NEW SINGLE FAMILY RESIDENCE**  
**FREITAS FAMILY**  
**047-208-120 AVENUE PORTOLA,**  
**EL GRANADA, CA**

DESIGN REVIEW DRAWING

TITLE: NOTES & CALGREEN  
ISSUES:  
Project Issue Date:  
Project Status:  
Sheet Issue Date:  
Revision Number:  
Revision Date:


1/22/21

NOT FOR CONSTRUCTION

THIS PROJECT IS NOT APPROVED FOR CONSTRUCTION UNLESS THE DRAWINGS ARE STAMPED AND WIT SIGNED BY THE ARCHITECT AND THE BUILDING AUTHORITY HAVING JURISDICTION OVER THE PROJECT.

SHEET: **A0.12**  
OF SHEETS



|  |   |
|--|---|
| Recorded at the Request of,<br>and When Recorded Return to:<br>Pete Bentley, Project Planner<br>Planning and Building Department<br>455 County Center, 2nd Floor<br>Mail Drop PLN122<br>Redwood City, CA 94063 | For Clerk Use Only<br><br><b>2019-102490 CONF</b><br>11:32 am 12/04/19 CC Fee: 26.00<br>Count of pages 4<br>Recorded in Official Records<br>County of San Mateo<br>Mark Church<br>Assessor-County Clerk-Recorder<br> |
|--|---|

County of San Mateo  
Planning and Building Department  
**CERTIFICATE OF COMPLIANCE**  
Pursuant to Government Code Section 68499.35(a)  
Planning File No. PLN 2019-00380

The County of San Mateo has received a request from Sean Freitas, 2515 Anvil Court, Rocklin, CA 95765, to determine if real property owned by Sean Freitas, identified as Lot 5, Block 27, as shown on that certain Map entitled "Plat of Resubdivision of Subdivisions Nos. 2 and 3 of Granada, San Mateo County, California," filed in the Office of the County Recorder of San Mateo County, State of California on August 4, 1908 in Book 6 of Maps at Page 29.

Property Description

APN 047-208-120

All that certain real property located in the unincorporated area of San Mateo County, State of California, and being more particularly described as follows:

Lot 5 in Block 27 as shown on that certain Map entitled "Plat of Resubdivision of Subdivisions Nos. 2 and 3 of Granada, San Mateo County, California," filed in the Office of the County Recorder of San Mateo County, State of California on August 4, 1908 in Book 6 of Maps at Page 29.

A plat showing the above-described parcel is attached hereto and made a part of this Certificate of Compliance.

This parcel (047-208-120) was first conveyed separately from surrounding parcels in July 1917, prior to July 1945, the effective date of the County's first Subdivision Ordinance. This parcel (047-208-120) was conveyed again, by grant deed, in May 1980. Thus, the parcel

**Certificate of Compliance**  
APN 047-208-120  
Page 2

meets the requirements established to confirm legalization as a "Certificate of Compliance (Type A)."

This is to certify that the real property described above complies with the State of California Subdivision Map Act and the San Mateo County Subdivision Ordinance.

**NOTICE:** This document certifies compliance with the State of California Subdivision Map Act and the San Mateo County Subdivision Regulations only. Any development on, or use of, the property described herein is subject to the San Mateo County General Plan, Zoning Regulations, building regulations, and other County regulations affecting use and development of the property. Further, this Certificate of Compliance shall in no way affect the requirements of any other federal, State or local agency that regulates development or use of real property.

  
Steve Monowitz  
Community Development Director  
County of San Mateo

11/18/19  
Date

SM:PB:PSBDD0586\_WPN.DOCX

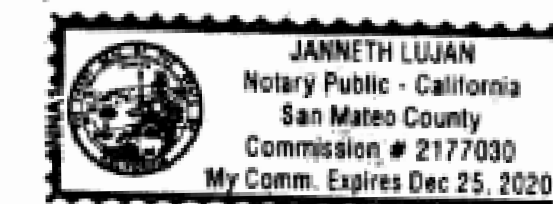
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California )  
County of San Mateo )

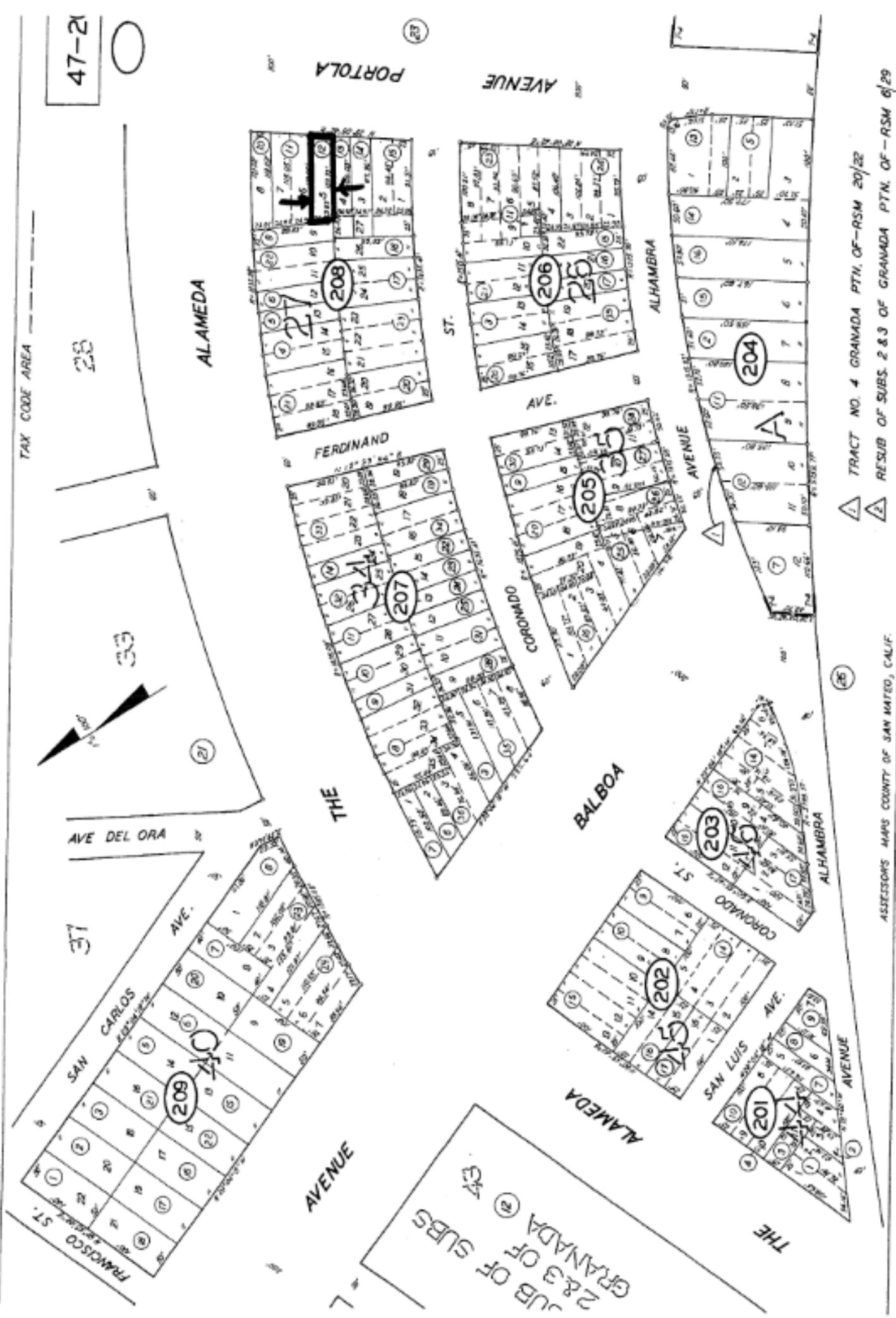
On November 18, 2019, before me, Janneth Lujan, a Notary Public, personally appeared STEVE MONOWITZ, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature Janneth Lujan



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PROJECT: 20190110

CLIENT: FREITAS FAMILY  
KATHLEEN FREITAS  
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Email: sean@graphia.com

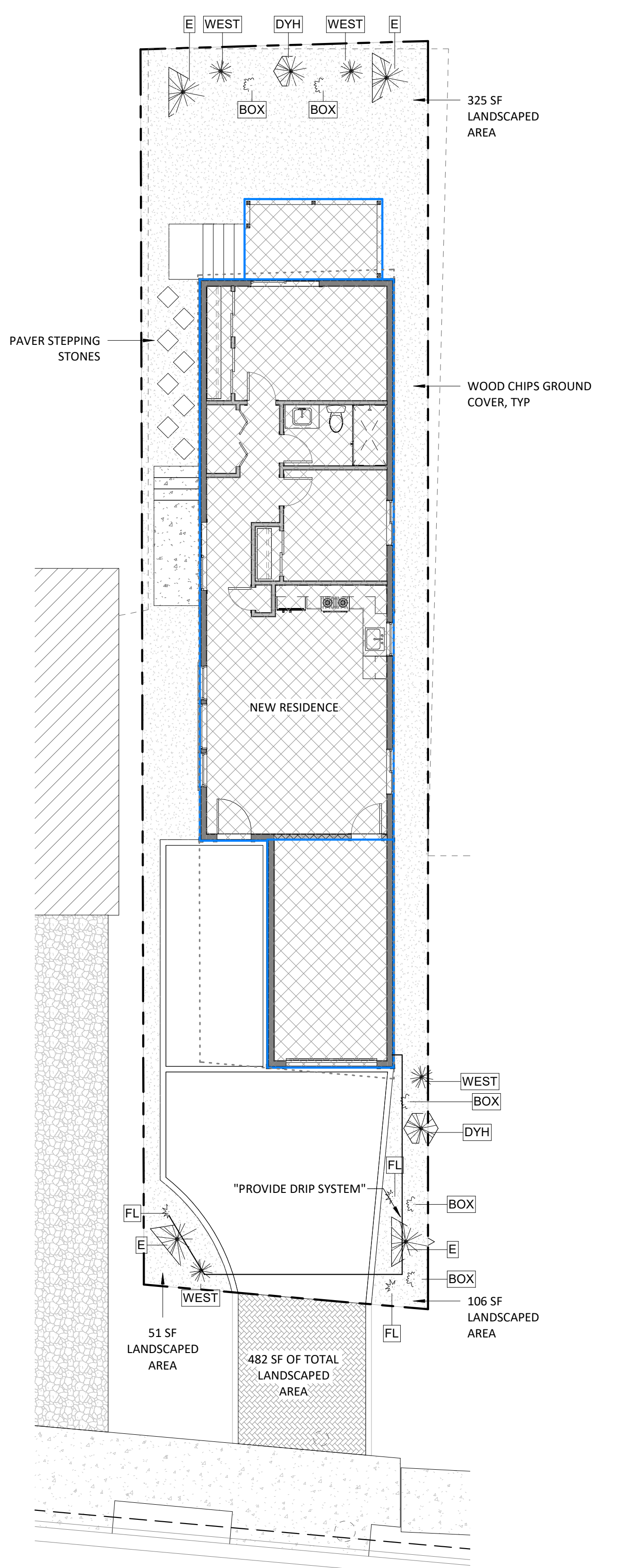
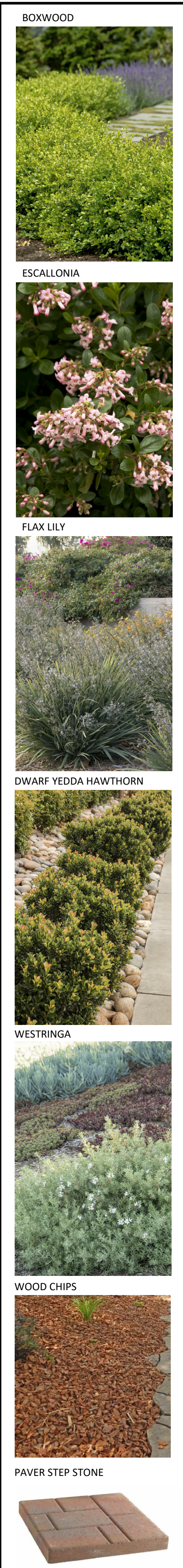
NEW SINGLE FAMILY RESIDENCE  
**FREITAS FAMILY**  
047-208-120 AVENUE PORTOLA,  
EL GRANADA, CA

TITLE:  
COC LETTER  
ISSUES:  
Project Issue Date:  
Project Status:  
Sheet Issue Date:  
Revision Number:  
Revision Date: 1/22/21

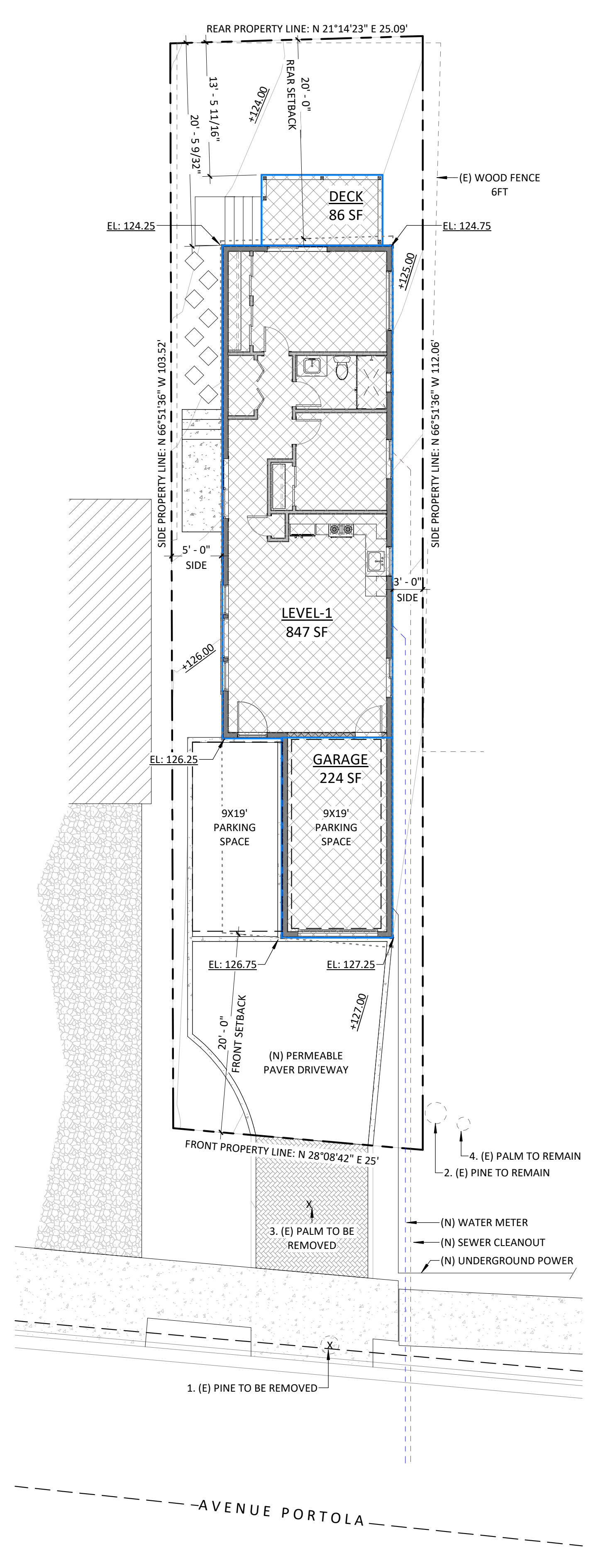
DESIGN REVIEW DRAWING  
  
NOT FOR CONSTRUCTION  
THIS PROJECT IS NOT APPROVED FOR CONSTRUCTION UNLESS THE DRAWINGS ARE STAMPED AND WET SIGNED BY THE ARCHITECT AND THE BUILDING AUTHORITY HAVING JURISDICTION OVER THE PROJECT.

SHEET:  
**A0.13**  
SHEET: OF SHEETS





LANDSCAPING PLAN  
1/8" = 1'-0" 2



SITE PLAN  
1/8" = 1'-0" 1

**SITE PLAN NOTES:**

- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF AND REPAIR OF DAMAGE TO THEM. CONTACT UNDERGROUND SERVICE ALERT 1-800-642-2444, 48 HOURS BEFORE WORK IS TO BEGIN.
- THE CONTRACTOR SHALL PROVIDE EROSION, SEDIMENT, AND POLLUTION CONTROL BEST MANAGEMENT PRACTICES (BMPs) WHEN AND WHERE APPLICABLE.
- DIRECT ALL NEW DOWNSPOUTS ONTO NATURAL GROUND OR LANDSCAPED AREAS WHERE FEASIBLE.
- NO PERMANENT STRUCTURE (INCLUDING WITHOUT LIMITATION GARAGES, PATIOS, CONCRETE SLABS, TOOL SHED, ROOF OVERHANGS AND SIMILAR STRUCTURES) SHALL BE CONSTRUCTED ON TOP OF WATER, SEWER OR DRAINAGE PIPELINES OR ANYWHERE WITHIN THE ASSOCIATED UTILITY EASEMENTS.
- STORM WATER PROTECTION MEASURES SHALL BE IMPLEMENTED AT THE INITIAL PHASE OF CONSTRUCTION ACTIVITY. PROJECTS SHALL PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE THROUGH THE USE OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD.
- SITE SHALL BE GRADED TO PREVENT SURFACE WATER FROM ENTERING BUILDINGS. SITE PLANS SHALL INDICATE HOW THE SITE GRADING WILL MANAGE SURFACE FLOWS. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET (5%).
- IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING SHALL BE SLOPED A MINIMUM OF 1/4" PER FOOT (2%) AWAY FROM THE FOUNDATION.

**LEGEND: SITE PLAN**

|  |                  |  |                          |
|--|------------------|--|--------------------------|
|  | PERMEABLE PAVERS |  | PROPOSED LOT COVERAGE    |
|  | CONCRETE         |  | EXISTING LOT COVERAGE    |
|  | WOOD CHIPS       |  | RAINWATER DETENTION SITE |
|  | PROPERTY LINE    |  | STREET LIGHT             |
|  | ROAD CENTERLINE  |  |                          |
|  | SETBACK LINE     |  |                          |

**Planting Schedule**

| MARK | COUNT | PLANT TYPE         | NAME                   | BOTANICAL NAME          | LIGHT NEED  | WATER USE |
|------|-------|--------------------|------------------------|-------------------------|-------------|-----------|
| FL   | 3     | PERENNIAL          | FLAX LILY              | DIANELLA REVOLUTA       | PARTIAL SUN | LOW       |
| E    | 4     | SHRUB              | ESCALLONIA             | ESCALLONIA SPP. & CVS.  | PARTIAL SUN | LOW       |
| BOX  | 5     | BOXWOOD, SHRUB     | AFRICAN BOXWOOD        | MYRSINE AFRICANA        | PARTIAL SUN | LOW       |
| DYH  | 2     | SHRUB              | DWARF YEDDA HAWTHORN   | RHAPHIOLEPIS LIMBELLATA | PARTIAL SUN | LOW       |
| WEST | 4     | GROUNDCOVER, SHRUB | LOW HORIZON WESTRINGIA | WESTRINGIA FRUTICOSA    | PARTIAL SUN | LOW       |
| 18   |       |                    |                        |                         |             |           |

**LEGEND: LANDSCAPING**

PROPOSED PLANTING; FOR COMPLETE LIST OF PLANT TYPES, COUNTS, NAMES, BOTANICAL NAMES, LIGHTING REQUIREMENTS, AND WATER USE SEE "PLANTING SCHEDULE"

LANDSCAPE HEADERBOARD; COMPOSITE LANDSCAPE EDGING.

**GENERAL NOTES: LANDSCAPING**

- ALL SHRUB AREAS SHALL BE COMPLETELY COVERED WITH A 3" LAYER OF DECORATIVE (CONTRASTING) WALK-ON BARK. PROVIDE SAMPLE TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION.
- FIELD ADJUST TREES AS NECESSARY TO MAINTAIN THE FOLLOWING MINIMUM CLEARANCES:
  - A. 8 FEET CLEARANCE FROM SEWER OR WATER LINES.
  - B. 5 FEET CLEARANCE FROM STORM DRAIN, JOINT TRENCH AND FIRE HYDRANTS
  - C. 15 FEET FROM STREET LIGHTS
  - D. 25 FEET FROM STOP SIGNS/STOP LIGHTS.
- SEE SOIL TESTING NOTES (IF APPLICABLE) FOR SOIL AMENDMENT AND FERTILIZER RATES.
- TREES TO RECEIVE ROOTBARRIER IF PLANTED WITHIN 5' OF HARDSCAPE.
- CERTIFICATION OF COMPLETION TO BE COMPLETED BY THE CONTRACTOR FOR EACH HOUSE INSTALLED AND EXCEEDS 500 SQ.FT. OF LANDSCAPE AREA. THE CERTIFICATION OF COMPLETION TO CONTAIN THE FOLLOWING INFORMATION:
  - A. DATE, PROJECT NAME, PROJECT APPLICANT NAME, TELEPHONE AND MAILING ADDRESS, PROJECT ADDRESS AND LOCATION, AND PROPERTY OWNER NAME, TELEPHONE AND MAILING ADDRESS.
  - B. CERTIFICATION BY LICENSED LANDSCAPE CONTRACTOR WHO INSTALLED THE LANDSCAPING AND IRRIGATION. WHERE SIGNIFICANT CHANGES ARE MADE IN THE FIELD DURING CONSTRUCTION "AS-BUILT" OR RECORD DRAWINGS SHALL BE INCLUDED. A COPY OF THE IRRIGATION PLAN OR RECORD DRAWING SHALL BE PLACED WITH THE IRRIGATION CONTROLLER.
  - C. IRRIGATION SCHEDULING PARAMETERS USED TO SET THE CONTROLLER.
  - D. LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE
  - E. IRRIGATION AUDIT REPORT.
  - F. SOILS ANALYSIS REPORT, (IF APPLICABLE)
- IRRIGATION AUDIT SHALL BE CONDUCTED BY A THIRD PARTY IRRIGATION AUDITOR. LANDSCAPE AUDITS SHALL NOT BE CONDUCTED BY THE PERSON WHO DESIGNED THE LANDSCAPE OR INSTALLED THE LANDSCAPE. THE APPLICANT SHALL SUBMIT AN IRRIGATION AUDIT REPORT WITH THE CERTIFICATE OF COMPLETION TO THE LOCAL AGENCY THAT MAY INCLUDE, BUT IS NOT LIMITED TO: INSPECTION, SYSTEM TUNE-UP, SYSTEM TEST WITH DISTRIBUTION UNIFORMITY, REPORTING OVERSPRAY OR RUN OFF THAT CAUSES OVERLAND FLOW, AND PREPARATION OF AN IRRIGATION SCHEDULE, INCLUDING CONFIGURING IRRIGATION CONTROLLERS WITH APPLICATION RATE, SOIL TYPES, PLANT FACTORS, SLOPE, EXPOSURE AND OTHER FACTORS NECESSARY FOR ACCURATE PROGRAMMING.

**GENERAL NOTES: SOIL TESTING (IF APPLICABLE)**

- COORDINATE SOIL TESTING IN AN EXPEDITIOUS AND TIMELY MANNER AS REQUIRED FOR ON-SITE MATERIALS. RESPONSIBILITY OF CONTRACTING WITH A SOIL LABORATORY SHALL BE BORNE BY CONTRACTOR. COST OF SAMPLING AND TESTING SHALL BE INCLUDED IN CONTRACT PRICE. TWO (2) SAMPLES ARE REQUIRED. CONTRACTOR TO COLLECT SAMPLES IN THE PRESENCE OF OWNERS REPRESENTATIVE. SAMPLE LOCATIONS TO BE IDENTIFIED ON PLAN.
- EACH SAMPLE SHALL BE SUBMITTED TO A LABORATORY. THE LABORATORY MUST BE APPROVED BY THE OWNER. SUBMIT SAMPLE SIZES AS REQUIRED BY LABORATORY.
- AS A MINIMUM, SOIL SAMPLES SHALL BE ANALYZED FOR: PH, SALINITY, AMMONIA, PHOSPHATE, POTASSIUM, CALCIUM, MAGNESIUM, BORON, AND SODIUM LEVELS. LABORATORY TO PROVIDE APPRAISAL OF CHEMICAL PROPERTIES, INCLUDING PARTICLE SIZE AND RECOMMENDATIONS FOR TYPES AND QUANTITIES OF AMENDMENTS AND FERTILIZERS. CONTRACTOR TO ADVISE TESTING LAB THAT THE FOLLOWING AMENDMENTS ARE TO BE INCLUDED IN RECOMMENDATIONS: GFO-POWER PLUS (MINIMUM RATE OF 150 LBS/1000 SQ.FT.) AND 90% BARK BASE PRODUCT, 1/4 INCH SIZE, TREATED WITH NITROGEN, 1/2-0-0. (MINIMUM RATE OF 4 CY PER 1000 SF.)

**TREE SCHEDULE:**

| TREE # | TREE TYPE | TRUNK SIZE (BREAST HEIGHT) | DRIFLINE |
|--------|-----------|----------------------------|----------|
| 1      | PINE TREE | 18"                        | 15'      |
| 2      | PINE TREE | 20"                        | 10'      |
| 3      | PALM TREE | 10"                        | 4'       |
| 4      | PALM TREE | 8"                         | 8'       |

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PROJECT: 20190110

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**NEW SINGLE FAMILY RESIDENCE**  
**FREITAS FAMILY**  
047-208-120 AVENUE PORTOLA,  
EL GRANADA, CA

TITLE:  
SITE PLAN

ISSUES:  
Project Issue Date:  
Project Status:  
Sheet Issue Date:  
Revision Number:  
Revision Date:

1/2/21

DESIGN REVIEW DRAWING

NOT FOR CONSTRUCTION

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SHEET:  
**A1.11**  
SHEET: OF SHEETS



**LEGEND: FLOOR PLAN**

|  |  |
|--|--|
|  | NEW INTERIOR WALL CONSTRUCTION: 2X6 D.F. STUDS @ 16" O.C. FINISH AS SELECTED BY OWNER  |
|  | NEW EXTERIOR WALL CONSTRUCTION - 2X6 D.F. STUDS @ 16" O.C. FINISH AS SELECTED BY OWNER. SEE STRUCTURAL SHEETS FOR LOCATION AND TYPE OF ADDITIONAL SHEAR PANEL REQUIREMENTS. SEE EXTERIOR ELEVATIONS FOR LOCATION AND TYPE OF EXTERIOR FINISH. U.N.O.   |
|  | DOORS: MAKE/MODEL - AS SELECTED BY OWNER - CAULK ALL EXTERIOR JOINTS (TYP). SEE IN VIEW FOR TYPE, LOCATION & SIZE. SEE SCHEDULE SHEETS FOR ABBREVIATIONS.  |
|  | MATERIAL: AS SELECTED BY OWNER, U.N.O.<br>FRAME: AS SELECTED BY OWNER, U.N.O.<br>HARDWARE: AS SELECTED BY OWNER, U.N.O.  |
|  | WINDOWS: MAKE/MODEL - AS SELECTED BY OWNER - CAULK ALL EXTERIOR JOINTS (TYP). SEE IN VIEW FOR TYPE, LOCATION & SIZE. SEE SCHEDULE SHEETS FOR TYP. EGRESS: ALL EGRESS WINDOWS SILL HEIGHTS SHALL NOT BE GREATER THAN 44" A.F.F.   |
|  | CASED OPENING: ARCH OPENING W/ DECORATIVE WOOD TRIM. COLOR AS SELECTED BY OWNER.   |
|  | EXT CONCRETE PAD-1: LENGTH TO MATCH DOOR X 36" MIN. DEPTH X 4" THICK CONCRETE PAD (MIN) @ EXTERIOR DOORWAYS AND GRADE-MOUNTED MECHANICAL EQUIPMENT. SLOPE PAD 1/4"-12" AWAY FROM BUILDING EDGE. PROVIDE 7.75" MAX STEP FOR IN-SWINGING DOORS AND 1" MAX FOR EXTERIOR SWINGING DOORS BETWEEN TOP OF PAD AND THRESHOLD. (TYP)  |
|  | SHOWER ENCLOSURE: MAKE/MODEL - AS SELECTED BY OWNER<br>REQUIRED DRYER VENT DUCT TO EXTERIOR WITH A MINIMUM OPENING OF 100 SQ. IN. MAKE-UP AIR OF 100 SQ. IN. IS REQUIRED FOR ROOMS CONTAINING A DRYER AND MAY COME FROM OPENING ABOVE DOOR INTO THE HALLWAY. MAKE-UP AIR MAY NOT COME FROM OR EXHAUST TO THE OUTSIDE.  |
|  | CABINETS: MAKE/MODEL - AS SELECTED BY OWNER<br>COUNTER TOPS: MAKE/MODEL - AS SELECTED BY OWNER<br>BACKSPLASHES: MAKE/MODEL - AS SELECTED BY OWNER<br>CONTRACTOR SHALL COORDINATE EQUIPMENT, UTILITIES, AND SIZE WITH CASEWORK FABRICATOR AND SUB-CONTRACTORS.  |
|  | SHELF & POLE: MAKE/MODEL - AS SELECTED BY OWNER  |
|  | WASHER AND DRYER: MAKE/MODEL - AS SELECTED BY OWNER  |
|  | REFRIGERATOR: MAKE/MODEL - AS SELECTED BY OWNER<br>33" CLEAR SPACE. PROVIDE RECESSED COLD WATER BIB AND SHUT-OFF FOR ICE MAKER. PROVIDE ELECTRICAL OUTLET AT 42".  |
|  | KITCHEN SINK: MAKE/MODEL - AS SELECTED BY OWNER<br>DBL. BOWL W/ GARBAGE DISPOSAL & AIR GAP FOR DISHWASHER. MAX 8" BOWL DEPTH. PROVIDE LEVER TYPE HARDWARE. WATER USAGE: < 1.8 GPM @ 60 PSI; TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8 GPM.  |
|  | SINK: MAKE/MODEL - AS SELECTED BY OWNER<br>PROVIDE MIRROR ON WALL BEHIND AND TOWEL RING.   |
|  | RANGE: MAKE/MODEL - AS SELECTED BY OWNER<br>30" WIDE. GAS. PROVIDE MICROWAVE WITH BUILT-IN HOOD, LIGHT, AND FAN TO EXTERIOR. PROVIDE MIN 15" WIDE CUTTING BOARD IN ADJACENT CABINET. HOOD: VENT DIRECTLY TO OUTSIDE EXHAUSTING A MIN. OF 100 CFM. CMC AND ENERGY CODE. THE FAN MUST BE LISTED AT 3 ONE OR LESS. RATING MUST BE BASED ON A .25 WATER COLUMN OR GREATER. COMPLIANCE 4.6.5, 4.6.7 & ASHRAE 62.2 |
|  | DISHWASHER: MAKE/MODEL - AS SELECTED BY OWNER<br>24" WIDE X 24" DEEP W/ AIR GAP.   |
|  | WATER CLOSET: MAKE/MODEL - AS SELECTED BY OWNER<br>WATER CLOSET STALLS SHALL BE LOCATED IN A SPACE NOT LESS THAN 30" CLEAR WIDTH AND SHALL HAVE A CLEAR SPACE IN FRONT OF THE WATER CLOSET STOOL NOT LESS THAN 24" U.N.O. WATER USAGE: < 1.28 GAL/FLUSH  |

**ADDITIONAL FLOOR PLAN NOTES:**

- CONTRACTOR SHALL COORDINATE EQUIPMENT, UTILITIES, AND SIZE WITH CASEWORK FABRICATOR AND SUB-CONTRACTORS. ALL REQUIRED UTILITIES PER MANUFACTURERS INSTRUCTIONS SHALL BE ROUTED BY A LICENSED PROFESSIONAL.
- MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR LISTED APPLIANCES SHALL BE AVAILABLE TO THE FIELD INSPECTOR AT THE TIME OF INSPECTIONS PER 2019 CRC SEC. R106.1.2.
- WATER-RESISTANT GYPSUM BOARD SHALL NOT BE INSTALLED OVER CLASS I OR II VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT AND SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY PER 2019 CRC SEC. R702.3.8 & R702.3.8.1
- GLAZING IN AREAS SUBJECT TO HUMAN IMPACT SHALL BE OF SAFETY GLAZING MATERIALS SUCH AS WIRED GLASS, LAMINATED GLASS, TEMPERED GLASS, OR SAFETY PLASTIC AND TESTED IN ACCORDANCE WITH CPSC 16 AND CFR 1201. SEC. R308.3, CRC.
- ALL WASTE VENTING SHALL BE PLACED MORE THAN 10' FROM, OR NOT LESS THAN 3' ABOVE, AN OPERABLE WINDOW, DOOR, OPENING, AIR INTAKE, OR VENT SHAFT, OR NOT LESS THAN 3' IN EVERY DIRECTION FROM A LOT LINE, ALLEY AND STREET EXCEPTED.
- KITCHEN TO HAVE A DEDICATED EXHAUST FAN TO THE OUTSIDE. IF EQUIPPED WITH INTERMITTENT OPERATED EXHAUST FAN, MINIMUM 100 CFMINS IS REQUIRED. IF EQUIPPED WITH CONTINUOUSLY OPERATED EXHAUST FAN AT 5 AIR CHANGES PER HOUR. THE RANGE HOOD OVER STOVE MAY COMPLY WITH VENTED TO OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM.

**LEGEND: DIMENSIONS**

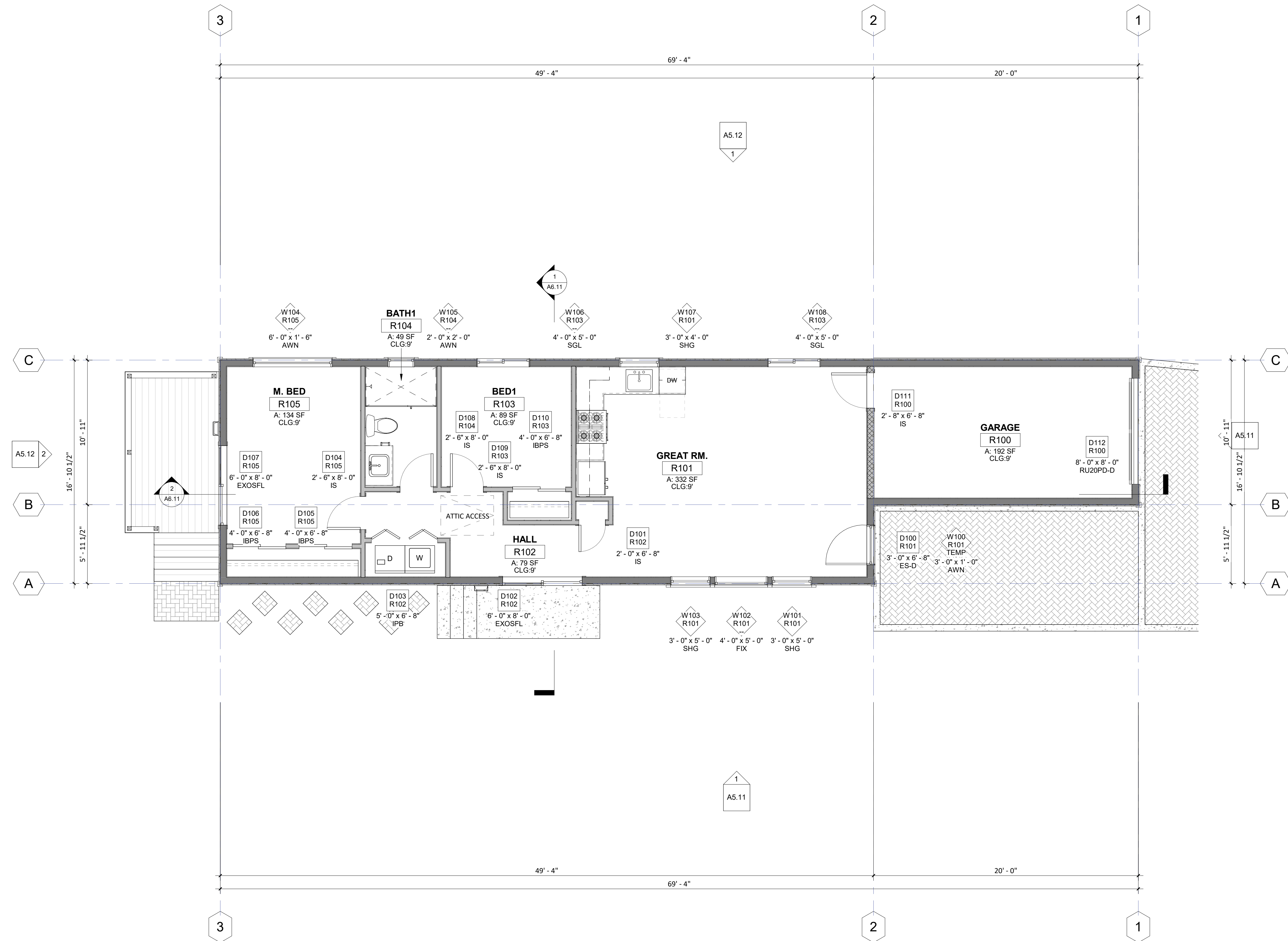
|  |  |
|--|--|
|  | ROOM SYMBOL: ROOM NAME, ROOM NUMBER, NET AREA, CEILING HEIGHT, AND LENGTH BY WIDTH MEASUREMENTS.   |
|  | DOOR SYMBOL: DOOR NUMBER, ROOM NUMBER, DOOR SIZE, STYLE, AND COMMENTS.<br>DOOR NOTES:<br>1. DOORS NOT DIMENSIONED TO ARE CNTR LOCATED BETWEEN ADJ WALLS.<br>2. SEE SCHEDULE SHEETS FOR DOOR TYPES. |
|  | WINDOW SYMBOL: WINDOW NUMBER, ROOM NUMBER, WINDOW SIZE, STYLE, AND COMMENTS.<br>WINDOW NOTES:<br>1. SEE SCHEDULE SHEETS FOR WINDOW TYPES.  |

**LEGEND: FLOOR FINISH**

|  |   |
|--|---|
|  | CONCRETE: SEE SCHEDULES FOR ADDITIONAL INFORMATION.             |
|  | LAMINATE OR HARDWOOD: SEE SCHEDULES FOR ADDITIONAL INFORMATION. |

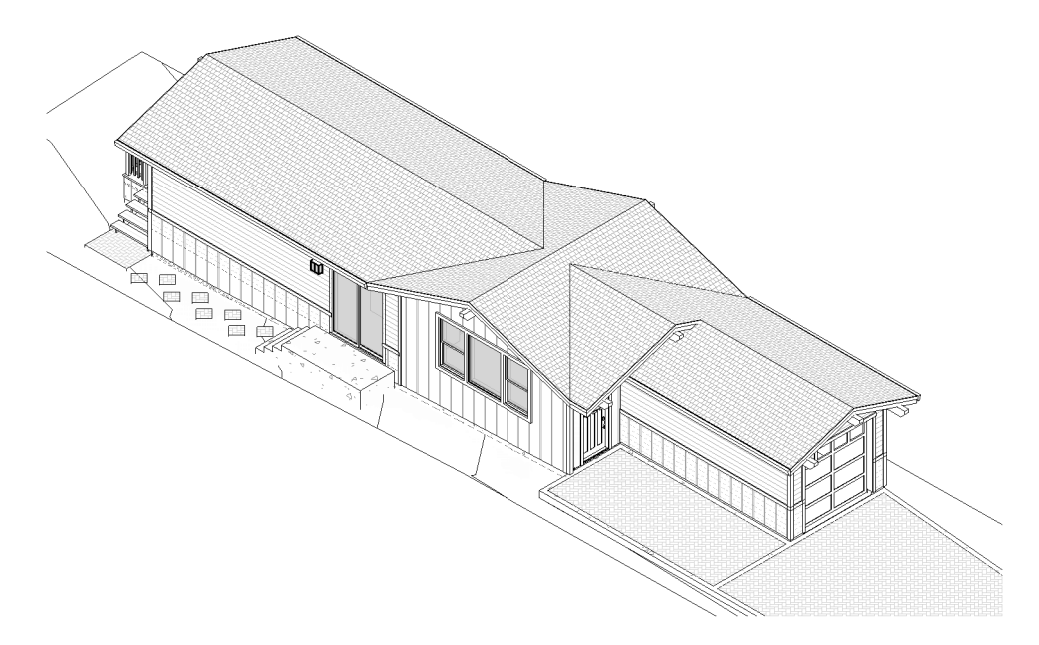
**NOTES: FLOOR FINISH**

- ANY AREAS WHERE WATER IS PRESENT FLOORING IS TO BE NON-ABSORBENT TILE OR VINYL FLOORING.



LEVEL-1 FLOOR PLAN  
1/4" = 1'-0"





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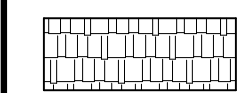


NEW SINGLE FAMILY RESIDENCE  
**FREITAS FAMILY**  
047-208-120 AVENUE PORTOLA,  
EL GRANADA, CA

TITLE:  
ROOF PLAN  
ISSUES:  
Project Issue Date:  
Project Status:  
Sheet Issue Date: 1/22/21  
Revision Number:  
Revision Date:

DESIGN REVIEW DRAWING  
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SHEET:  
**A3.11**  
SHEET: OF SHEETS

**LEGEND: ROOF PLAN**

-  ROOFING ASPHALT SHINGLES-1: CLASS "A" 15-YEAR (ARCHITECTURAL GRADE) ASPHALT COMPOSITION ROOFING OVER 2-LAYERS 30 LB FELT AND PLYWOOD SHEATHING. TYP. COLOR AND STYLE TBD.  
OVERHANG: 1'-0" TYP  
UNDERSIDE FINISH: TONGUE AND GROOVE BOARDS PAINT 3-COAT
-  ROOF FASCIA GUTTER-1: 5" HIGH X 4" DEEP X26 GA METAL FASCIA GUTTER PAINT 3-COAT. COLOR AND STYLE AS SELECTED BY OWNER. PROVIDE DOWNSPOUT AT EACH END OF GUTTER RUN UNLESS GUTTER TOTAL LINEAR LENGTH IS LESS THAN 15'-0" TYP, U.N.O.
-  ROOF VENT-1: O'HAGIN VENTILATION; 72 SQ. IN. TAPERED LOW PROFILE MODEL. COLOR AND STYLE TO MATCH ROOFING TILE.

**ATTIC VENTILATION CALCULATION**

| AREA | SQUARE FEET       |                            | SQUARE INCHES         |           |           |           |
|------|-------------------|----------------------------|-----------------------|-----------|-----------|-----------|
|      | REQ. NFVA (A/300) | REQ. NFVA IN SI (NFVA*144) | REQ. NFVA @ TOP & BOT | VENT NFVA | TOP VENTS | BOT VENTS |
|      |                   |                            |                       |           |           |           |

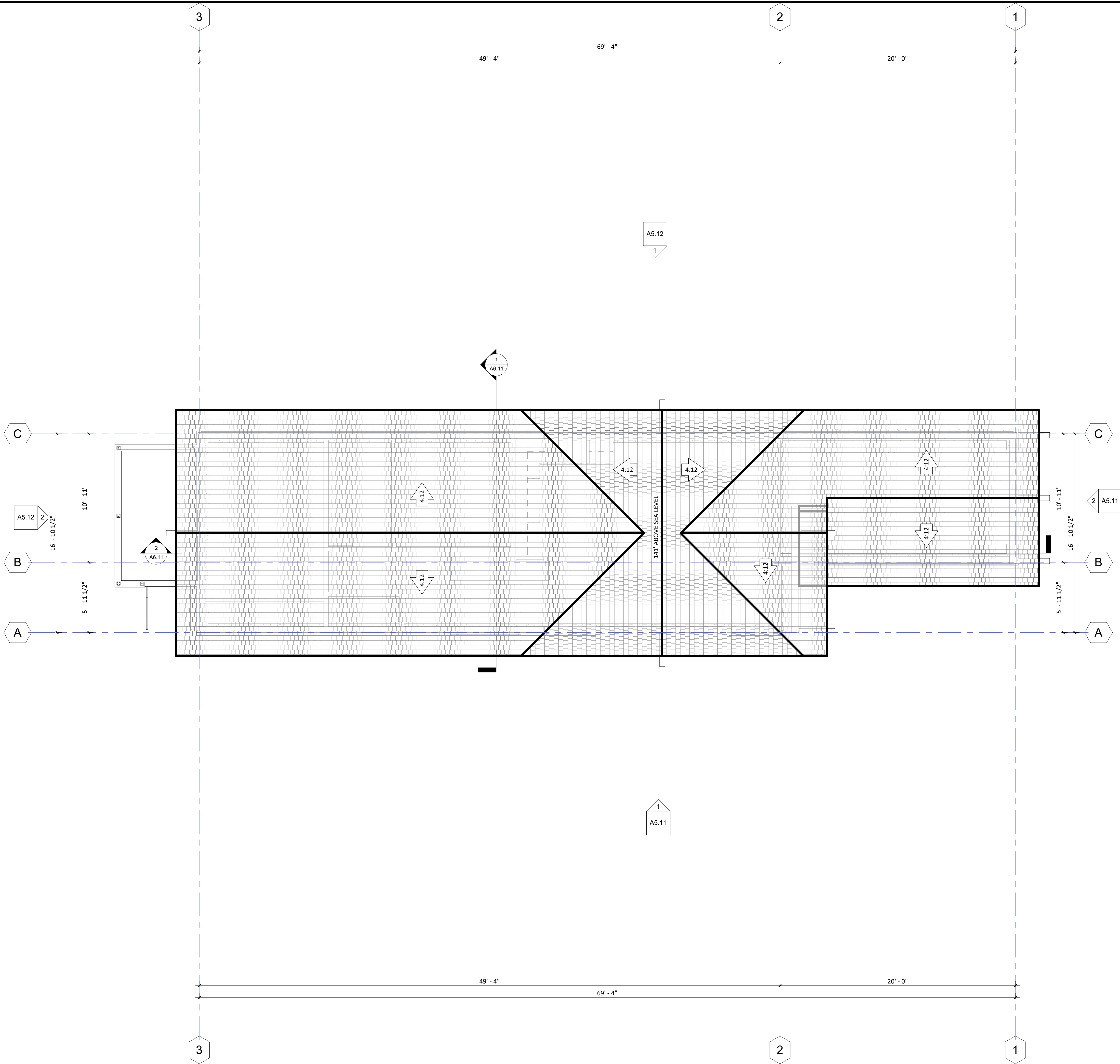
-USE 6 (XX) O'HAGIN ROOF VENTS (72 SQ. IN. NFVA EACH) LOCATED IN VIEW. 3 HIGH & 3 LOW.

**TRUSS SYSTEM NOTE:**

IF IT IS ELECTED THAT ROOF FRAMING IS A PREMANUFACTURED TRUSS SYSTEM, TRUSS MANUFACTURER AND CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS BEFORE BUILDING TRUSSES AND INSTALLING.  
  
SEAN FREITAS, ARCHITECT. LIMITS ITS RESPONSIBILITY TO INFORMATION REPRESENTED THEREIN AND THE INTENDED USE THEREOF AND ASSUMES NO RESPONSIBILITY FOR ACTUAL AS-BUILT CONDITIONS AND ACTUAL DIMENSIONS AS USED BY THE TRUSS MANUFACTURER.

**ADDITIONAL ROOF NOTES:**

1. ALL OPENINGS PERTAINING TO ATTIC VENTILATION SHALL BE COVERED IN 1/8" CORROSION RESISTANT, NON-COMBUSTIBLE METAL MESH. SEC. R806.2, CRC. U.N.O.
2. WHERE VALLEY FLASHING IS INSTALLED, ROOF VALLEYS SHALL BE NO. 26 GAUGE GALVANIZED SHEET METAL OVER MINIMUM 72 LB. CAP SHEET. SEC R327.5, CRC.
3. ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS. SEC. R327.5, CRC.
4. ROOF COVERING, WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS, BE FIRESTOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF NO. 72 ASTM CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING.
5. VENT AND ROOF STACKS SHALL PROJECT THE MINIMUM DISTANCE REQUIRED BY CODE. PAINT VENTS AND STACKS TO MATCH ROOF MATERIAL COLORS. LOCATED IN AREA LEAST VISIBLE FROM STREET AND CONCEAL IN DORMER VENTS WHENEVER POSSIBLE.
6. ALL VENTS AND ROOF STACKS TO HAVE RAIN PROTECTION CAPS WHERE POSSIBLE.



## ROOM NOTES

- ALL INTERIOR WALL/CEILING FINISHES SELECTED BY OWNER, U.N.O. ON FLOOR PLAN SHEET.
- GARAGE FLOOR SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. R309.1
- GARAGE CEILING: **BASE LAYER** 5/8" TYPE X GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO 2X10 WOOD JOISTS W/ 1 1/4" TYPE W OR S DRYWALL SCREWS @ 16" O.C. **FACE LAYER** 5/8" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED AT RIGHT ANGLES TO JOISTS W/ 1 7/8" TYPE W OR S DRYWALL SCREWS 12" O.C. AND INTERMEDIATE JOISTS AND 1 1/2" TYPE G DRYWALL SCREWS 12" O.C. PLACED 2" BACK ON EITHER SIDE OF END JOISTS. JOISTS OFFSET 16" FROM BASE LAYER JOISTS. WOOD SUPPORTS 1/2" MIN PLYWOOD WITH EXTERIOR GLUE APPLIED AT RIGHT ANGLES TO JOISTS W/ 8d NAILS.
- GARAGE WALLS: ONE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE OF 2X4 WOOD STUDS 24" O.C. WITH 6d COATED NAILS, 1 7/8" LONG, 0.0915" SHANK, 1/4" HEADS, 7" O.C.

## DOOR NOTES

- ALL EXTERIOR DOORS TO BE PROPERLY WEATHERPROOFED WHEN INSTALLING.
- FIRE RATED DOORS ARE TO BE SOLID CORE 1-3/8" THICK OR 20-MIN FIRE RATED W/ SELF-CLOSING DEVISE.
- LOUVERED DOOR SHALL PROVIDE A MIN. OPENING OF 100 SQ. IN. FOR MAKE-UP AIR. CMC 504.4.1
- DOOR FLASHING SHALL BE IN ACCORDANCE WITH CRC 703.4.
- GC TO COORDINATE SUBMITTAL & FIELD VERIFY ROUGH OPENING SIZES PRIOR TO PURCHASE.
- FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS SHALL CONTAIN A SAFETY GLAZING PER CBC 2406.4

## WINDOW NOTES

- ALL WINDOWS TO BE PROPERLY WEATHERPROOFED WHEN INSTALLING.
- WINDOW FLASHING SHALL BE IN ACCORDANCE WITH CRC 703.4.
- GC TO COORDINATE SUBMITTAL & FIELD VERIFY ROUGH OPENING SIZES PRIOR TO PURCHASE.
- SASHES NOTED AS EGRESS, EMERGENCY ESCAPE AND RESCUE OPENINGS, SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20". OPENING SHALL HAVE THE FINISHED SILL HEIGHT NOT GREATER THAN 44" ABOVE FINISHED FLOOR.
- SAFETY GLAZING IS REQUIRED AT LOCATIONS WHERE BOTTOM EDGE OF WINDOW IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET IN A BUILDING WALL WHICH ENCLOSES A TUB OR SHOWER PER CBC 2406.4.5.

## ROOM SCHEDULE

| ROOM NO.   | ROOM NAME | CEILING | ROOM SIZE (VIF) |          | NET AREA | REMARKS |
|------------|-----------|---------|-----------------|----------|----------|---------|
|            |           | CLG HT  | WIDTH           | LENGTH   |          |         |
| LEVEL-1 FF |           |         |                 |          |          |         |
| 100        | GARAGE    | 9'      | 9' - 11"        | 19' - 5" | 192 SF   |         |
| 101        | GREAT RM. | 9'      | 13' - 7"        | 24' - 5" | 332 SF   |         |
| 102        | HALL      | 9'      | 3' - 9"         | 21' - 2" | 79 SF    |         |
| 103        | BED1      | 9'      | 9' - 1"         | 9' - 9"  | 89 SF    |         |
| 104        | BATH1     | 9'      | 5' - 4"         | 9' - 1"  | 49 SF    |         |
| 105        | M. BED    | 9'      | 10' - 1"        | 13' - 4" | 134 SF   |         |

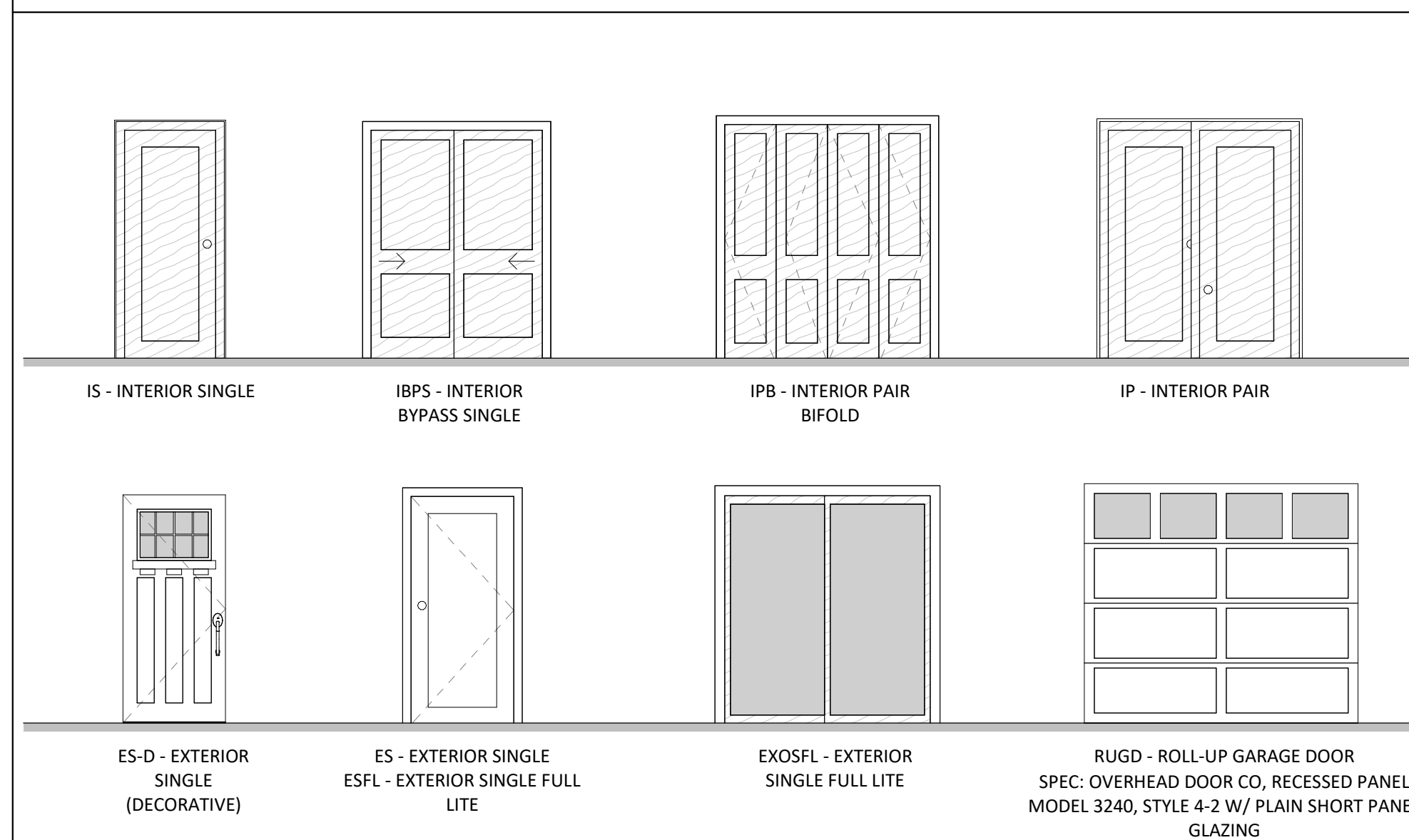
## DOOR SCHEDULE

| DOOR NO.   | ROOM NO. | WIDTH   | HEIGHT  | TYPE     | STYLE       | NOTES |
|------------|----------|---------|---------|----------|-------------|-------|
| GARAGE FF  |          |         |         |          |             |       |
| 112        | 100      | 8' - 0" | 8' - 0" | RU20PD-D |             |       |
| LEVEL-1 FF |          |         |         |          |             |       |
| 100        | 101      | 3' - 0" | 6' - 8" | ES-D     | DECORATIVE  |       |
| 101        | 102      | 2' - 0" | 6' - 8" | IS       |             |       |
| 102        | 102      | 6' - 0" | 8' - 0" | EXOSFL   |             |       |
| 103        | 102      | 5' - 0" | 6' - 8" | IPB      |             |       |
| 104        | 105      | 2' - 6" | 8' - 0" | IS       |             |       |
| 105        | 105      | 4' - 0" | 6' - 8" | IBPS     |             |       |
| 106        | 105      | 4' - 0" | 6' - 8" | IBPS     |             |       |
| 107        | 105      | 6' - 0" | 8' - 0" | EXOSFL   |             |       |
| 108        | 104      | 2' - 6" | 8' - 0" | IS       |             |       |
| 109        | 103      | 2' - 6" | 8' - 0" | IS       |             |       |
| 110        | 103      | 4' - 0" | 6' - 8" | IBPS     |             |       |
| 111        | 100      | 2' - 8" | 6' - 8" | IS       | THREE PANEL |       |

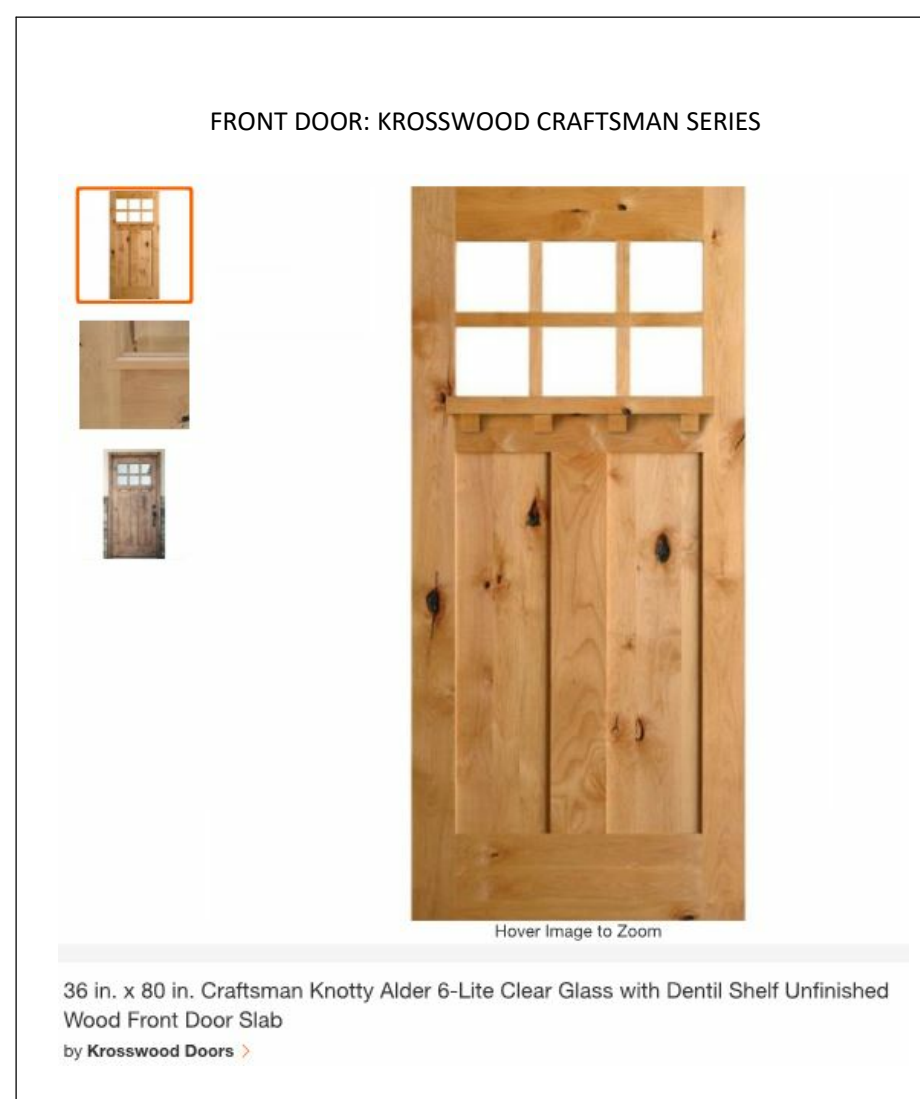
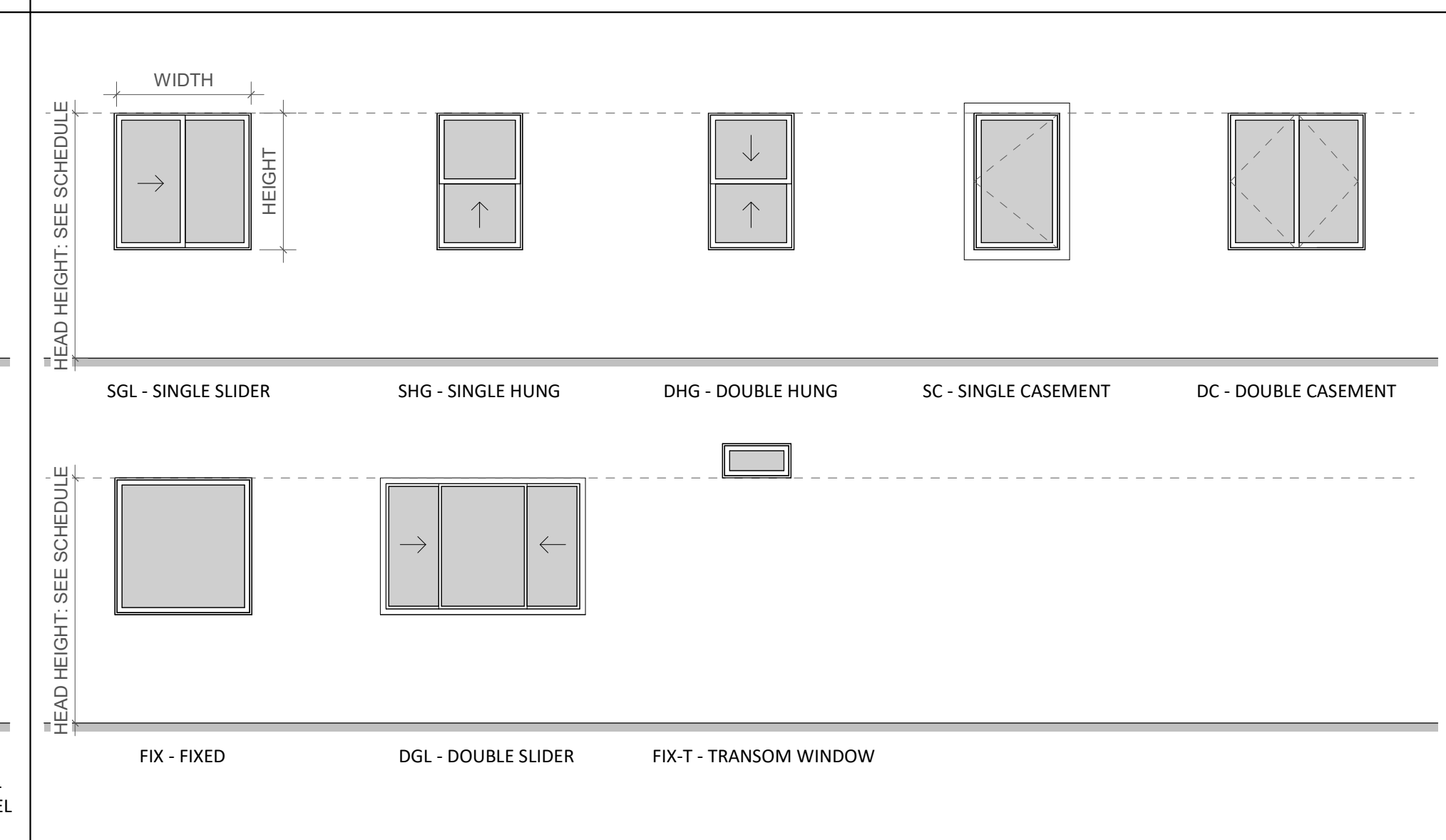
## WINDOW SCHEDULE

| WINDOW NO. | ROOM NO. | WINDOW (VERIFY ROUGH OPENING W/ MANF) |         |         |      | HEAD HEIGHT | NOTES |
|------------|----------|---------------------------------------|---------|---------|------|-------------|-------|
|            |          | WIDTH                                 | HEIGHT  | GLAZING | TYPE |             |       |
| LEVEL-1 FF |          |                                       |         |         |      |             |       |
| 100        | 101      | 3' - 0"                               | 1' - 0" | TEMP    | AWN  | 7' - 8"     |       |
| 101        | 101      | 3' - 0"                               | 5' - 0" |         | SHG  | 8' - 0"     |       |
| 102        | 101      | 4' - 0"                               | 5' - 0" | --      | FIX  | 8' - 0"     |       |
| 103        | 101      | 3' - 0"                               | 5' - 0" |         | SHG  | 8' - 0"     |       |
| 104        | 105      | 6' - 0"                               | 1' - 6" | --      | AWN  | 8' - 0"     |       |
| 105        | 104      | 2' - 0"                               | 2' - 0" | --      | AWN  | 8' - 0"     |       |
| 106        | 103      | 4' - 0"                               | 5' - 0" | --      | SGL  | 8' - 0"     |       |
| 107        | 101      | 3' - 0"                               | 4' - 0" |         | SHG  | 8' - 0"     |       |
| 108        | 103      | 4' - 0"                               | 5' - 0" | --      | SGL  | 8' - 0"     |       |

## DOOR TYPES



## WINDOW TYPES



GRAPHIA  
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& ENGINEERING

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PROJECT: 20190110

FREITAS FAMILY  
KATHLEEN FREITAS  
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NEW SINGLE FAMILY RESIDENCE  
FREITAS FAMILY  
047-208-120 AVENUE PORTOLA,  
EL GRANADA, CA

TITLE:  
SCHEDULES  
ISSUES:  
Project Issue Date:  
Project Status:  
Sheet Issue Date:  
Revision Number:  
Revision Date: 1/22/21

DESIGN REVIEW DRAWING



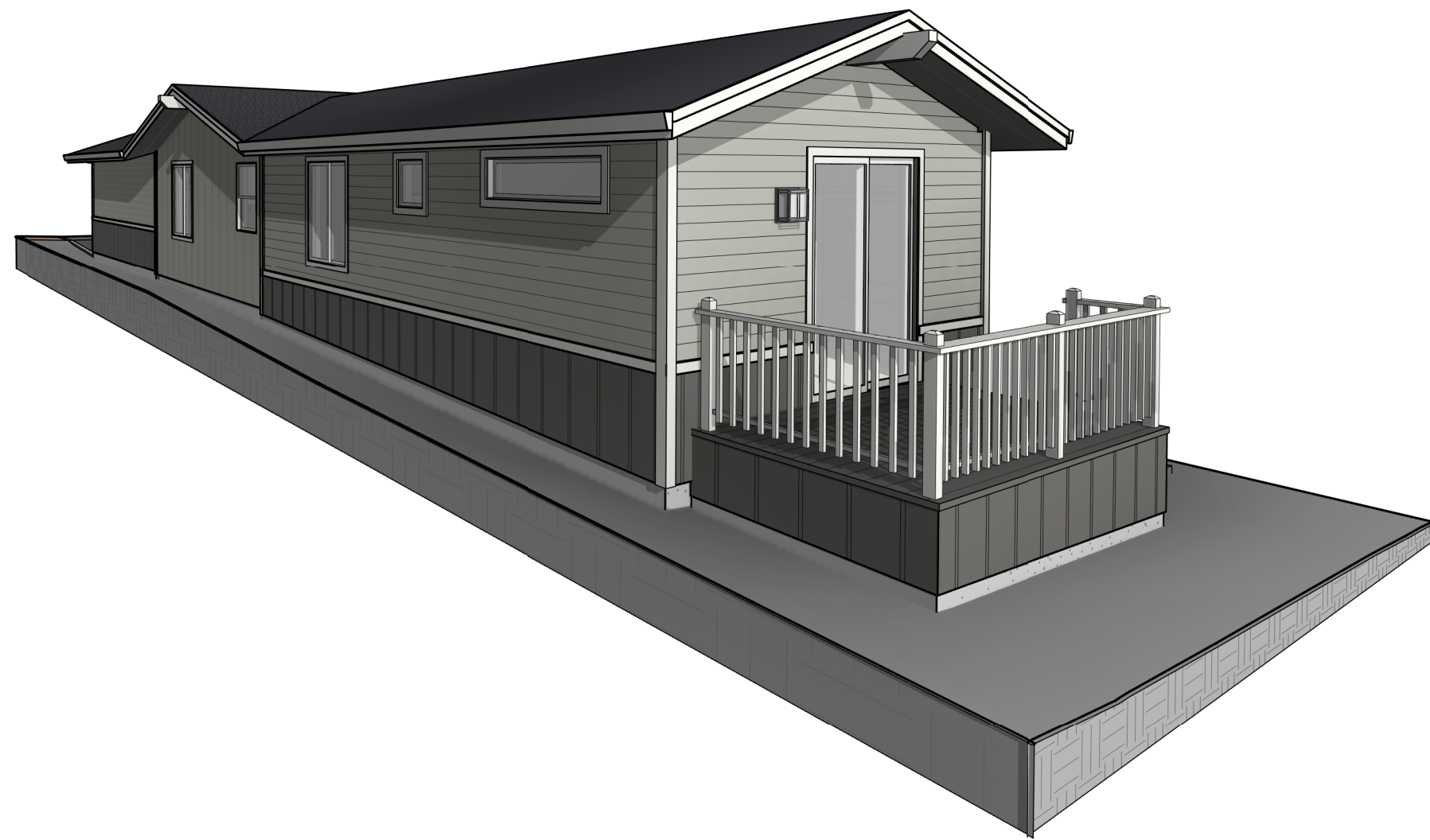
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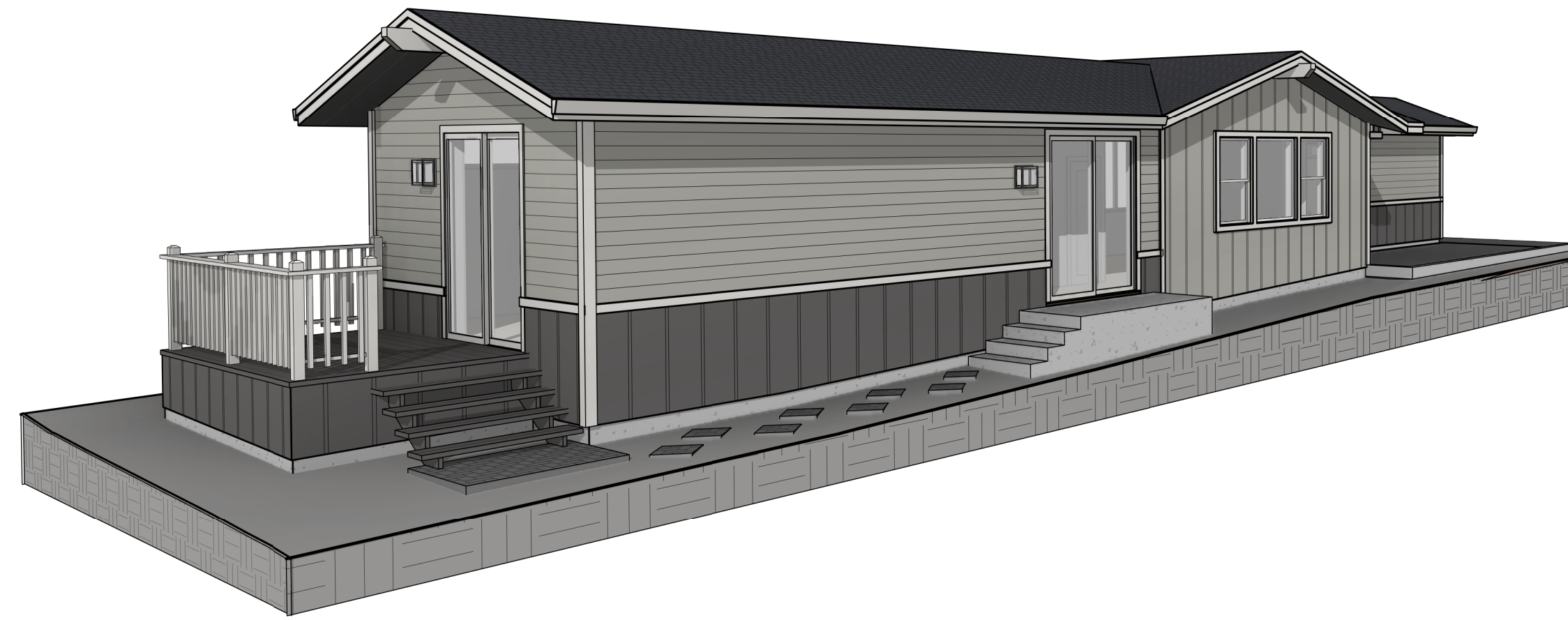
**A4.11**

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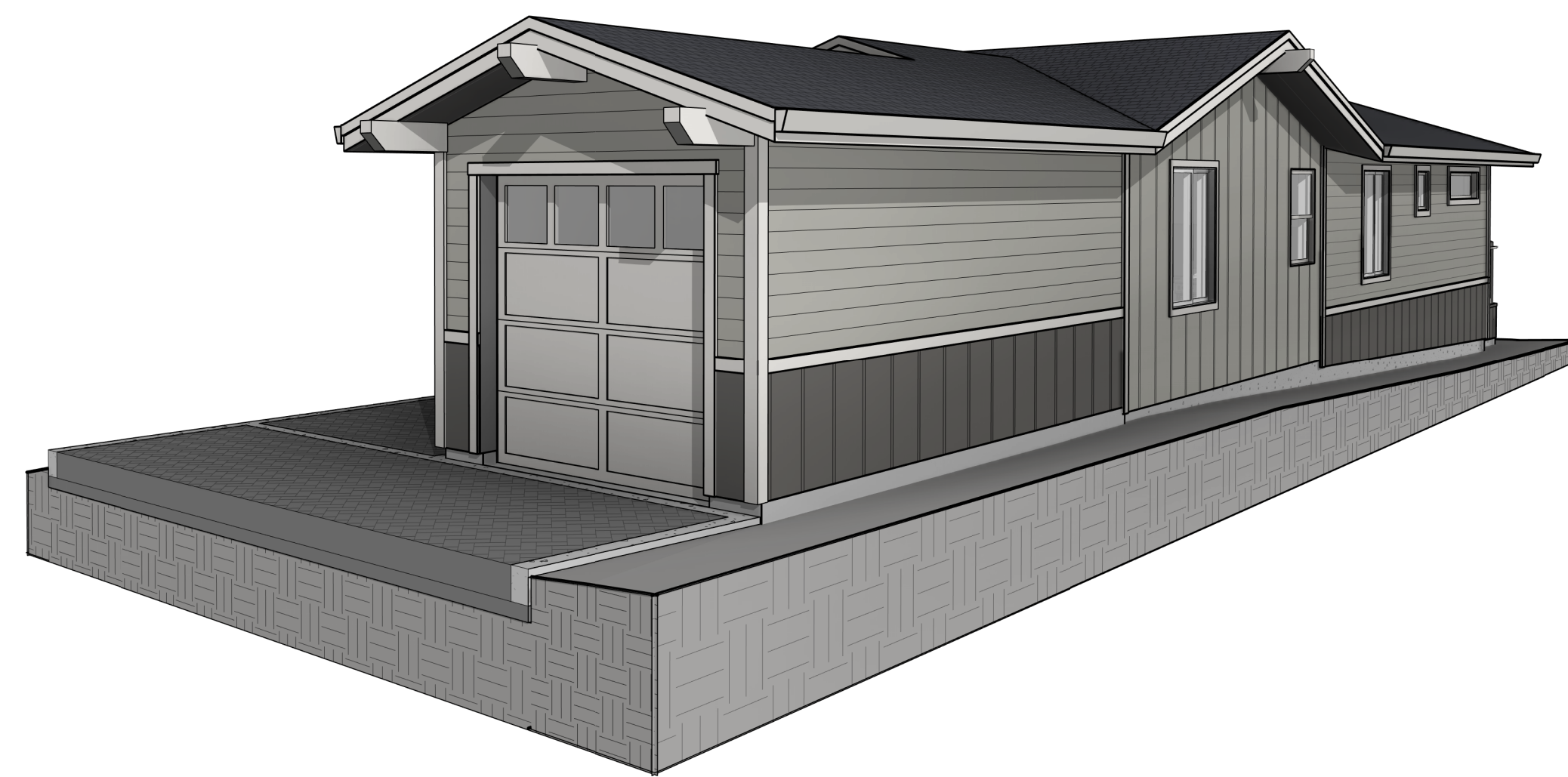




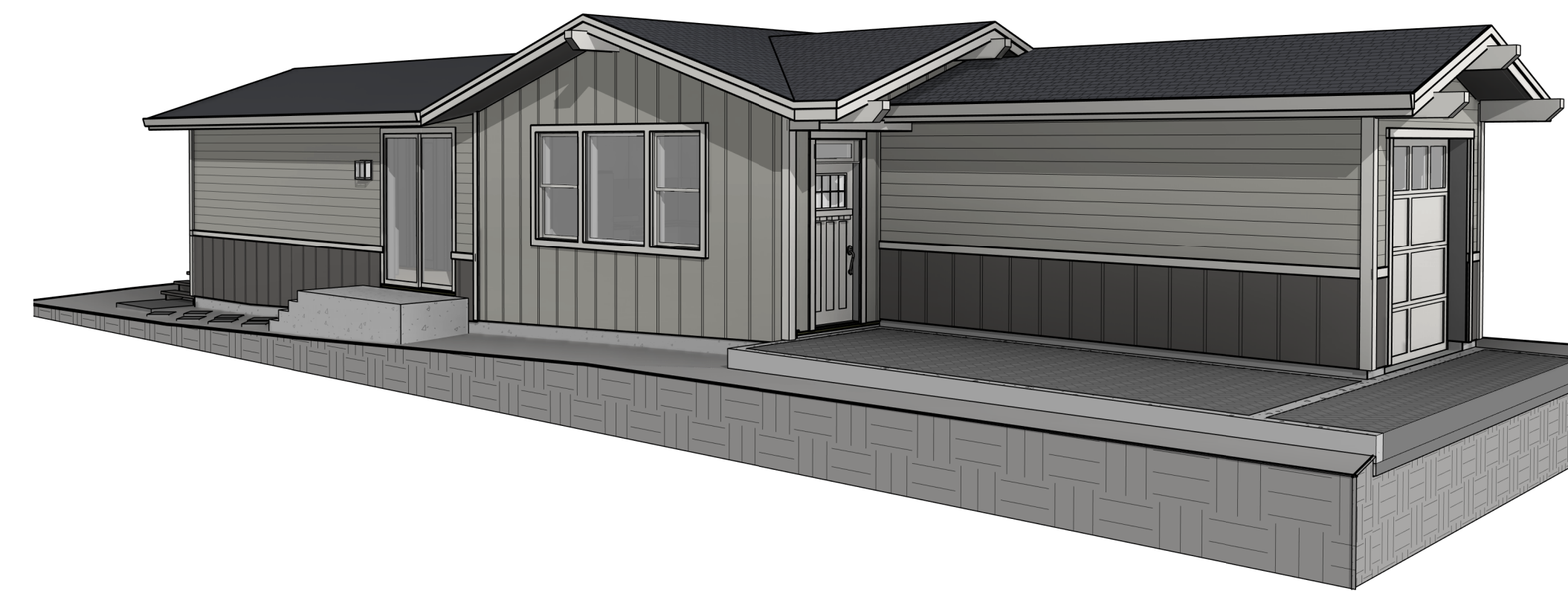
VIEW 4 4



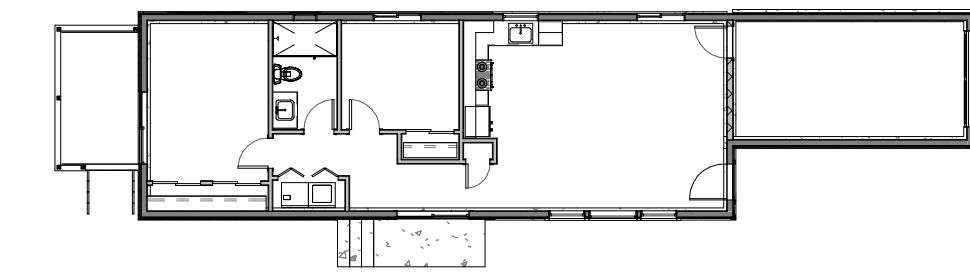
VIEW 2 2



VIEW 3 3



VIEW 1 1



**LEGEND: ELEVATIONS EXTERIOR**

- CLASS "A" ASPHALT SHINGLES: SEE ROOF PLAN FOR ADDITIONAL INFORMATION
- ROOF FASCIA GUTTER-1: SEE ROOF PLAN FOR ADDITIONAL INFORMATION
- LAP SIDING: HARDIE PLANK FIBER CEMENT LAP SIDING (CEDARMILL) OVER 2-LAYERS OF GRADE D BUILDING PAPER AND 3/8" MIN. OSB SHEATHING. COLOR: SEE ELEVATIONS.  
2X4 TRIM OVER 1X SPACER, KEY FOR STUCCO: PAINT 3-COAT TRIM.
- BOARD & BATTEN SIDING: HARDIE VERTICAL SIDING (CEDARMILL) W/ BATTEN @ 16" O.C. OVER 2-LAYERS OF GRADE D BUILDING PAPER AND 3/8" MIN. OSB SHEATHING. COLOR: SEE ELEVATIONS
- WINDOWS-1: MAKE/MODEL - AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.  
FRAME: VINYL - COLOR: CLAY  
GRID PATTERN: 2X1 UPPER PANEL  
2X4 TRIM & SHUTTERS WHERE OCCURS: PAINT 3-COAT AS SELECTED BY OWNER.

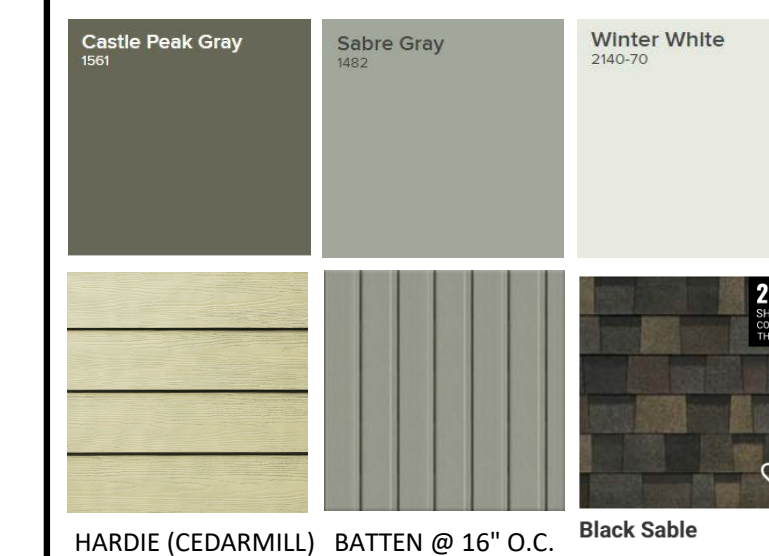
- DOORS-1: MAKE/MODEL - (SBO) SLIDING GLASS DOOR. CAULK & FLASH ALL EXTERIOR JOINTS (TYP) PER MANUFACTURER'S SPECIFICATIONS.  
FRAME: VINYL - COLOR: CLAY  
2X4 TRIM WHERE OCCURS: PAINT 3-COAT AS SHOWN ON ELEVATIONS

- DOORS-1: MAKE/MODEL AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.  
2X4 TRIM WHERE OCCURS: PAINT 3-COAT AS SHOWN ON ELEVATIONS  
PANEL STYLE: THREE-PANEL SMOOTH OR AS SELECTED BY OWNER.

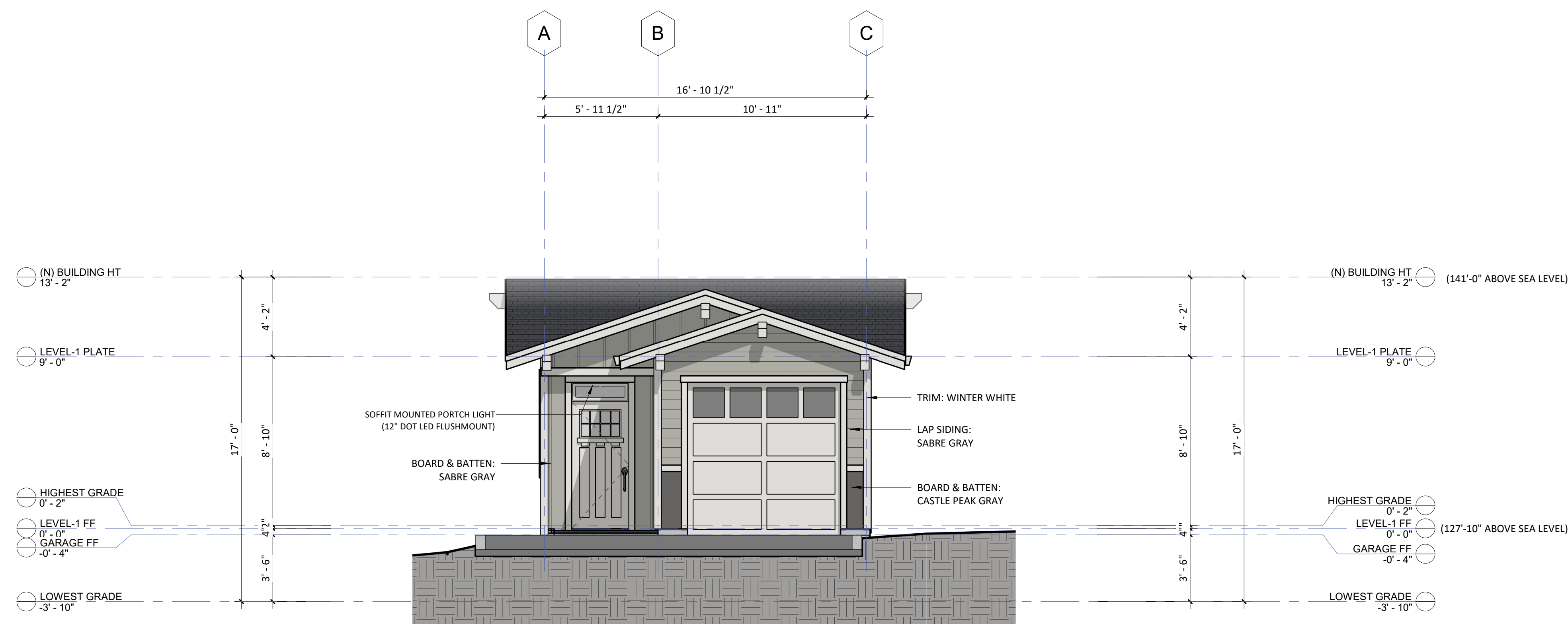
**ADDITIONAL ELEVATION NOTES:**

1. ADDRESS NUMBERS WITH CONTRASTING BACKGROUND SHALL BE CLEARLY VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY. ADDRESS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH.
2. GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
3. INSTALL ALL PRE-MANUFACTURED MATERIALS PER MANUFACTURERS REQUIREMENTS, RECOMMENDATIONS AND SPECIFICATIONS. INSTALLATION REQUIREMENTS TO BE PROVIDED BY BUILDER.
4. ALL FOAM TRIM IS ATTACHED WITH AN ACRYLIC BASED GLUE.
5. EXTERIOR PORCH CEILINGS SHALL BE NON-COMBUSTIBLE MATERIAL, IGNITION RESISTANT MATERIAL OR ONE LAYER OF 5/8" TYPE X EXTERIOR RATED GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE PORCH CEILING.
6. FLOOR PROJECTIONS SHALL BE NON-COMBUSTIBLE MATERIAL, IGNITION RESISTANT MATERIAL OR ONE LAYER OF 5/8" TYPE X EXTERIOR RATED GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE FLOOR PROJECTION.
7. DECKING SHALL BE 1-1/4 INCH MINIMUM THICKNESS SOLID WOOD OR A PRODUCT APPROVED BY OSFM BLM.
8. PROVIDE MECHANICAL AND GRAVITY OUTDOOR AIR INTAKE OPENINGS PER 2019 CRC SECTION R303.5.1.

**MATERIALS:**







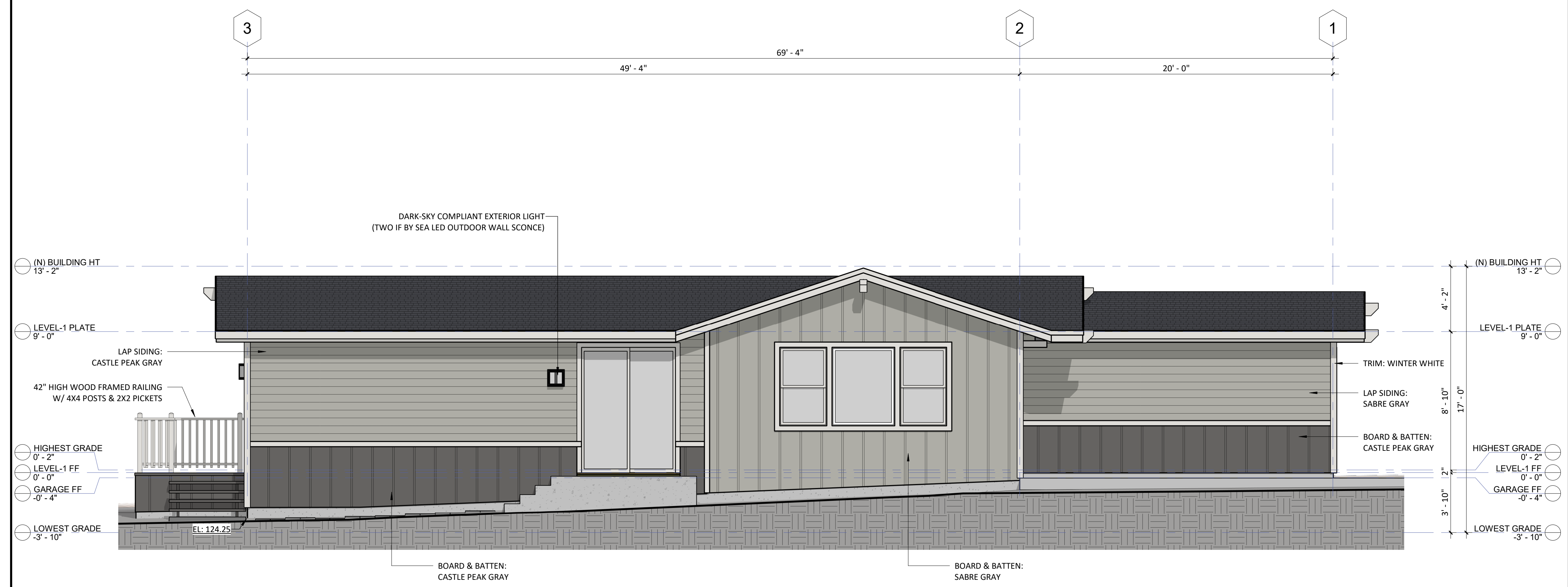
S/EAST FACING  
1/4" = 1'-0" 2

- LEGEND: ELEVATIONS EXTERIOR**
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  - WINDOWS-1: MAKE/MODEL - AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
  - FRAME: VINYL - COLOR: CLAY
  - GRID PATTERN: 2X1 UPPER PANEL
  - 2X4 TRIM & SHUTTERS WHERE OCCURS: PAINT 3-COAT AS SELECTED BY OWNER.
  - DOORS-1: MAKE/MODEL - (SBO) SLIDING GLASS DOOR. CAULK & FLASH ALL EXTERIOR JOINTS (TYP) PER MANUFACTURER'S SPECIFICATIONS.
  - FRAME: VINYL - COLOR: CLAY
  - 2X4 TRIM WHERE OCCURS: PAINT 3-COAT AS SHOWN ON ELEVATIONS
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  - PANEL STYLE: THREE-PANEL SMOOTH OR AS SELECTED BY OWNER.

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  - PROVIDE MECHANICAL AND GRAVITY OUTDOOR AIR INTAKE OPENINGS PER 2019 CRC SECTION R303.5.1.

**MATERIALS:**

|                             |                       |                         |
|-----------------------------|-----------------------|-------------------------|
| Castle Peak Gray<br>2160-70 | Sabre Gray<br>2160-70 | Winter White<br>2160-70 |
| HARDIE (CEDARMILL)          | BATTEN @ 16" O.C.     | Black Sable             |



S/WEST FACING  
1/4" = 1'-0" 1

**GRAPHIA**  
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Email: sean@graphia.com

NEW SINGLE FAMILY RESIDENCE  
**FREITAS FAMILY**  
047-208-120 AVENUE PORTOLA,  
EL GRANADA, CA

TITLE:  
ELEVATIONS

ISSUES:  
Project Issue Date:  
Project Status:  
Sheet Issue Date:  
Revision Number:  
Revision Date:

DESIGN REVIEW DRAWING

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SHEET:  
**A5.11**  
SHEET OF SHEETS



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**A5.12**  
SHEET: OF SHEETS

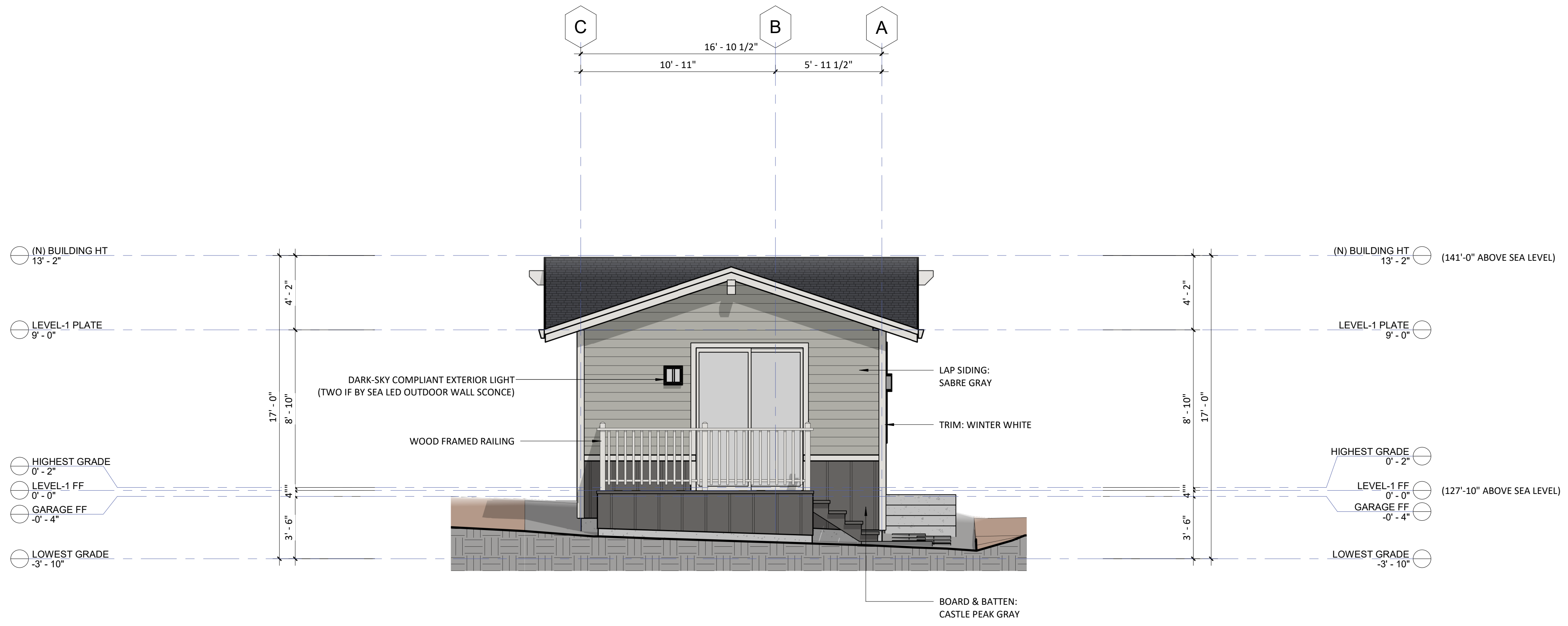
**LEGEND: ELEVATIONS EXTERIOR**

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FRAME: VINYL - COLOR: CLAY  
GRID PATTERN: 2X1 UPPER PANEL  
2X4 TRIM & SHUTTERS WHERE OCCURS: PAINT 3-COAT AS SELECTED BY OWNER.
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PANEL STYLE: THREE-PANEL SMOOTH OR AS SELECTED BY OWNER.

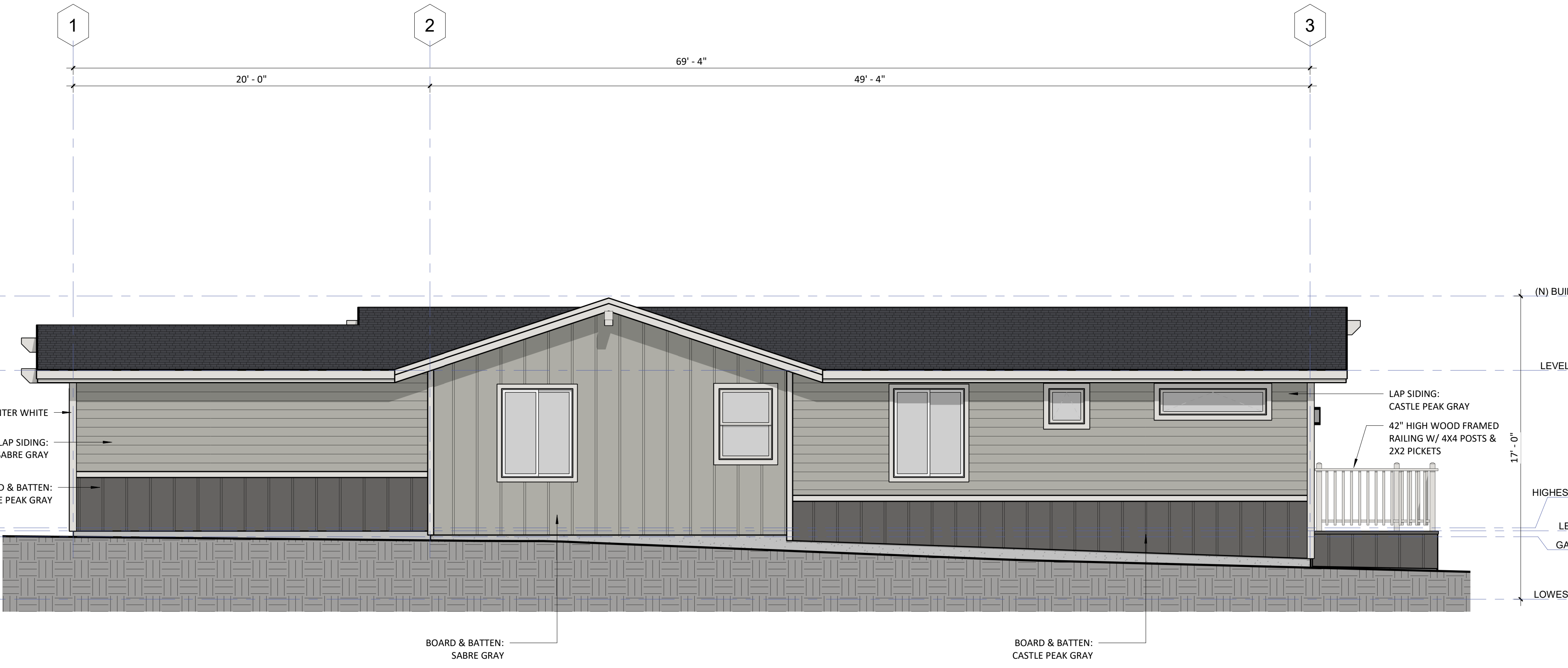
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  - PROVIDE MECHANICAL AND GRAVITY OUTDOOR AIR INTAKE OPENINGS PER 2019 CRC SECTION R303.5.1.

**MATERIALS:**

|                          |                    |                         |
|--------------------------|--------------------|-------------------------|
| Castle Peak Gray<br>1611 | Sabre Gray<br>2402 | Winter White<br>2403/24 |
| HARDIE (CEDARMILL)       | BATTEN @ 16" O.C.  | Black Sabre             |



N/WEST FACING  
1/4" = 1'-0" 2



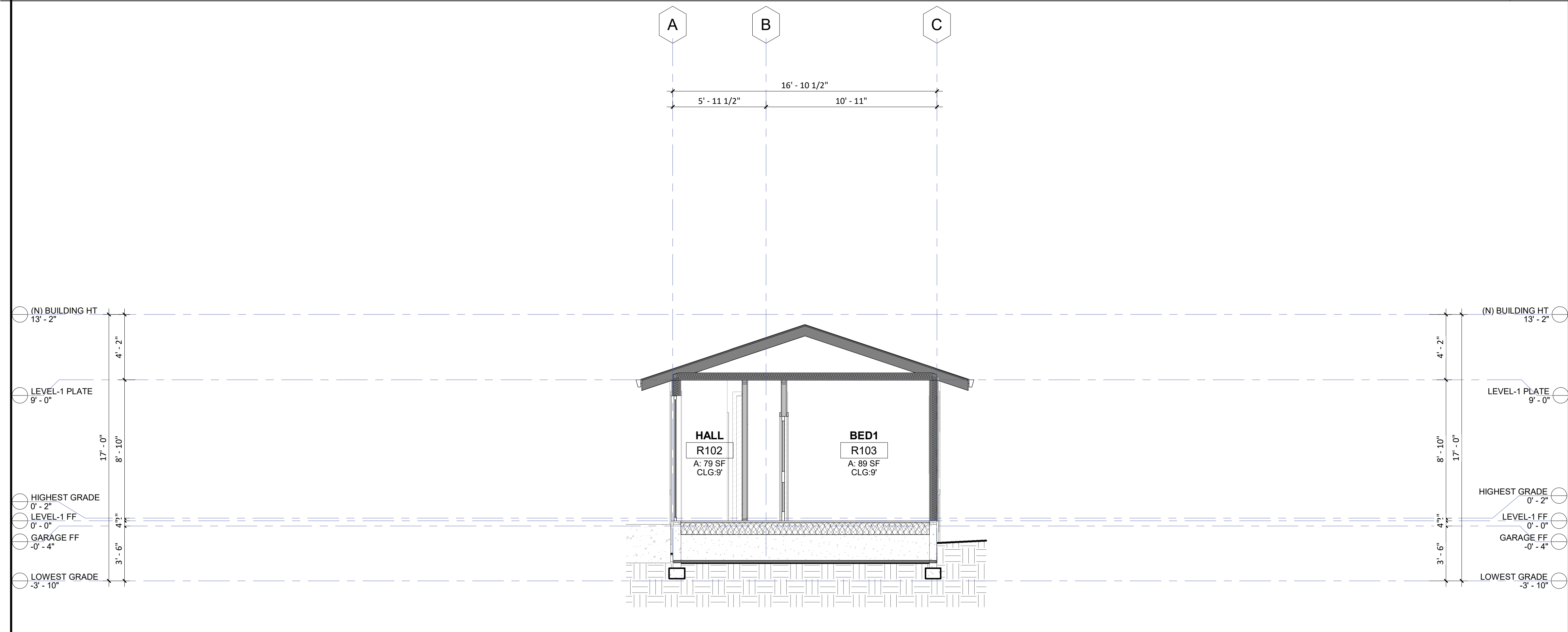
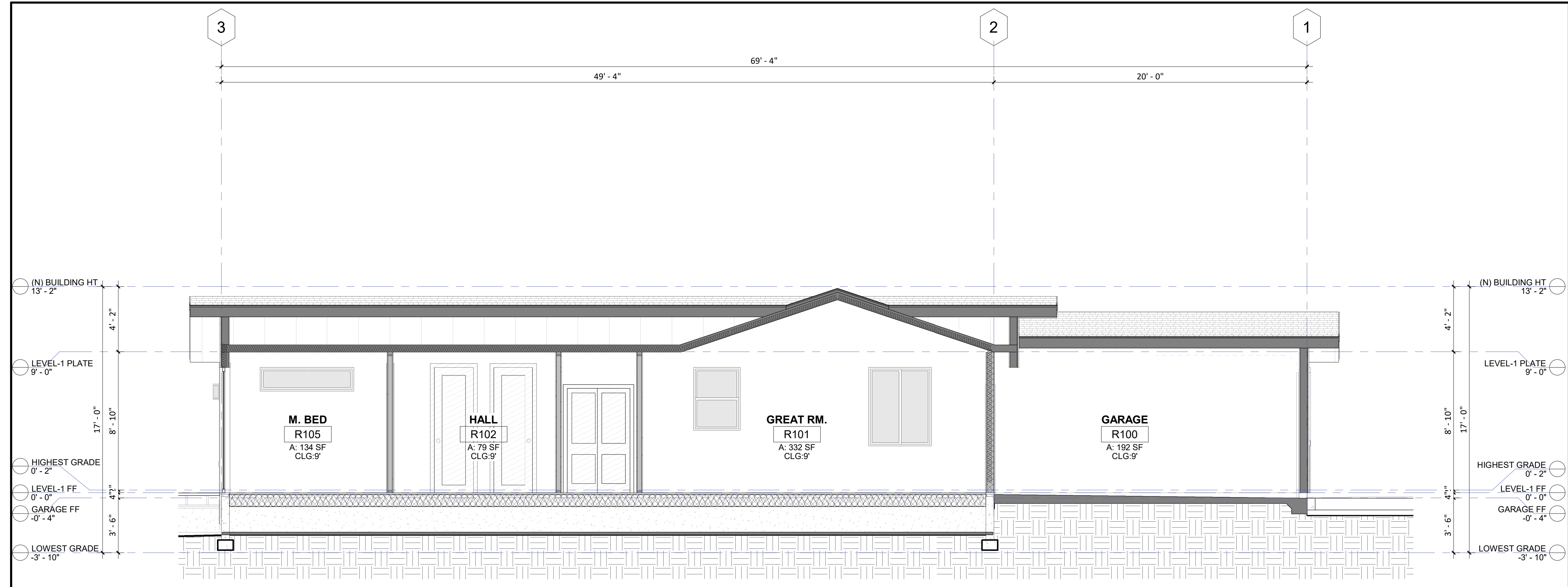
N/EAST FACING  
1/4" = 1'-0" 1

**LEGEND: BUILDING SECTION**

IF SELECTED, EXTERIOR WALL INSULATION: R-15 INSULATION AT ALL 2X4 EXTERIOR WALL CAVITIES, TYP.

IF SELECTED, EXTERIOR WALL INSULATION: R-19 INSULATION AT ALL 2X6 EXTERIOR WALL CAVITIES, TYP.

IF SELECTED, EXTERIOR ROOF/CEILING INSULATION: R-38 BATT INSULATION AT ALL EXTERIOR ROOF AND/OR CEILING CAVITIES, TYP.



Section 2  
1/4" = 1'-0" 2

Section 1  
1/4" = 1'-0" 1



**Dot LED Flushmount**  
By dweLED



**Product Options**

Finish: Stainless Steel, Black  
Size: 6 inches, 9 inches, 12 inches, 15 inches  
Color Temperature: 3000, 3500

**Details**

- May be mounted on ceiling or wall
- No transformer or driver needed
- Dimmable with an ELV dimmer (not included)
- Designed in 2018
- Material: Stainless Steel
- Shade Material: Clear Acrylic
- Dimmable When Used With a Electronic low voltage (ELV) Dimmer (Not Included)
- Dimmer Range: 100-10
- ADA compliant, Dark Sky compliant, Title 24 compliant
- ETL Listed Wet
- Warranty: 5 Years Functional, 2 Years Finish
- Made In China

**Dimensions**

6 inches Option Fixture: Height 2.5", Diameter 6"  
9 inches Option Fixture: Height 2.5", Diameter 9"  
12 inches Option Fixture: Height 2.5", Diameter 12"  
15 inches Option Fixture: Height 2.5", Diameter 15"

**Lighting**

- 6 inches Option: 15.6 Watt (1300 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3000K Lifespan: 54000 hours
- 6 inches Option: 15.6 Watt (1300 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3500K Lifespan: 54000 hours
- 9 inches Option: 18.5 Watt (1700 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3000K Lifespan: 54000 hours
- 9 inches Option: 18.5 Watt (1700 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3500K Lifespan: 54000 hours
- 12 inches Option: 30.9 Watt (2650 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3000K Lifespan: 54000 hours
- 12 inches Option: 30.9 Watt (2650 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3500K Lifespan: 54000 hours
- 15 inches Option: 26.6 Watt (2728 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3000K Lifespan: 54000 hours
- 15 inches Option: 26.6 Watt (2728 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3500K Lifespan: 54000 hours

**Additional Details**

Product URL: <https://www.lumens.com/dot-led-flushmount-by-dweled-WACP201432.html>  
Rating: ETL Listed Wet

Product ID: WACP201432

Prepared by: GADSF  
ASDF

Prepared for: ASDF  
Project: ASDF  
Room: ASDF  
Placement: ASDF  
Approval:



Created June 12th, 2020



Notes:



**Two If By Sea LED Outdoor Wall Sconce**  
By Modern Forms



**Product Options**

Size: Small, Large

**Details**

- Designed in 2019
- Finish: Black
- Material: Aluminum
- Shade Material: Glass
- Dimmable When Used With a Electronic low voltage (ELV) Dimmer (Not Included)
- Dimmer Range: 100 to 5%
- Dark Sky compliant, Title 24 compliant
- Installation Type: Hardwired
- ETL Listed Wet
- Warranty: 5 Years Functional, 2 Years Finish
- Made In USA

**Dimensions**

Small Option Fixture: Width 4.5", Height 11.87", Extension 5.81"  
Large Option Fixture: Width 6", Height 18", Extension 7.56"

**Lighting**

- Small Option: 15 Watt (916 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 50000 hours
- Large Option: 15 Watt (932 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 50000 hours

**Additional Details**

Product URL: <https://www.lumens.com/two-if-by-sea-led-outdoor-wall-sconce-by-modern-forms-MFMP281811.html>  
Rating: ETL Listed Wet

Product ID: MFMP281811

Prepared by: GADSF  
ASDF

Prepared for: ASDF  
Project: ASDF  
Room: ASDF  
Placement: ASDF  
Approval:



Created June 12th, 2020



Notes:



**GRAPHIA**  
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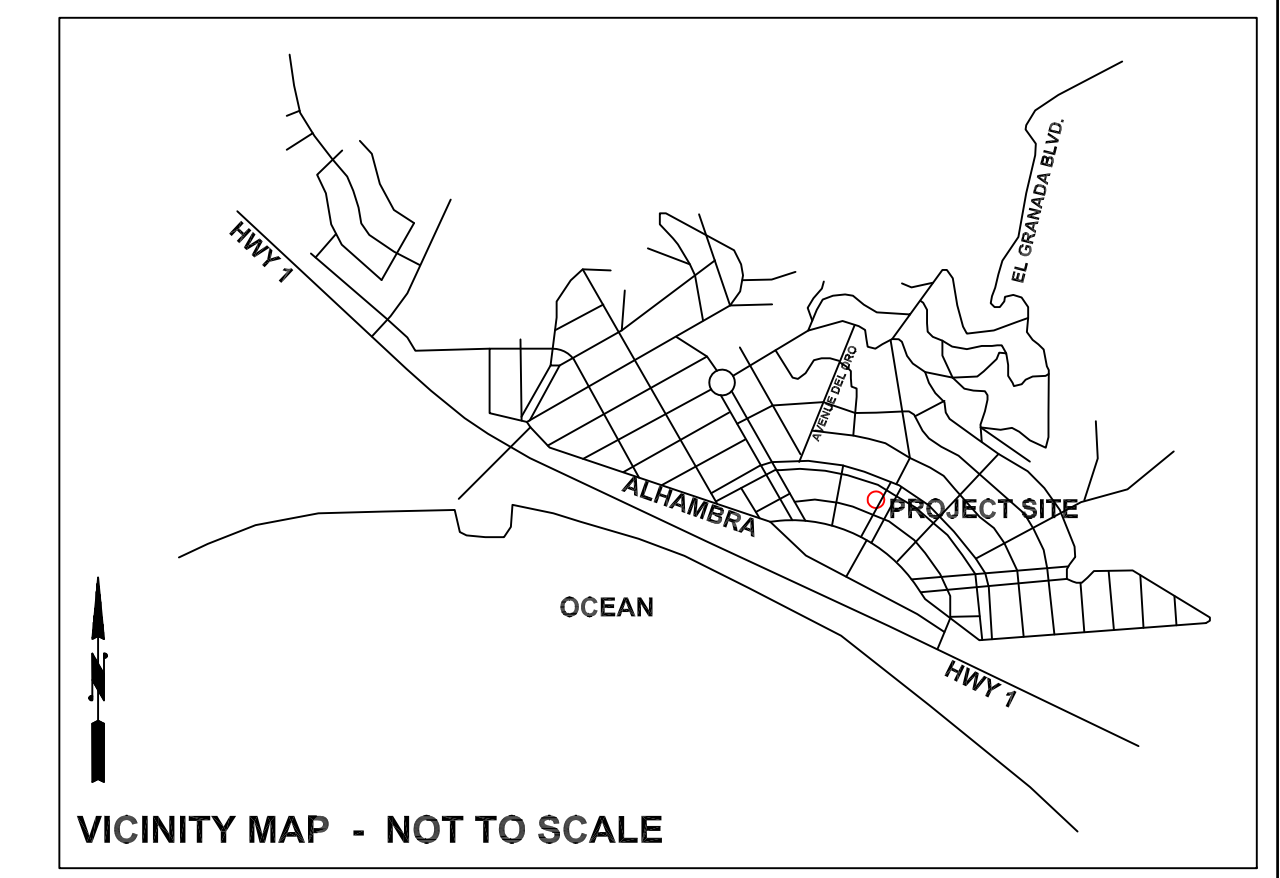
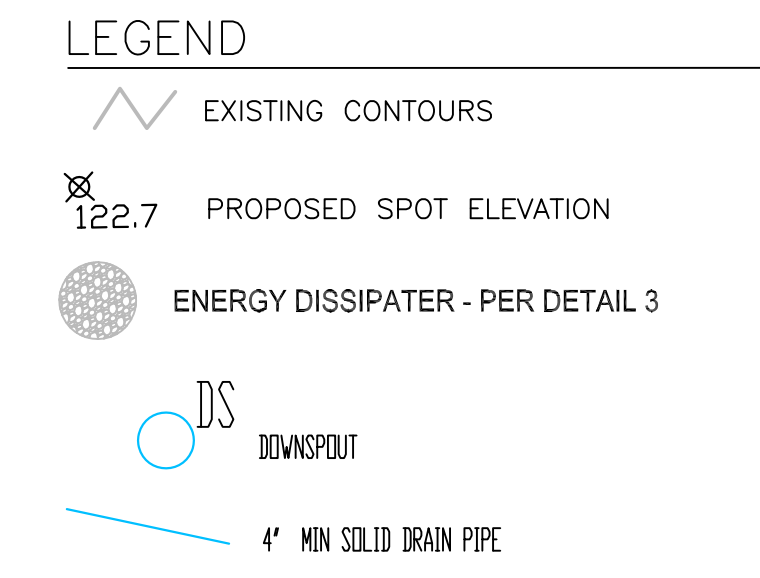
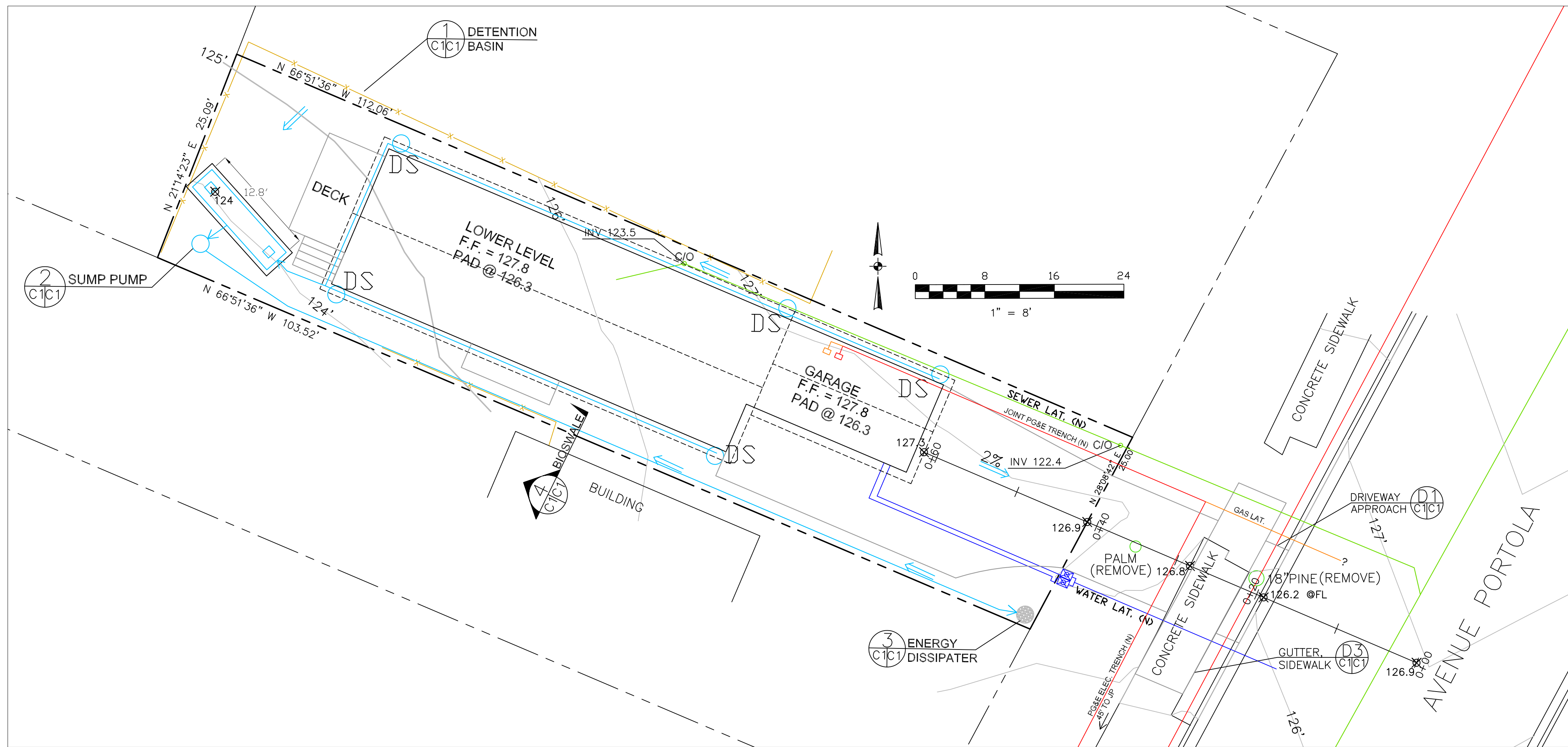
TITLE:  
LIGHTING SHEETS  
ISSUES:  
Project Issue Date:  
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Revision Date:



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SHEET:  
**AT.0**  
SHEET: OF SHEETS

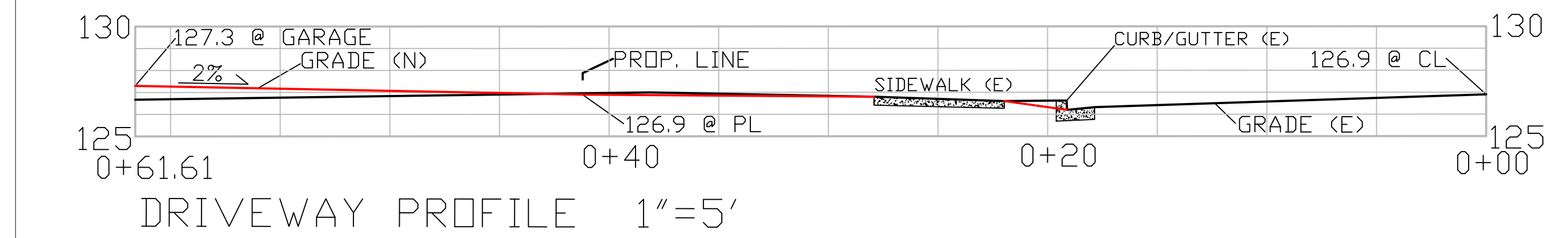
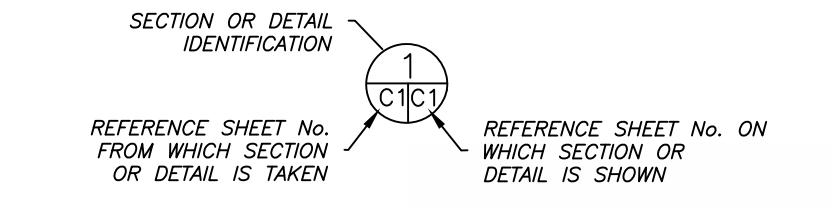




**GENERAL NOTES**

- PLANS PREPARED AT THE REQUEST OF: SEAN FREITAS, OWNER
- TOPOGRAPHY BY CONTI AND ASSOC.; SEPTEMBER, 2019.
- THIS IS NOT A BOUNDARY SURVEY.
- ELEVATION DATUM ASSUMED.
- STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650-306-8405 EXT 181) TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

**SECTION AND DETAIL CONVENTION**



**GRADING NOTES**

CUT VOLUME : 15 CY  
 FILL VOLUME : 15 CY  
 TOTAL : 30 CY

VOLUMES ABOVE ARE APPROXIMATE.

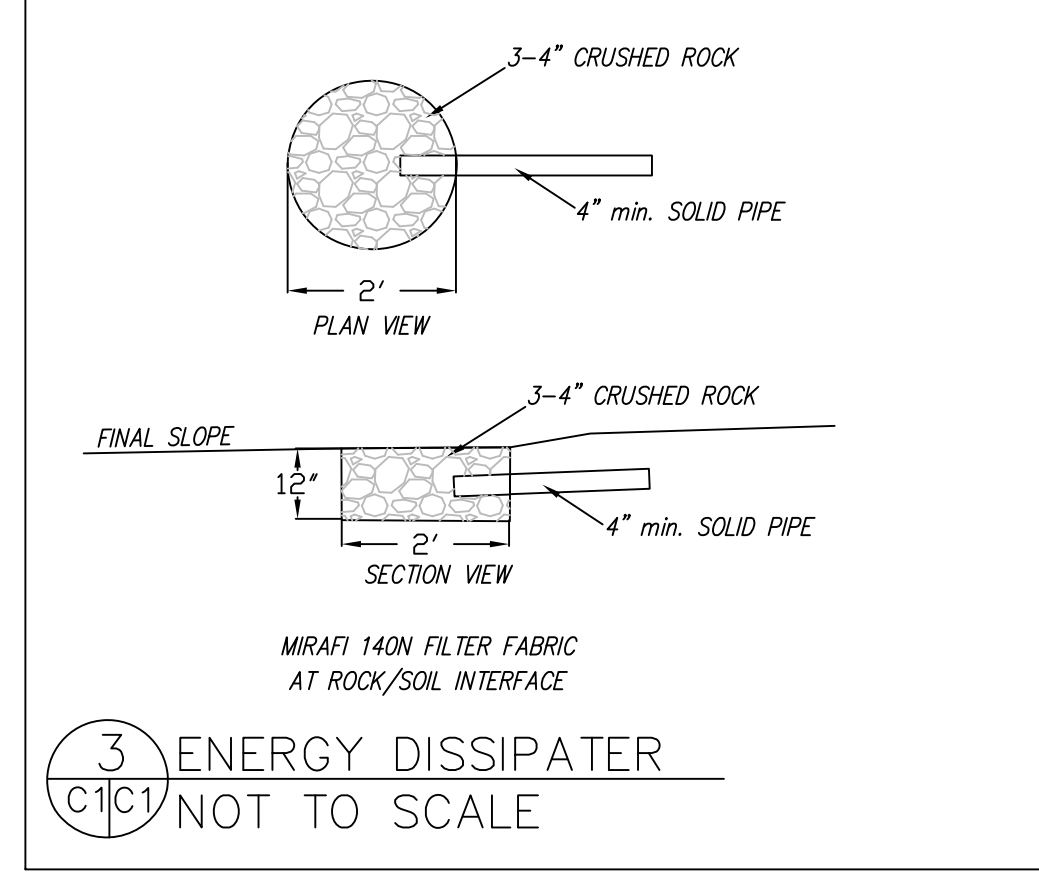
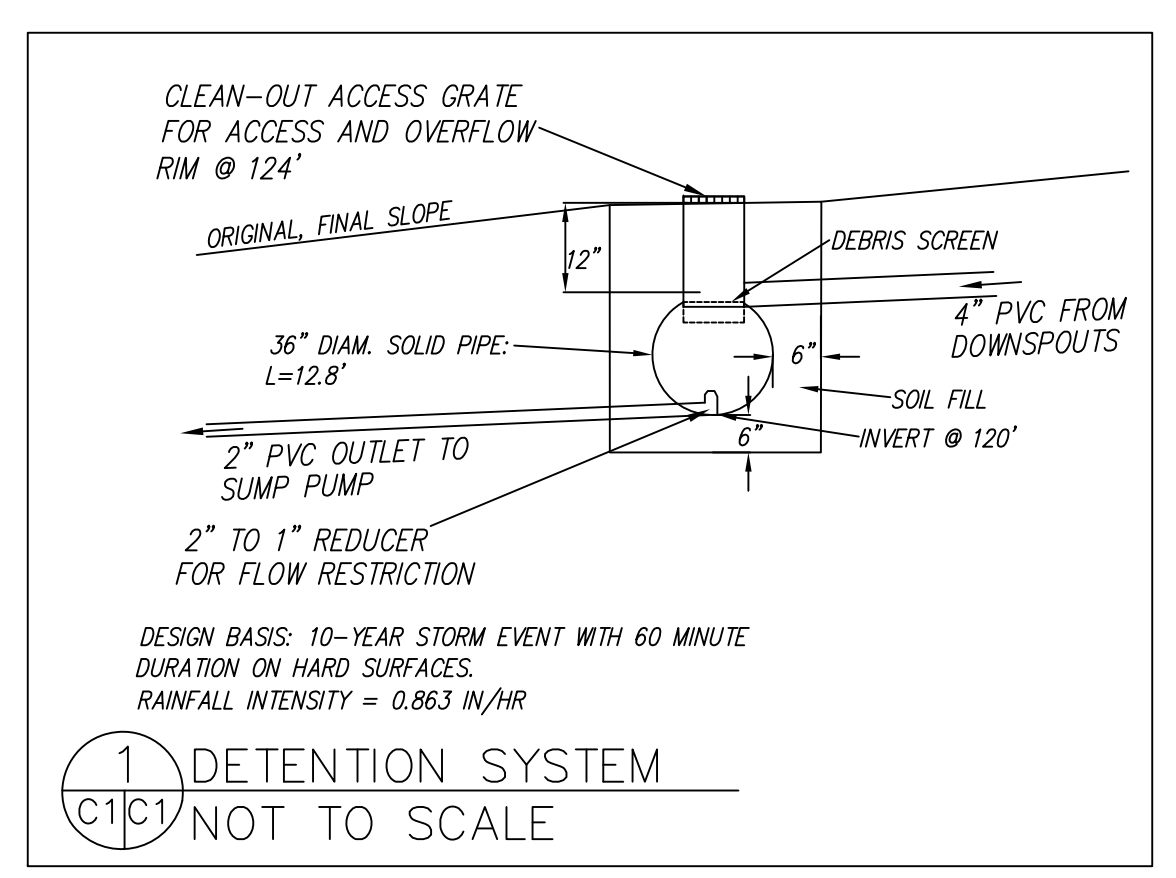
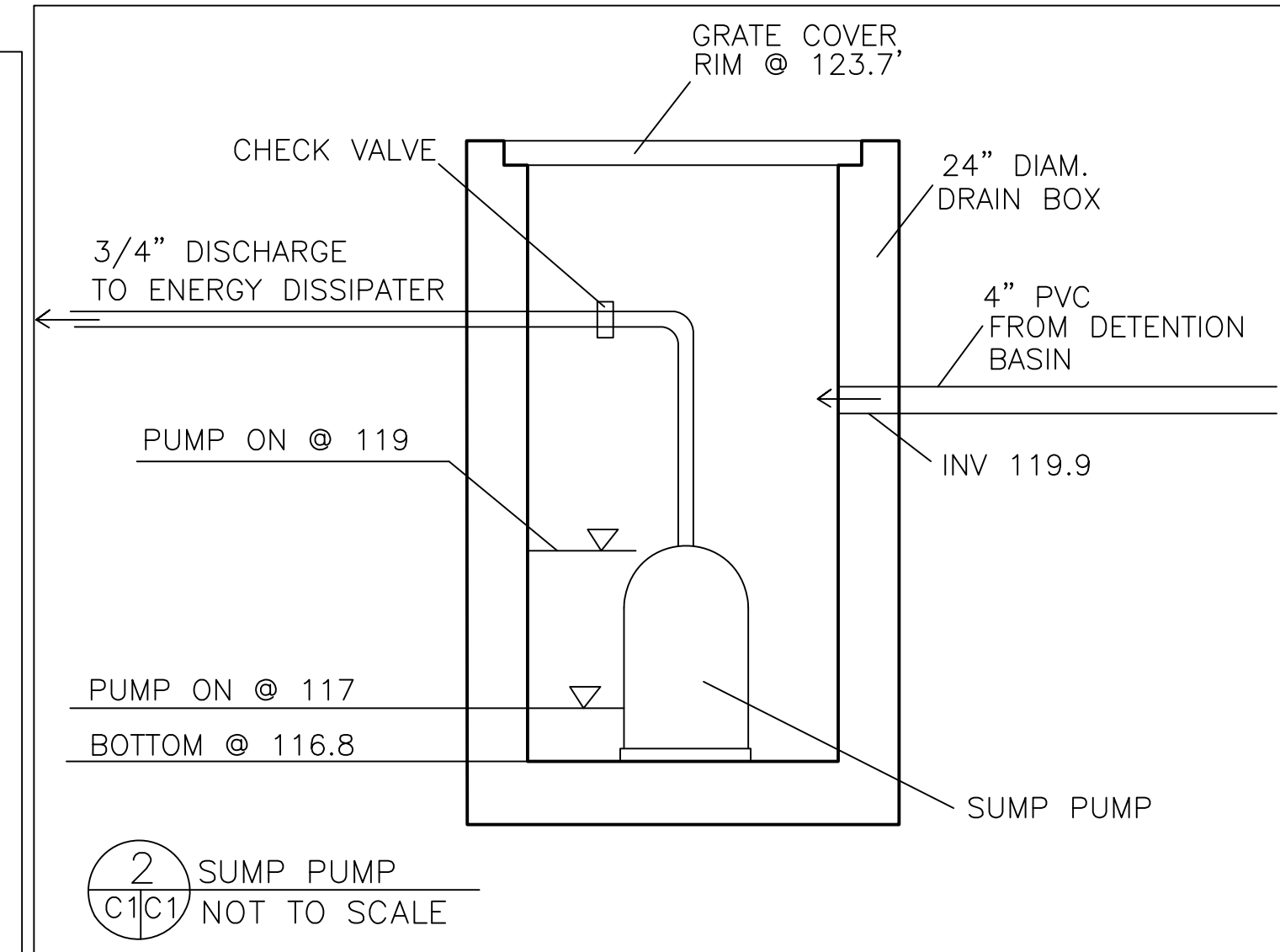
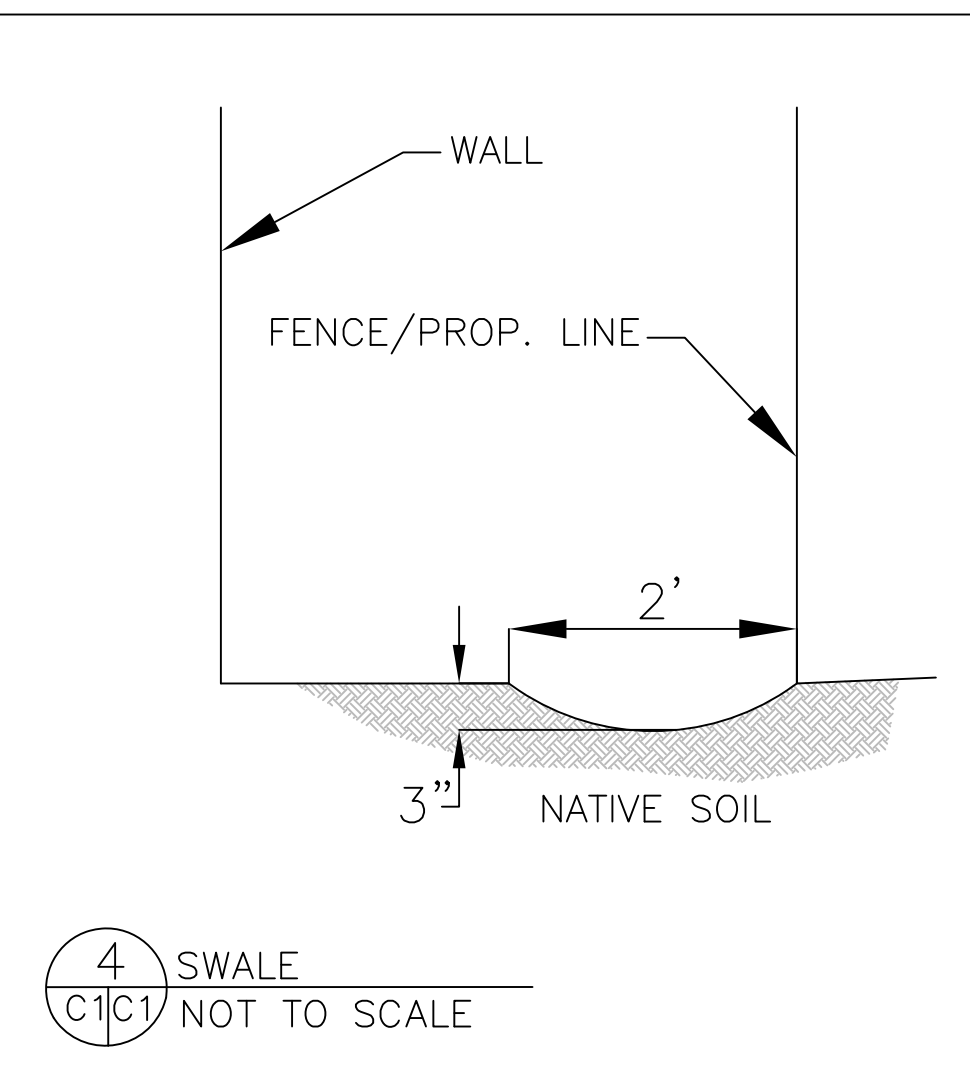
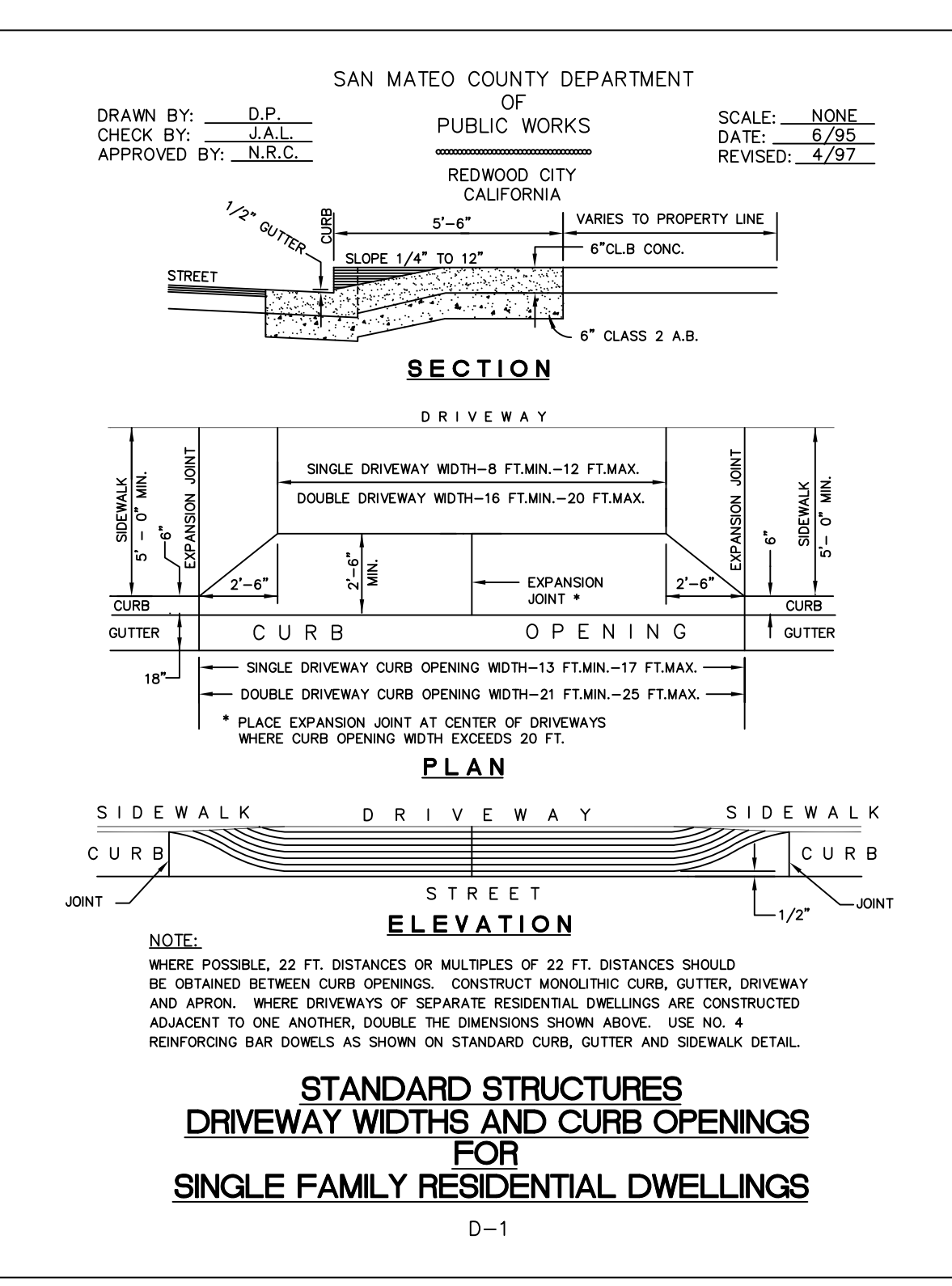
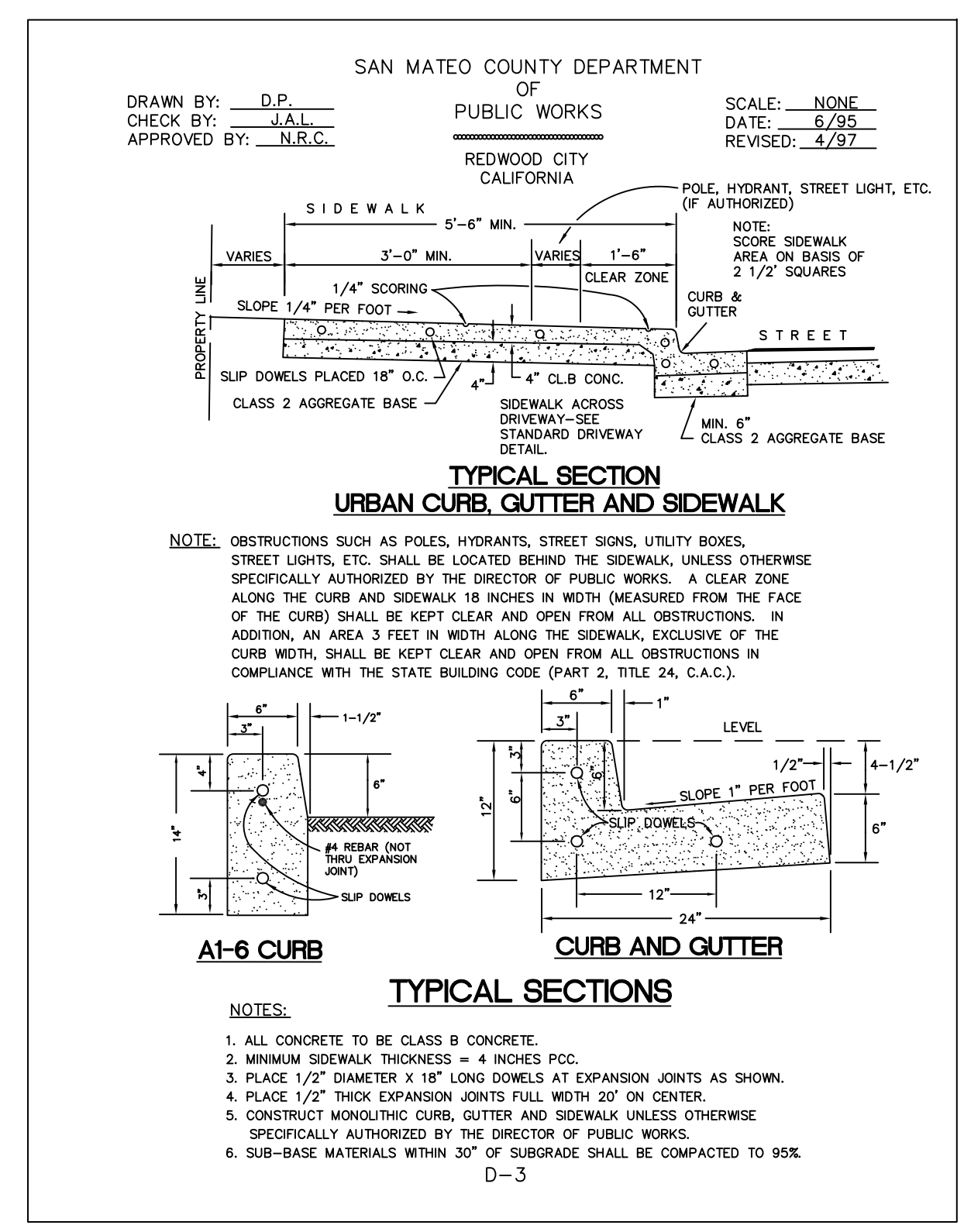
THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

**DRAINAGE NOTES**

- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
- ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN. THE DETENTION BASIN SHALL DRAIN TO A SUMP PUMP AND ENERGY DISSIPATER, AS SHOWN.
- ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN/ENERGY DISSIPATER TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.



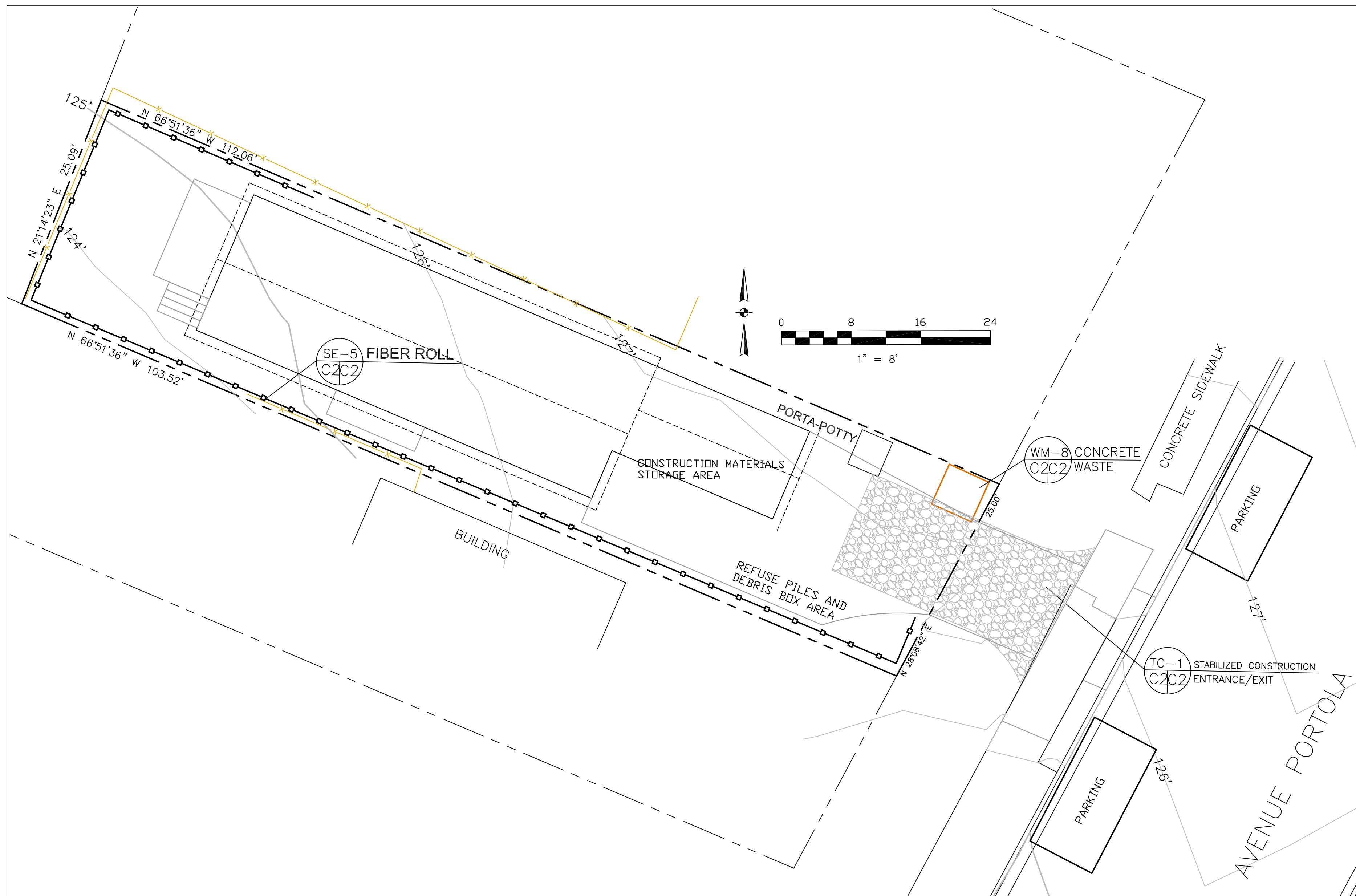
DATE: 12-3-19  
 DRAWN BY: CHK  
 CHECKED BY: AZG  
 REV. DATE: 10-11-20  
 REV. DATE:  
 REV. DATE:

Sigma Prime Geosciences, Inc.  
 SIGMA PRIME GEOSCIENCES, INC.  
 330 RICHMONT AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-5690  
 FAX 728-3693

GRADING AND DRAINAGE PLAN  
 FREITAS PROPERTY  
 AVENUE PORTOLA  
 APN 047-208-120  
 EL GRANADA

SHEET  
 C-1

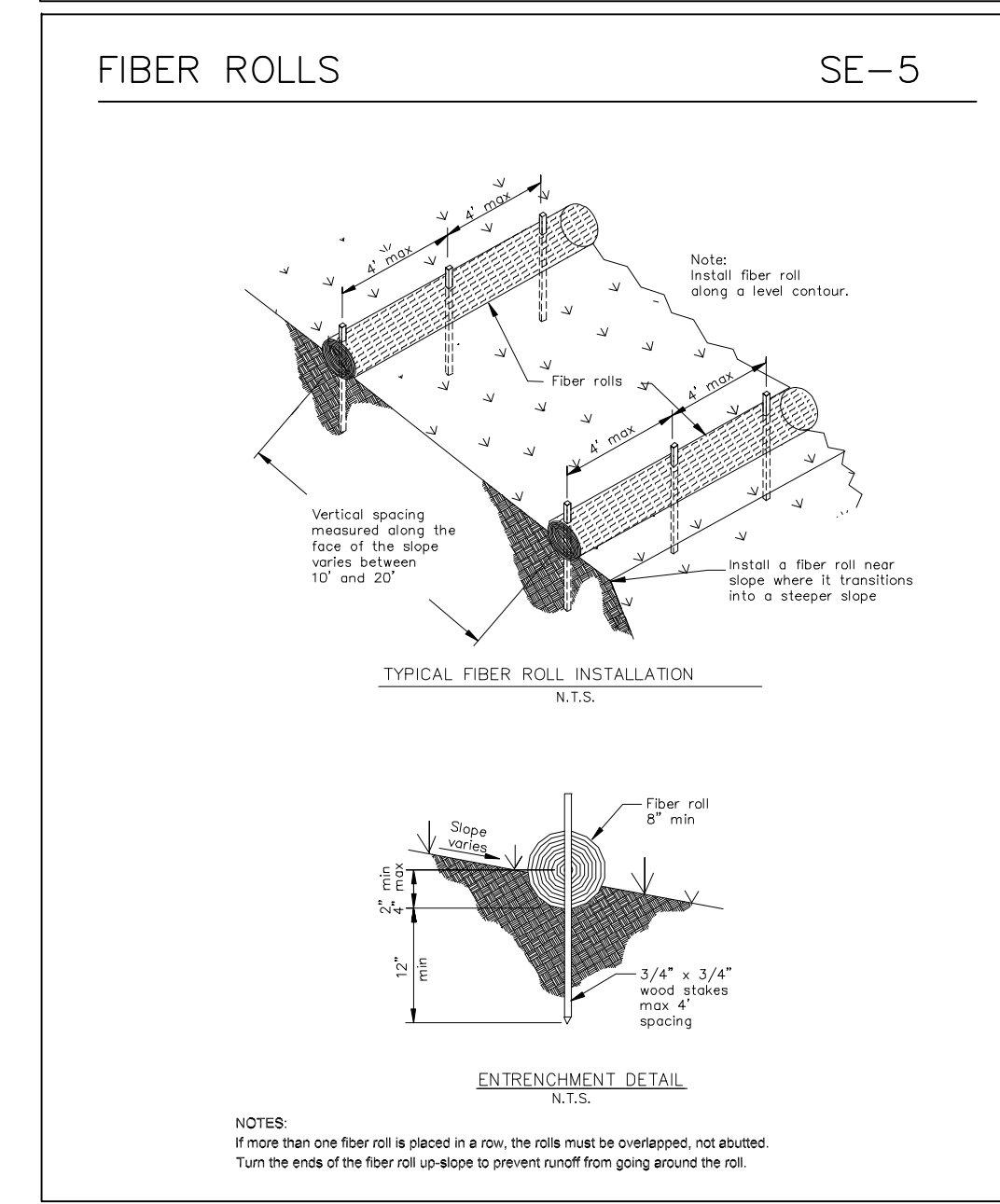
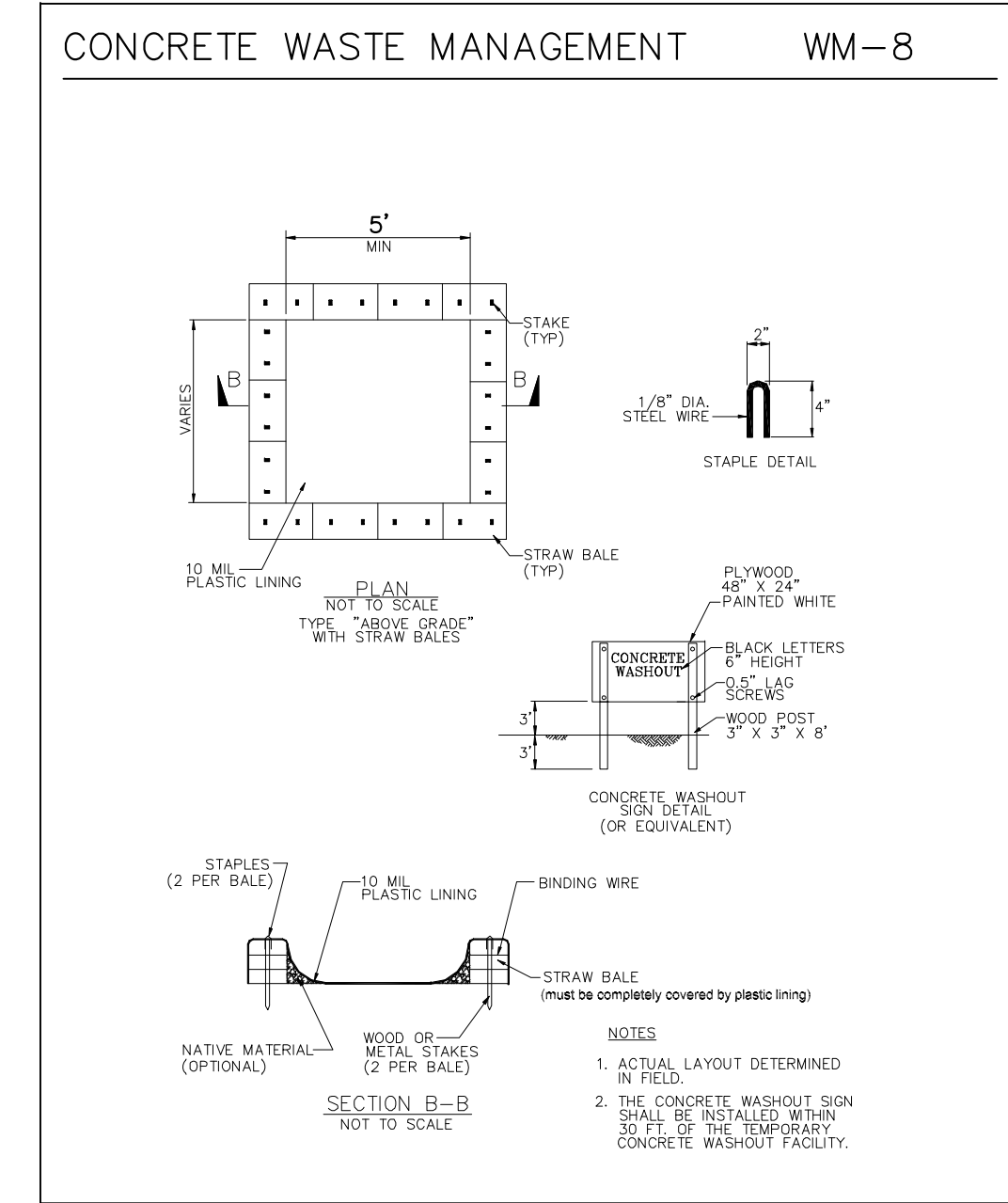




**GENERAL EROSION AND SEDIMENT CONTROL NOTES**



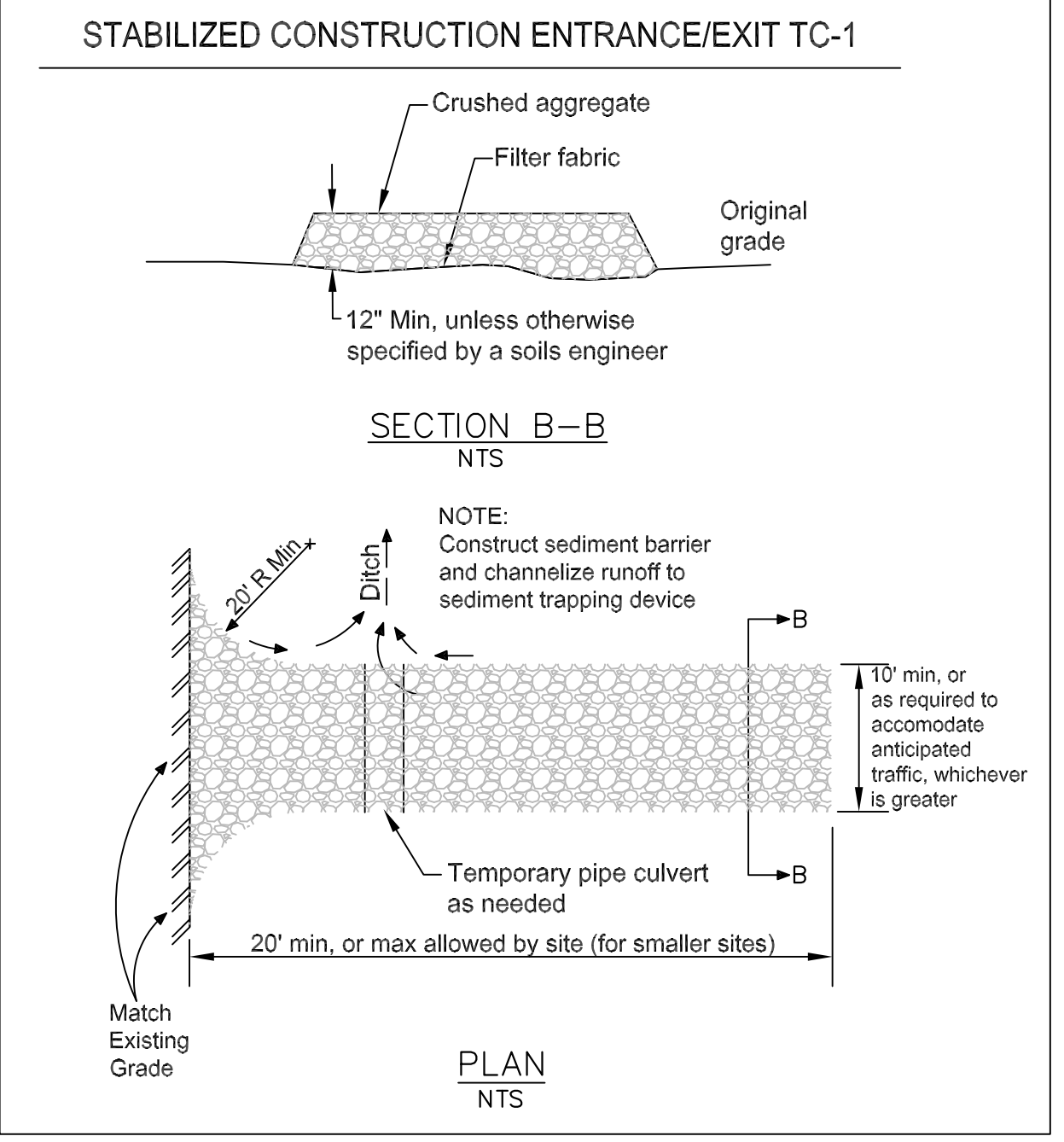
- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There will be no trees or driplines on the site.



**EROSION CONTROL POINT OF CONTACT**

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: SEAN FREITAS  
 TITLE/QUALIFICATION: OWNER  
 PHONE: 916-580-9981  
 PHONE:  
 E-MAIL: SEAN@GRAPHIA.COM



|                                   |   |               |                 |                     |            |            |
|-----------------------------------|---|---------------|-----------------|---------------------|------------|------------|
| EROSION AND SEDIMENT CONTROL PLAN | DATE: 12-3-19   | DRAWN BY: CMK | CHECKED BY: AZG | REV. DATE: 10-11-20 | REV. DATE: | REV. DATE: |
|                                   | FREITAS PROPERTY<br>AVENUE PORTOLA<br>APN 047-208-120<br>EL GRANADA |               |                 |                     |            |            |
| SHEET                             |   | C-2           |                 |                     |            |            |

**Sigma Prime Geosciences, Inc.**  
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