

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: February 12, 2020

TO: Planning Commission

FROM: Planning Staff

SUBJECT: EXECUTIVE SUMMARY: Consideration of a Design Review Permit for new construction and a remodel, a Use Permit to allow outdoor dining within courtyard areas and on the rooftop of a 1,725 sq. ft. restaurant/bar in a new building, and a Non-Conforming Use Permit to allow an existing building with a commercial kitchen to maintain a zero-foot rear yard setback where 20-foot is the minimum required. The Design Review Permit is for construction of the new building at 2635 Middlefield Road, remodel of an existing 2,540 sq. ft. building used as a commercial kitchen at 2655 Middlefield Road, and a new, 19-space parking lot for a single restaurant use on three adjacent parcels. No significant trees will be removed. Two existing structures located at 2635-2647 Middlefield Road will be demolished and the parcels will be merged.

County File Number: PLN 2018-00488 (Capelo)

PROPOSAL

The applicant and owner of an existing barbecue catering and take-out business, in an existing 2,540 sq. ft. building located at 2655 Middlefield Road, is proposing an expansion which includes construction of a 1,725 sq. ft. new building for an associated restaurant, on an adjacent parcel, which would have indoor and outdoor seating. The restaurant use itself does not require a Use Permit, however the outdoor dining use requires a Use Permit pursuant to Section 6401 of the San Mateo County Zoning Regulations. The new building and required parking will be located on two adjacent parcels, 2635-2647 Middlefield Road, where a demolition of a building associated with a defunct auto repair operation is proposed to accommodate the new development.

The subject property, comprised of three adjacent parcels with front yards off Middlefield Road, are required to be merged to support the proposed development for a singular business. The resulting parcel will have a front yard along MacArthur Avenue and the existing building, which currently conforms with all minimum setbacks of the C-2/NFO Zoning District, after the merger will have a non-conforming rear setback of zero feet where 20 feet is the minimum. A Non-Conforming Use Permit pursuant to Section 6137 is required to allow the new zero-foot rear setback.

The parcels have a Design Review overlay. The new construction, remodel and landscaping requires a Design Review Permit.

RECOMMENDATION

That the Planning Commission approve the proposed Design Review Permit, Use Permit to allow outdoor seating on the proposed patio and rooftop, and Non-Conforming Use Permit to allow the existing commercial kitchen building to maintain a zero-foot rear yard setback.

SUMMARY

To grant the Use Permit and the Non-Conforming Use Permit the Planning Commission must find the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood. In addition, the new construction and remodel requires a Design Review Permit for compliance with the design standards.

The proposed outdoor seating requires a Use Permit. The seating would be located between two buildings which will be on-site, and not in the public right-of-way. The requested number of seats meets the County's Parking Regulations with regard to number and size. The surrounding uses are commercial and light industrial and do not include residences, and therefore the operational hours of a restaurant are compatible with adjacent uses. The property is not located in the Coastal Zone. Based on the foregoing, there are no anticipated detrimental impacts to public welfare or injury to property or improvements in the North Fair Oaks neighborhood.

A Non-Conforming Use Permit is required to allow the existing building at 2655 Middlefield Road to maintain a zero-foot rear yard setback. County records do not indicate the date of construction of the former warehouse; however, building permits show that in 2013 the building was converted to a commercial kitchen use. As the structure has existed in this location for nearly a decade, staff anticipates that there would be no impact to the public from the non-conforming rear yard setback as there would be no physical change to the setback. In addition, development opportunities for the parcel at 2659 Middlefield would not be impacted. Staff does not anticipate, nor has identified, any existing aspect of the proposal which create detrimental impacts to public welfare or injury to property or improvements in the North Fair Oaks neighborhood.

The restaurant development, including the new building, redesign of the existing building, and a new 19-space parking area, has been reviewed by the Bayside Design Review Committee and recommended for approval on October 2, 2019. The Committee determined that, as conditioned, the integration of new and old development on the site through design, materials and landscaping meets the design standards found in Section 6565.18 of the Zoning Regulations.

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SUBJECT: Consideration of a Design Review Permit for new construction and remodel, a Use Permit to allow outdoor dining within courtyard areas and on the rooftop of a 1,725 sq. ft. restaurant/bar in a new building, and a Non-Conforming Use Permit to allow an existing building with a commercial kitchen to maintain a zero-foot rear yard setback where 20 feet is the minimum required, pursuant to Sections 6565.18, 6263, 6401 and 6137 of San Mateo County's Zoning Regulations, respectively. The Design Review Permit is for construction of the new building at 2635 Middlefield Road, remodel of an existing 2,540 sq. ft. building used as a commercial kitchen at 2655 Middlefield Road, and a new 19-space parking lot for a single restaurant use on three adjacent parcels. No significant trees would be removed. Two existing structures located at 2635-2647 Middlefield Road will be demolished and the parcels will be merged.

County File Number: PLN 2018-00488 (Capelo)

PROPOSAL

The applicant proposes to expand the use of the existing barbeque take-out and catering kitchen (2655 and 2647 Middlefield Road) by the construction of a restaurant/bar with on-site, indoor dining and outdoor dining on patio and rooftop areas. The project includes redevelopment of the adjoining property (2635 Middlefield Road) that was previously used for auto repair. The proposed outdoor dining use requires a Use Permit pursuant to Section 6401 of the San Mateo County Zoning Regulations.

The proposed development is on three parcels, in common ownership, which must be merged, as the property would support a singular business with associated buildings and parking areas. Merging the parcels would make the property a corner lot with MacArthur Avenue as the front of the parcel and Middlefield Road as a street-facing side of the parcel. As a result of the merger and re-orientation, the existing building would then be located on the rear property line, and would become non-conforming, as a 20-foot setback is required by the C-2/NFO/S-1/DR Zoning District. A Non-Conforming Use Permit pursuant to Section 6137 is required to allow the newly created zero-foot rear setback.

The restaurant development, including the new building, redesign of the existing building, and a new 19-space parking area with landscaping, has been reviewed by the Bayside Design Review Committee, who recommended approval of the Design Review Permit on October 2, 2019. The restaurant use itself does not require a Use Permit and is allowed in the C-2/NFO Zoning District. The project does require approval of a Use Permit for outdoor seating, a Non-Conforming Use Permit for the non-conforming rear yard setback created by the parcel merger, and a Design Review Permit for the new development and building remodel.

RECOMMENDATION

That the Planning Commission approve the proposed Design Review Permit, Use Permit, and Non-Conforming Use Permit to allow outdoor seating on the proposed patio and rooftop and to allow the existing commercial kitchen building to maintain a zero-foot rear yard setback.

BACKGROUND

Report Prepared By: Erica Adams, Project Planner

Owner/Applicant: John Capelo

Location: 2635-2655 Middlefield Road, North Fair Oaks

APNs: 054-233-310, 054-223-330, and 054-223-350

Parcel Size (combined): 15,110 sq. ft.

Applicable Zoning: C-2/NFO/S-1/DR (General Commercial District/North Fair Oaks) at time of application, and CMU-3 (Commercial) as of July 23, 2019

General Plan Designation: Commercial Mixed Use Urban

Existing Land Use: Take out/catering food service and non-operational auto repair

Proposed Land Use: Restaurant with outdoor dining/take-out/catering food service

Water Supply: City of Redwood City Municipal Water Department

Sewage Disposal: Fair Oaks Sewer District

Flood Zone: Zone X (area of minimal flood risk); FEMA Panel No. 06081C0302E, Effective October 16, 2012

Environmental Evaluation: The project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to Guidelines Section 15303.

Section 15303 exempts construction of new, small facilities or structures, including up to four restaurant buildings not exceeding 10,000 sq. ft. in floor area.

Setting: The project site is located along Middlefield Road, one of the main commercial corridors in North Fair Oaks. The surrounding area is currently a mix of light industrial use along Middlefield Road within the CMU-3 (Commercial Mixed Use) Zoning District. The subject parcels are currently developed with a take-out restaurant and catering kitchen (2655 and 2647 Middlefield Road), and an auto repair shop (2635 Middlefield Road).

Chronology:

<u>Date</u>	<u>Action</u>
December 12, 2018	- The applicant submitted a Design Review Permit application PLN 2018-00488 without a Use Permit application, while plans reflected an outdoor seating area.
December 31, 2018	- Applicant was advised to either apply for the Use Permit to be processed at the same time or revise plans to eliminate outdoor seating areas.
April 1, 2019	- Applicant submitted revised plans and the Use Permit application.
July 15, 2019	- Application deemed complete.
July 23, 2019	- CMU-3 Zoning District was adopted by the County Board of Supervisors.
August 7, 2019	- Project reviewed by the Bayside Design Review Committee (Committee). The Committee discussed items of concern (including compliance with design review standards and general functionality) and requested that the applicant revise the project's design. The applicant requested a continuance of the Committee's review of the project.
August 23, 2019	- CMU-3 zoning took effect.
October 2, 2019	- Project reviewed by the Bayside Design Review Committee and recommended for approval.
October 24, 2019	- Project reviewed by the North Fair Oaks Community Council, who recommends approval of the project to the Planning Commission.

January 28, 2020 - Revised plans are reviewed and approved by the Department of Public Works

February 12, 2020 - Planning Commission Hearing

DISCUSSION

A. KEY ISSUES

1. Compliance with the General Plan/North Fair Oaks Community Plan

The San Mateo County General Plan (Policy 8.8 - *Designation of Existing Urban Communities*) designates North Fair Oaks as an Urban Community. The North Fair Oaks Community Plan (NFOCP) establishes a Commercial Mixed Use land use designation for the property. The proposed restaurant/bar with indoor and outdoor dining, take-out, and catering food services, would comply with these designations.

Applicable sections of the General Development Standards for Urban Areas, include: (a) Zoning Regulations (8.34) – Ensure that development is consistent with land use designations; (b) Uses (8.35) - Allow uses in the zoning district that are consistent with the overall land use designation; (c) Height, Bulk, and Setbacks (8.38) – Regulate height bulk and setback requirements in the zoning districts to: (1) ensure the size and scale of development is compatible with the parcel size, (2) provide sufficient light and air around structures; and (d) Parking Requirements (8.39) - Regulate on-site parking requirements to: (1) accommodate the development, (2) provide convenient and safe access, (3) prevent congestion of public streets, and (4) establish orderly development patterns. The project is a combination of new and existing development, which are united by proximity and design. The project complies with these regulations by offering human-scale development, inclusion of open-air dining, and sufficient on-site parking. The non-conforming rear setback applies to an existing building and would result from the required merger of the project parcels. All new construction would meet setback requirements.

The proposal is compatible with the NFOCP, specifically Chapter 7, Design Standards and Guidelines for commercial buildings. These guidelines include: (a) Orientation and Layout (ES-1) and (b) Building Articulation and Interface with the Public Realm (ES-15). The development proposal for the site would integrate building design, light, and landscaping to comply with these guidelines and has been reviewed and recommended for approval by the Bayside Design Review Committee, as discussed in Section 2.C (*Design Review Standards*) of this report.

The project is also compatible with elements of Chapter 8, Economic Development which has goals to Support Small Business (Goal 8.2) and Support Business Expansion (Goal 8.3), which seeks to retain and grow existing retail and service businesses and provide support for existing businesses to expand without relocating outside of North Fair Oaks. The expansion of the existing business from solely catering and take out to a full-scale dining establishment in the North Fair Oaks community is consistent with this goal, would provide additional employment opportunities for the community, and expands dining options in the area.

The subject application involves three parcels which were rezoned from General Commercial (C-2/NFO/S-1/DR) to Commercial Mixed Use (CMU-3). The new zoning took effect on August 23, 2019. Restaurant use is allowed in both zoning districts, pursuant to Section 6263.3.B (“C-2/NFO” *Uses Permitted*) and Section 6570.4.4.C. (CMU3 *Uses Permitted*). The three parcels would be merged, as the property would support a singular business with associated buildings and parking areas, to prevent separate sale of associated uses.

2655 and 2647 Middlefield Road are currently developed with an existing catering/take out service, which would remain. The adjacent parcel at 2635 Middlefield Road was acquired by the applicant and is currently developed with a defunct auto repair use. The existing garage structure would be demolished and replaced with a newly constructed restaurant/bar building with indoor and outdoor dining and a parking area.

The two buildings (the existing commercial kitchen and the proposed restaurant/bar) would have compatible exterior treatments which visually unify the site. The project would also comply with design and development standards, with one exception, a non-conforming rear setback that would be created when the three parcels are merged. Additional discussion of project compliance with zoning and design standards are contained in Sections 2.a (*Development Standards*) and 2.c (*Design Review Standards*) of this report, respectively.

2. Compliance with the Zoning Regulations

a. Development Standards

The subject planning application was submitted and deemed complete prior to the County’s rezoning of this area along Middlefield Road from General Commercial (C-2/S-1) to Commercial Mixed Use (CMU-3); therefore, the proposed project was analyzed under the previous C-2/NFO/S-1/DR zoning regulations. The project complies with the C-2/NFO/S-1/DR zoning with one exception, a non-conforming rear setback on the existing building that would be created when the

parcels are merged and the front yard becomes MacArthur Avenue. This non-conformity is being addressed in this application by a Non-Conforming Use Permit.

Applicable development standards for the site are contained in the C-2/NFO Zoning District and S-1 Combining District regulations and are applied to the end-product, corner property resulting from the merger of the three lots. Project compliance with applicable development standards is outlined in the table below.

Project Compliance with Development Standards of the S-1 Zoning District			
	S-1 Development Standards	Existing	Proposed
Minimum Lot Width	Average 50 ft.	84.56 ft.	No Change
Minimum Lot Area	5,000 sq. ft.	15,111 sq. ft.	No Change

Project Compliance with Development Standards of the C-2/NFO Zoning District				
	C-2/NFO Development Standards	CMU-3 Development Standards	Proposed Development	Compliance Status
		(For reference only)		
Minimum Front Yard Setback	0 ft.	0 ft.	100 ft.	Complies
Minimum Rear Yard Setback	20 ft.*	10 ft.	0*	*Addressed by Non-Conforming Use Permit
Minimum Right Side Yard Setback	0 ft.	For parcels with side street frontage, a setback sufficient in combination with existing sidewalk to create an 8-foot sidewalk measured from back of curb	24 ft. (N) 5.25 ft. (E)	Complies
Minimum Left Side Yard Setback	0 ft.	0 ft.	0 ft.	Complies
Building Stepback Second-story	0	10 ft.	0 ft.	Complies
Maximum Building Height	36 ft.	40 ft.	24 ft.	Complies
Maximum Lot Coverage	50%	N/A	26.3%	Complies
Maximum Floor Area Ratio	150%	150%	28.2%	Complies
(N) – New building (E)- Existing building				
*Non-conformity to be addressed by a Non-Conforming Use Permit				

b. Parking Requirements

Per Section 6117 of the Zoning Regulations, a restaurant requires one 9-foot by 19-foot, on-site parking space per every three (3) seats. The

proposed development has seating (indoor/outdoor) for 54 patrons that requires a minimum of 18 parking spaces. The applicant is proposing 19 off-street parking spaces, one of which is a compact-sized space, which exceeds the minimum required parking.

Section 6121 of the Zoning Regulations (*Parking Area Design and Maintenance*) requires a planter or landscaped area of at least 4 feet wide, and that any area within the street right-of-way shall be developed as a planter or landscaped area. In addition, where a parking area has a capacity of more than ten (10) parking spaces, landscaped areas including the above 4-foot street buffer strip shall be not less than five (5) percent of the total parking lot area. The project has a landscaped area of approximately 2,000 sq. ft. which is 13.2% of the parcel and complies with the regulation.

The project includes landscaped areas, 4 feet wide or greater, along Middlefield Road, landscaping in the outdoor patio area, and a planted strip between the parking lot and an adjacent building. In addition, except where necessary to provide for parking ingress and egress to parking spaces, a landscaped area 4 feet wide is proposed along MacArthur Avenue.

c. Design Review Standards

North Fair Oaks Design Review standards can be found in Section 6565.18 of the San Mateo County Zoning Regulations. The project was reviewed by the Bayside Design Review Committee (Committee) on August 7, 2019. At the hearing, the Committee recommended that the applicant revise specific aspects of the project to achieve compliance with the design review standards and to improve functionality. A modified project was presented at the October 2, 2019 hearing, and the Committee recommended approval of the Design Review Permit with the recommendation of a few minor modifications which are conditions of approval to improve compliance.

The project's compliance with the Design Review Standards of Section 6565.18 is discussed as follows (standards are abbreviated for applicability):

- A. *Site Planning: 1. Locate development so that: (1) commercial uses abut the front property line (2) pedestrians have direct access from the street, and (3) storage areas are located toward the rear. 2. Perpetuate the existing pattern of small scale commercial development. 3. On corner parcels, locate development on both property lines.*

The side yard of the proposed development faces Middlefield Road and grants pedestrians direct access from the street. As proposed and conditioned, project buildings are recessed from the property line, storage and large equipment are located behind buildings or in less visible locations, and the project includes a landscaped pedestrian path. The project can be considered a small-scale commercial development due to the use of two smaller buildings for the single restaurant use versus the construction of one large structure. The merged parcel would be a corner lot, however due to existing development patterns, there would not be development facing MacArthur Avenue. As the configuration of the buildings does not allow for parking at the rear of the property, this is the only location that could accommodate a parking lot. The project includes landscaping located along Middlefield Road and MacArthur Avenue to enhance public walkways.

- B. Mixed-Use Development: Encourage mixed-use development with commercial uses on the ground level and offices and/or residences on upper levels.*

This project consists of the expansion of an existing catering and takeout food service business. Although the proposal does not contain mixed-use development, the project would expand supporting services to the community, as it provides new dining and event-hosting opportunities.

- C. Architectural Styles: Encourage architecture that strongly enhances the overall appearance and downtown character of the street, while allowing varying architectural styles. Encourage continuity of bulk and scale in buildings, and harmony in the rhythm of building frontages and facades.*

At the October 2, 2019 meeting, the Bayside Design Review Committee stated that the proposed development would be an asset to the community. The two buildings, as conditioned, through design and material selection, have been well-integrated with the outdoor dining areas so that it is clear that there is a single use on the site.

- D. Building Scale and Height: Harmonize building scale and height of commercial buildings with any adjacent residential buildings on the same street frontage.*

There is no residential development in immediate proximity to the subject parcels. The proposed building and existing

building are one to two stories, which is a scale consistent with surrounding structures.

- E. Building Facades: 1. Design building facades with doors, windows, walls, and/or other elements that proportionately fit together, ... scaled..., and ...create a harmonious composition, 2. Encourage the use of door and window canopies and awnings. 3. Encourage recessed entryways. 4. Require transparent windows*

The Committee recommended a facade modification to the food take-out area to make the facade doors and windows appear to be centered and/or balanced. Then as conditioned, the Committee found the project's door and window placement proportional and the use of canopies and awnings appropriate to the development. There are no opaque windows proposed.

- F. Materials and Colors: Use building materials and colors that are compatible and enhance surrounding development. Minimize the use of materials and colors that are highly contrasting and reflective. 1. Use building materials of durable quality. 2. Use exterior building materials that are in harmony with the surrounding neighborhood and enhance the building style, e.g., red brick or other masonry, painted or stained wood, or textured painted stucco surfacing materials. Prohibit the use of unfinished cinder or cement block or corrugated metal siding when visible from a public street or residential use. 3. Coordinate and harmonize the use of colors, and discourage colors that are highly contrasting and reflective, or that conflict with the character and color of adjacent buildings.*

The Committee stated that proposed building materials, a mix of redwood, painted cement, and metal for balconies, would create visual interest. The restaurant design is visually compatible with the surrounding light-industrial uses and would enhance the neighborhood. There are no unfinished cement walls proposed. The color palate does not include any highly contrasting or reflective colors.

- G. Off-Street Parking: 1. Locate off-street parking at the rear of the parcel and behind buildings. 2. Screen off-street parking when visible from a public street or residential use. 3. Encourage the use of common driveways providing access to more than one parcel.*

The proposed development includes a new 19-space parking lot in an area which is easily accessible and would not conflict with existing development. The configuration of the buildings does not allow for parking at the rear of the property. There is a single entry/exit access point to the parking area.

- H. *Signs: Limit the number, location, size, design, lighting, materials, and colors of signs so that they are compatible with the building style.*

One new sign is proposed. The sign complies with sign requirements of the Zoning Regulations and was reviewed by the Committee and determined to be compatible with the building style. No mural is proposed at the present time.

- I. *Landscaping: Encourage the growing of: 1. Vines on walls and trellises; and 2. Flowers and ornamental trees in planter boxes or pots.*

The submitted landscape plan includes an array of planters and/or ground installations including an assortment of trees, shrubs, perennials, and grasses along Middlefield Road and MacArthur Avenue.

- J. *Lighting: Require exterior lighting fixtures, standards, and all exposed accessory lighting to be compatible with building design.*

Exterior lighting fixtures were reviewed and found to be compatible with the building design and proposed outdoor dining use.

- K. *Utilities: Install new distribution lines underground.*

New utility lines would be placed underground as required by Condition No. 11.

- L. *Mechanical Equipment: Require mechanical equipment to be screened with parapets or the roof form.*

Mechanical equipment and other large pieces of equipment will be obscured from public view trees in planters and proposed trash enclosure.

3. Compliance with the Use Permit Findings

The project requires approval of a Use Permit and Non-Conforming Use Permit by the Planning Commission. To grant both the Use Permit and Non-Conforming Use Permit, the Planning Commission must find in each instance that: *The establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.*

Section 6401 of the Zoning Regulations requires a Use Permit for any outdoor use, including outdoor dining. Outdoor dining is proposed on the patio between two buildings and on the roof. No permit is required for the restaurant use itself, as the use is allowed without a Use Permit in the C-2/NFO Zoning District.

The proposed outdoor dining area is located between two project buildings and not in the public right-of-way. The rooftop of the new building is proposed to be used for special events but does not include additional seating. The proposed 19 on-site parking spaces meets the County's parking regulations with regard to number, size and screening. The exterior changes and new construction would improve the aesthetic quality of the area. The surrounding uses are commercial and light industrial and do not include residences. The operational hours of a restaurant are compatible with adjacent uses. The property is not located in the Coastal Zone. Based on the foregoing, there are no anticipated detrimental impacts to public welfare or injury to property or improvements in the North Fair Oaks neighborhood. Staff finds that the Use Permit findings for outdoor dining can be made.

Section 6137 of the Zoning Regulations requires a Non-Conforming Use Permit to allow the existing building at 2655 Middlefield Road to maintain a zero-foot rear yard setback. The merger of the three parcels would create a new larger corner parcel and re-designation of yards. MacArthur Avenue would become the new front yard, Middlefield Road the right side yard, and the designation of the remaining sides would also change. As a result, the existing building at 2655 Middlefield Road would be located within the rear yard setback of the merged parcel and would maintain a zero-foot rear yard where the C-2/NFO/S-1/DR Zoning District requires a 20-foot minimum rear yard setback.¹

The existing building at 2655 Middlefield Road was at one time a warehouse. County records do not indicate the date of construction, however building permit records show that in 2013 the building was

¹ For reference only, the CMU-3 Zoning District has a minimum 10-foot rear yard setback.

converted to a commercial kitchen use. As the structure has existed in this location and been used as a commercial kitchen for over 6 years, staff anticipates that there would be no impact to the public from the non-conforming rear yard setback as there would be no physical change to the proximity of the building to this property line. Development opportunities for the parcel at 2659 Middlefield Road would not be impacted by the rear yard designation. Based on the foregoing, staff finds that the Non-Conforming Use Permit findings for the allowance of a non-conforming setback on an existing building can be made.

B. ENVIRONMENTAL REVIEW

The project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to Guidelines Section 15303. Section 15303 exempts construction of new, small facilities or structures, including up to four restaurant buildings not exceeding 10,000 square feet in floor area.

C. REVIEWING AGENCIES

Department of Public Works
Building Inspection Section
Redwood City Fire Protection
Bayside Design Review Committee
North Fair Oaks Community Council

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map and Assessor's Parcel Map
- C. Project Plan Site Plan
- D. Project Floor Plan
- E. Project Elevations
- F. Civil Plans
- G. Landscape Plan
- H. Photos
- I. Bayside Design Review Continuation letter dated August 14, 2019

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County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2018-00488 Hearing Date: February 12, 2020

Prepared By: Erica Adams For Adoption By: Planning Commission

RECOMMENDED FINDINGS

For the Environmental Review, Find:

1. That the project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to Guidelines Section 15303. Section 15303 exempts construction of new, small facilities or structures, including up to four restaurant buildings not exceeding 10,000 sq. ft. in floor area.

For the Design Review, Find:

2. That this project, as designed and conditioned, has been reviewed under and found to be in compliance with the Design Review Standards as stipulated in Chapter 28, Section 6565.18, of the San Mateo County Zoning Regulations. The proposal was reviewed by the Bayside Design Review Committee (Committee) on August 7, 2019, and applied conditions and recommended for approval on October 2, 2019.
3. That after consideration of project plans and public testimony, the Committee found that the proposed construction and remodel, as proposed and conditioned, is in compliance with the Design Review Standards because the project, as designed and conditioned, would provide an asset to the community. The Committee stated that the two buildings, through design and material selection, have been well-integrated and that building materials and create visual interest. The Committee found, as conditioned, that the project's door and window placement is proportional and there is appropriate use of canopies and awnings. In addition, the Committee found that the proposed landscaping offers a visual separation between outdoor dining and public and private parking areas.

For the Use Permit Find:

4. That the project's outdoor dining complies with the required findings for a Use Permit per Section 6401 in that the establishment, maintenance and/or conducting

of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood. The project site is located in North Fair Oaks and there would be no impact to coastal resources. The proposed outdoor dining will occur within the property boundaries, will not conflict with existing, surrounding uses. The proposed outdoor seating would not be detrimental to the public welfare, as there is no residential development in the vicinity and there would not be a conflict with surrounding uses.

For the Non-Conforming Use Permit, Find:

5. That the project complies with the required findings for a Non-Conforming Use Permit per Section 6137 in that: The building, which would be retained on the site, has existed in the current location for numerous years without impacts to the community. If it remains in the existing location with a non-conforming rear setback, it would not impact the ability to develop the adjacent parcel, and the community would not be negatively impacted.

BAYSIDE DESIGN REVIEW COMMITTEE RECOMMENDATIONS

1. The proposed restrooms be expanded to accommodate two stalls of each gender, if possible.
2. The access from kitchen to the barbeque station be configured so that access to the area is not via walking through the trash enclosure.
3. At such time that a mural is to be applied to the east wall of the east building, the design should be coordinated with community groups and submitted for review.

CONDITIONS OF APPROVAL

Current Planning Section

1. The project shall be constructed in compliance with the plans as approved by the Planning Commission on February 12, 2020. Any changes or revisions to the approved plans shall be submitted for review by the Community Development Director to determine if they are compatible with and in substantial compliance with the approved plans. Adjustments to the project may be approved by the Community Development Director if they are consistent with the intent of and are in substantial conformance with this approval. Adjustments to the design during the building plan stage may result in the assessment of additional plan resubmittal or revision fees. Alternatively, the Community Development Director may refer consideration of the adjustments, if they are deemed to be major, to a new Bayside Design Review Committee public hearing which requires payment of an additional fee of \$1,500, and surcharges.

2. Final approval of the Design Review Permit and Use Permits shall be valid for five (5) years from the date of approval, in which time a building permit shall be issued and a completed inspection (to the satisfaction of the Building Inspector) shall have occurred within 180 days of its issuance. The design review approval may be extended by one, 1-year increment, with submittal of an application for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.
3. The Use Permit for outdoor dining shall have no expiration following the date of final approval, February 12, 2020, but is subject to two administrative reviews. The applicant shall file for two administrative reviews of this permit, one at “Year One” and at “Year Three” following permit approval to assess compliance with these conditions. Subsequent to a review, additional administrative reviews may be required to allow for monitoring of any concerns raised by the community.
4. The three parcels, APNs 054-233-310, 054-223-330, and 054-223-350, shall be merged and recorded with the County Recorder’s office prior to the issuance of a building permit.
5. The approved exterior colors and materials shall be verified prior to final approval of the building permit. The applicant shall provide photographs to the Design Review Officer to verify adherence to this condition prior to a final building permit approval by the Current Planning Section.
6. *A metal security fence shall added to the building plans. The fence design shall be decorative and shall be submitted for review and approval to the Design Review Officer for approval prior to installation.*
7. An additional planter shall be placed on the northerly section of the site, the exterior side of the kitchen.
8. The entry door to the take-out counter shall be cosmetically revised to be appear to be centered between the two existing windows with a decorative treatment over the entryway.
9. A planter with Plexiglas shall be used to separate public space from the outdoor dining, at the applicant’s discretion and shall be located behind the security fence.
10. The applicant shall include an erosion and sediment control plan to comply with the County’s Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
11. All new power and telephone utility lines from the street or nearest existing utility pole to any other structure on the property shall be placed underground.

12. No trees are approved for removal. Trees designated to remain shall be protected from damage during construction. Any additional tree removal is subject to the San Mateo County Tree Ordinance and will require a separate permit for removal.
13. The landscape plan submitted and reviewed shall be implemented prior to final approval of the building permit. Evidence of planting shall be submitted to the Current Planning Section prior to final approval by the Current Planning Section on the building permit.
14. The project is subject to compliance to the Water Efficient Landscape Ordinance (WELo): <http://planning.smcgov.org/documents/water-efficient-landscape-ordinance-welo>. The landscape plan shall comply with the Water Efficient Landscape Ordinance. Building plans shall demonstrate compliance with the Water Efficient Landscape Ordinance.
15. Prior to the Current Planning Section approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).

Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.

If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.

16. The applicant shall adhere to all requirements of the Building Inspection Section, the Department of Public Works, and Redwood City Fire Department.
17. No site disturbance shall occur, including any grading or vegetation removal, until a building permit has been issued.

18. To reduce the impact of construction activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
 - c. The applicant shall ensure that no construction-related vehicles impede through traffic along the right-of-ways on MacArthur Avenue and Middlefield Road. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on MacArthur Avenue and Middlefield Road. There shall be no storage of construction vehicles in the public right-of-way.
19. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays, and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo County Ordinance Code Section 4.88.360).
20. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program “General Construction and Site Supervision Guidelines” including, but not limited to, the following:
 - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
 - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - c. Performing clearing and earth-moving activities only during dry weather.
 - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
 - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.

- f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges, to storm drains and watercourses.
 - g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
 - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
 - j. Limiting construction access routes and stabilization of designated access points.
 - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
 - m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
 - n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
21. It shall be the responsibility of the engineer of record to regularly inspect the erosion control measures for the duration of all grading remediation activities, especially after major storm events, and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected, as determined by and implemented under the observation of the engineer of record.
 22. The Project is subject to Provision C.3.
 23. Interior floor drains shall be plumbed to sanitary sewer.
 24. Any sink or other area for equipment cleaning, shall be:

- a. Connected to a grease interceptor prior to sanitary sewer discharge.
 - b. Large enough for the largest mat or piece of equipment to be cleaned.
 - c. Indoors or in an outdoor roofed area designed to prevent stormwater run-on and run-off, and signed to require equipment washing in this area.
25. A roofed and enclosed area for dumpsters, recycling containers, etc., designed to prevent stormwater run-on and runoff, shall be provided.
 26. Connect any drains in or beneath dumpsters, compactors, and tallow bin areas serving food service facilities to the sanitary sewer.
 27. Perform process activities either indoors or in roofed outdoor area, designed to prevent stormwater run-on and runoff, and to drain to the sanitary sewer.
 28. Cover the area or design the area to avoid pollutant contact with stormwater runoff.
 29. Locate outdoor equipment and storage materials areas only on paved and contained areas.
 30. Roof all storage areas that will contain non-hazardous liquids, drain to sanitary sewer, and contain by berms or similar.

Building Inspection Section

31. A demolition permit and a building permit are required.
32. A drainage report prepared and stamped by a registered civil engineer demonstrating that the project complies with the County's current drainage policy restricting additional stormwater flows from development projects shall be submitted. Post-development flows will be less than pre-development flows, either by metering the stormwater flows between the proposed bioretention area and the sump or an equivalent mechanism.
33. Applicant shall submit a final grading and drainage plan prepared and stamped by a registered civil engineer showing any features required to retain additional stormwater resulting from the new impervious areas onsite (as determined in the Drainage Report).
34. An updated C.3/C.6 Checklist (if changes to impervious areas have been made during the design phase) shall be provided.

Department of Public Works

35. Prior to the issuance of the building permit, the applicant shall submit a parking plan showing adequate turn around for vehicles entering and exiting the designated parking spaces. Locate entry points to building to minimize conflicts with vehicular movements.
36. Prior to the issuance of the building permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20%) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities
37. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
38. Applicant is required to underground all overhead utilities connecting to the project site in conjunction with County's Middlefield Road Improvement and Undergrounding Project at no cost to the County. Additional coordination between the owner and the Department of Public Works will be required prior to road reconstruction.
39. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No. 3277.
40. Applicant shall coordinate final grades with County of San Mateo for sidewalk improvements as part of the County's Middlefield Road Improvement and Undergrounding Project prior to issuance of a building permit.

Redwood City Fire Department

41. Automatic Fire Alarm System - The proposed new restaurant and kitchen buildings shall be protected by an automatic fire alarm system meeting NFPA 72 standards. As per 907.2 of the California Fire Code (CFC). Provide plans and voltage drop calculations.

42. Emergency Responder Radio Coverage System - This project is required to have an Emergency Responder Radio Coverage System installed in accordance with CFC 510 and NFPA 1221. The design of this system can be listed as a deferred submittal in the appropriate section on the title page of the project.
43. Exit Doors - There are a number of rollup doors including one identified as the front entrance to the business. Rollup doors are not allowed to be used as exit doors. Provide an exiting analysis and provide adequate number and width of conventional exit doors that swing in the direction of travel with appropriate exit signs and panic hardware to address the occupancy load. Rollup doors may still be installed as additional doors but not as components of the primary exiting system.
44. Indicate on the plans where the illuminated premises identification (address) will be located and the size in a contrasting background facing the street from which the building takes the address (CFC 505).
45. The proposed new restaurant and kitchen buildings shall be protected by an automatic fire alarm system meeting NFPA 72 standards. As per 907.2 of the CFC. Provide plans and voltage drop calculations.
46. This project shall have an Emergency Responder Radio Coverage System installed in accordance with CFC 510 and NFPA 1221. The design of this system can be listed as a deferred submittal in the appropriate section on the title page of the project.
47. Premises Identification (Address Numbers) - Indicate on the plans where the illuminated premises identification (address) will be located and the size in a contrasting background facing the street from which the building takes the address CFC 505.

EA:pac - EDAEE0047_WPU.DOCX



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

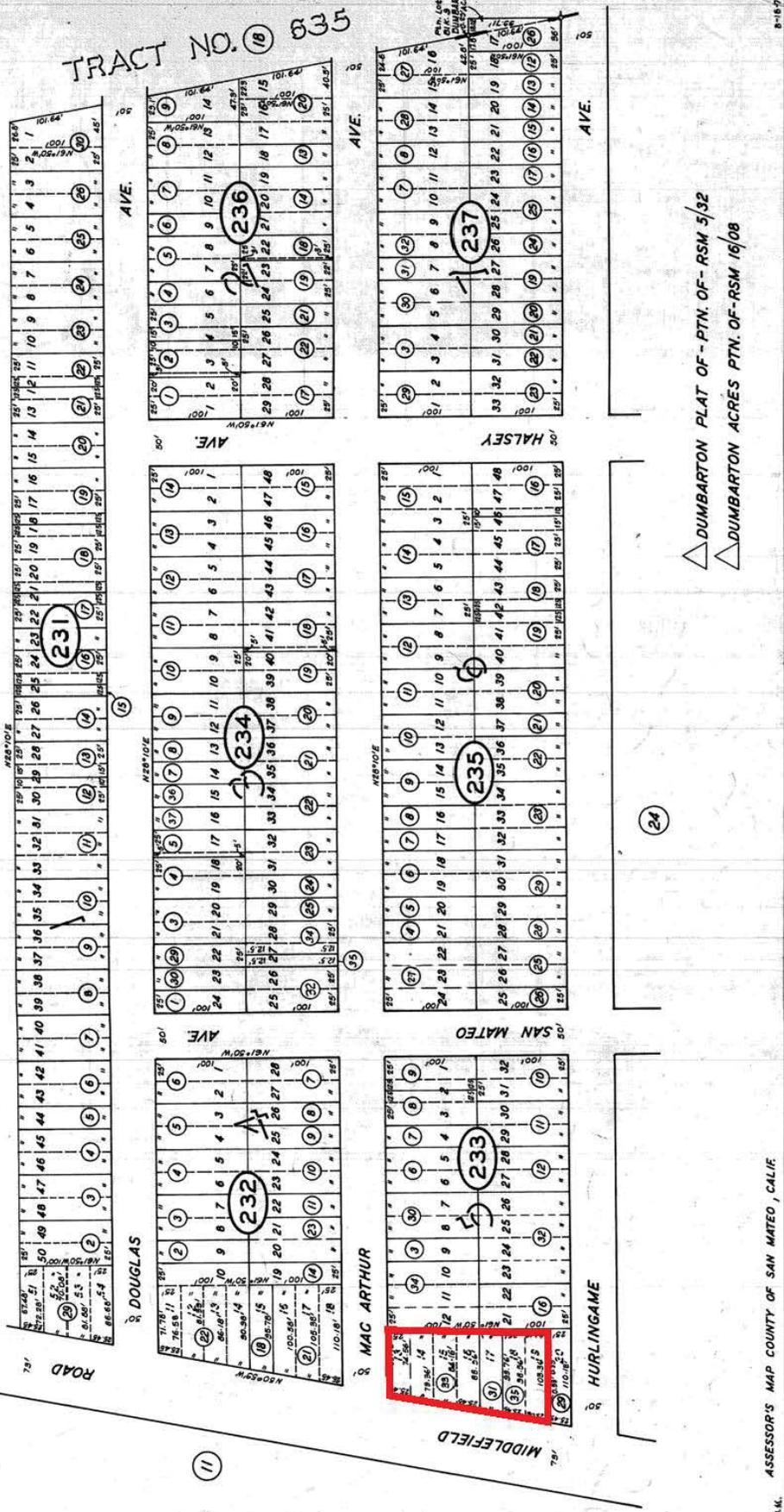
ATTACHMENT B

TAX CODE AREA _____

54-23



REDWOOD VILLAGE



San Mateo County Planning & Building Dept.

Project: Capelo

Exhibit: B

PLN2018-00488



Project Sites



VICINITY MAP

San Mateo County Planning Commission Meeting

Owner/Applicant: Capelo

File Numbers: PLN2018-00488

Attachment: B



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C

NO.	REVISION	DATE	BY
1	PLANS	1-13-18	MM
2	REVISION	1-13-18	MM
3	PLANS	1-13-18	MM
4	REVISION	1-13-18	MM
5	PLANS	1-13-18	MM
6	REVISION	1-13-18	MM
7	PLANS	1-13-18	MM
8	REVISION	1-13-18	MM
9	PLANS	1-13-18	MM
10	REVISION	1-13-18	MM

REID LERNER ARCHITECTS
 PHONE 408-842-9972
 FAX 408-842-9971
 RELOERNE@YAHOO.COM
 7680 MONTREY ST #105
 GILROY, CA 95020

PROPOSED NEW RESTAURANT/BAR
 CAPELO'S BBQ
 2635-2655 MIDDLEFIELD ROAD
 REDWOOD CITY, CA 94063

EXISTING SITE PLAN

Drawn MM
 Checked RL
 Date 12/25/18
 Scale AS NOTED
 For PLANNING
 Sheet A



EXISTING SITE PLAN
 EXISTING

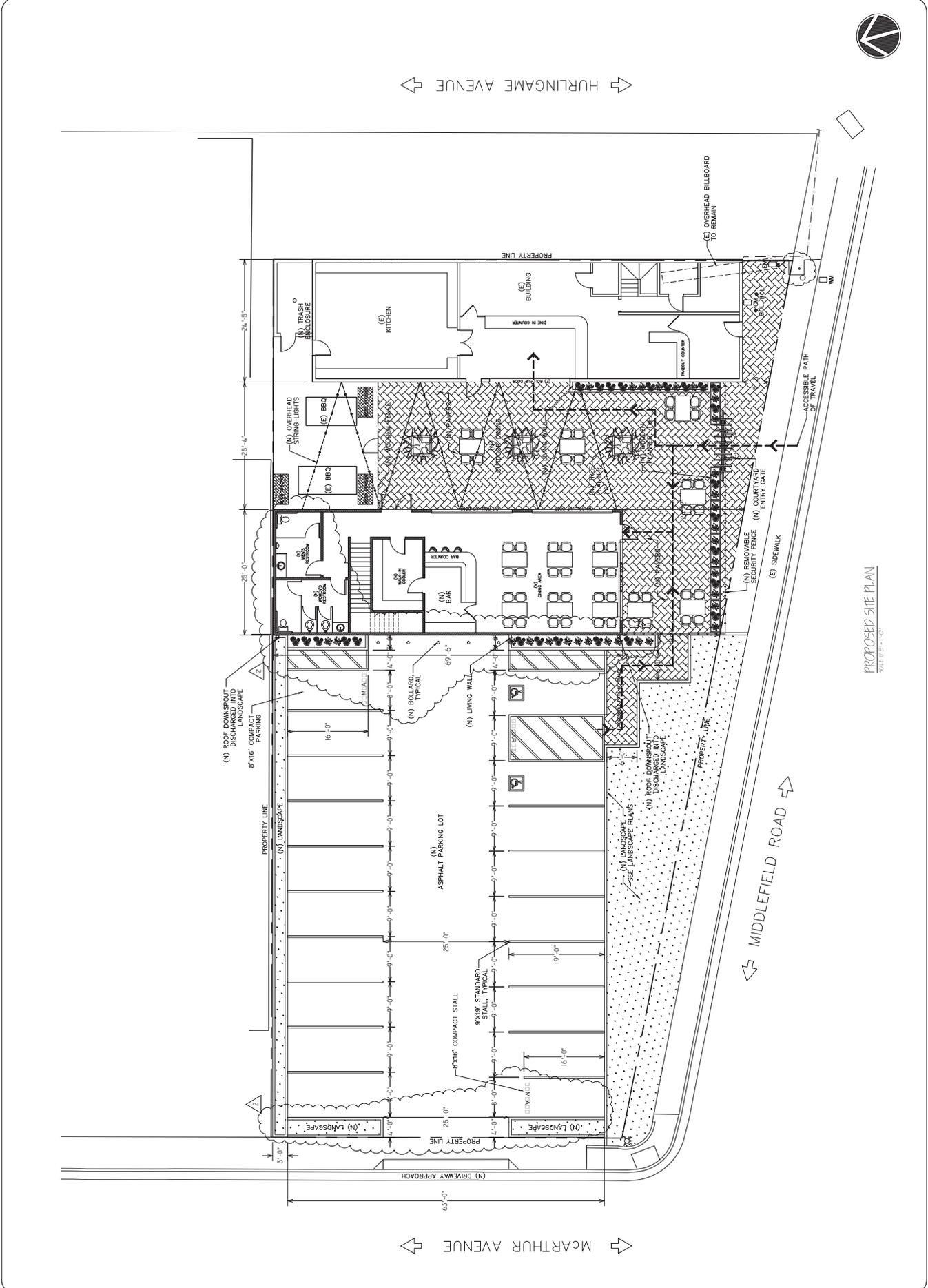
NO.	REVISION	DATE	BY
1	PLANNING COMMENTS	7-13-18	MM
2	REVISION	8-1-18	MM
3	PLANNING COMMENTS	8-1-18	MM
4	REVISION	1-24-20	MM

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PROPOSED NEW RESTAURANT/BAR
 CAPELO'S BBQ
 2635-2655 MIDDLEFIELD ROAD
 REDWOOD CITY, CA 94063

PROPOSED SITE PLAN

Drawn	MM
Checked	RL
Date	12/25/18
Scale	AS NOTED
For	PLANNING
Sheet	A



PROPOSED SITE PLAN
 12/25/18



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT D

NO.	REVISION	DATE	BY
1	PLUMBECK COMMENTS	7-13-18	MM
2	PLUMBECK COMMENTS	8-1-18	MM
3	PLUMBECK COMMENTS	9-11-18	MM
4	PLUMBECK COMMENTS	1-24-20	MM

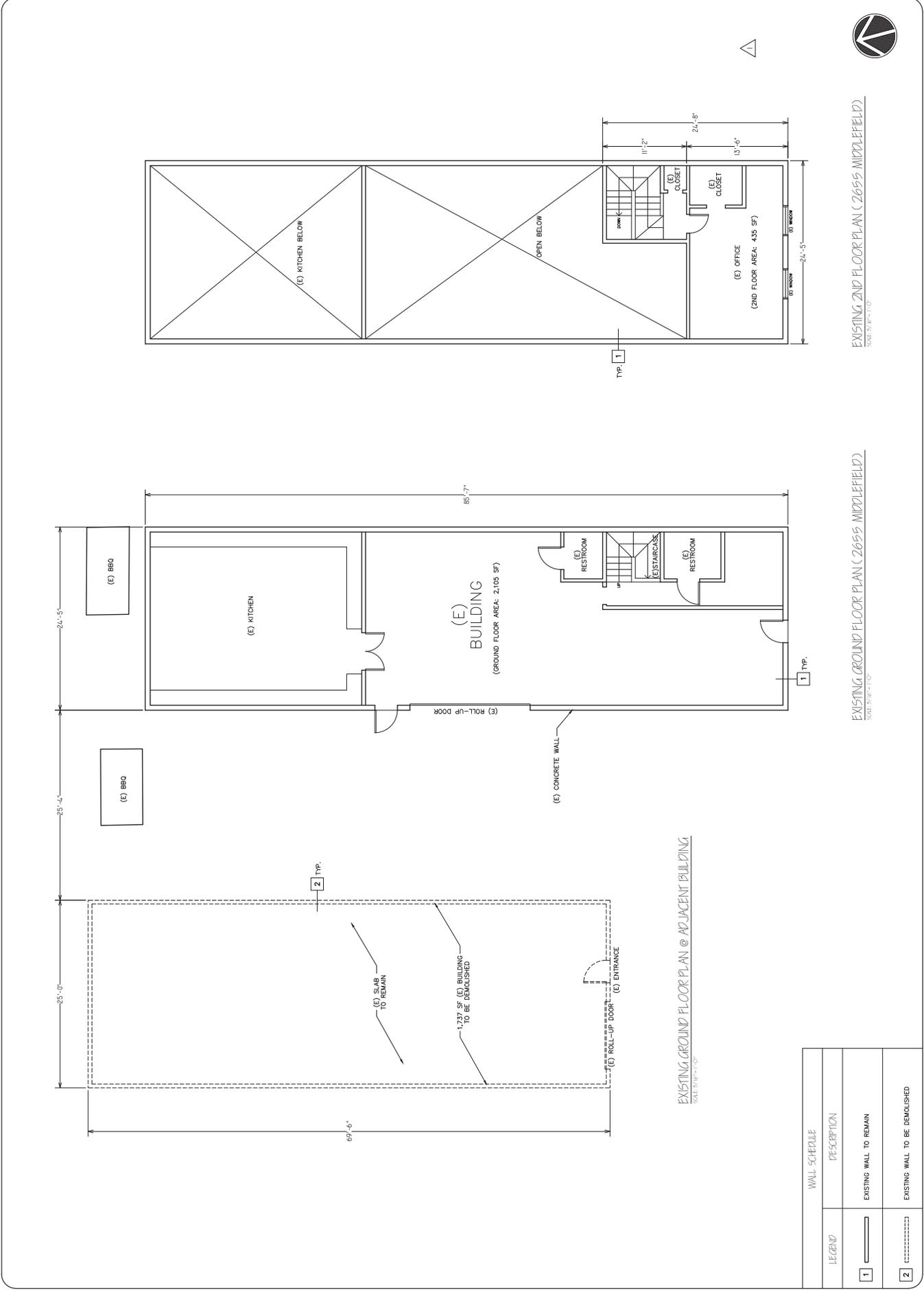


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PROPOSED NEW RESTAURANT/BAR
CAPELO'S BBQ
2635-2655 MIDDLEFIELD ROAD
REDWOOD CITY, CA 94063

PROPOSED FLOOR PLAN

Drawn	MM
Checked	RL
Date	12/29/18
Scale	AS NOTED
For	PLANNING
Sheet	A



EXISTING 2ND FLOOR PLAN (2655 MIDDLEFIELD)
SCALE: 3/8" = 1'-0"

EXISTING GROUND FLOOR PLAN (2655 MIDDLEFIELD)
SCALE: 3/8" = 1'-0"

EXISTING GROUND FLOOR PLAN @ ADJACENT BUILDING
SCALE: 3/8" = 1'-0"

WALL SCHEDULE	DESCRIPTION
1	EXISTING WALL TO REMAIN
2	EXISTING WALL TO BE DEMOLISHED



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT E

NO.	REVISION	DATE	BY
1	PLANS	12-13-18	MM
2	PLANS	12-13-18	MM
3	PLANS	12-13-18	MM
4	PLANS	12-13-18	MM
5	PLANS	12-13-18	MM
6	PLANS	12-13-18	MM
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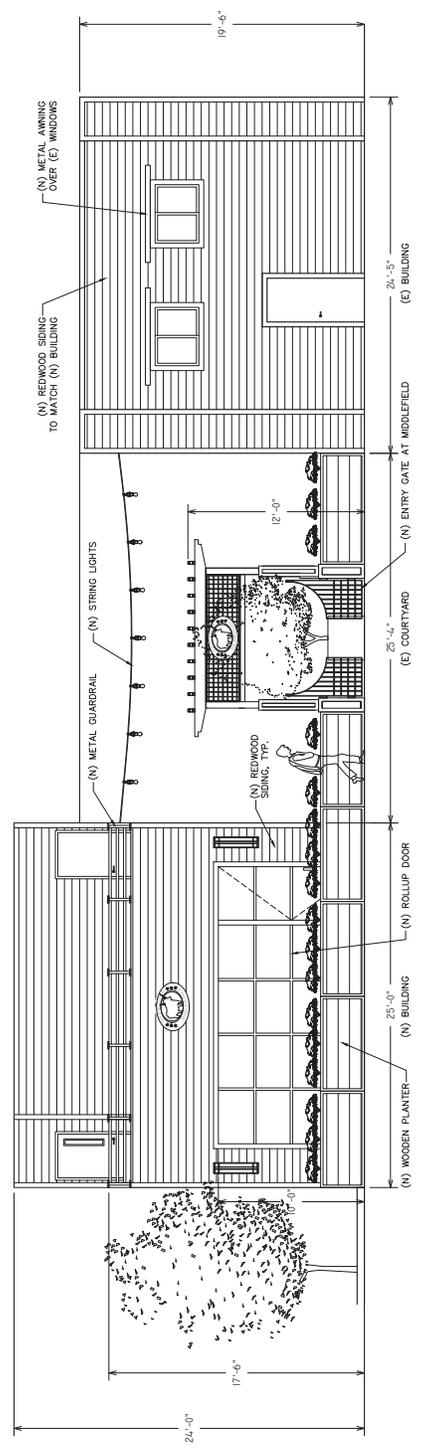


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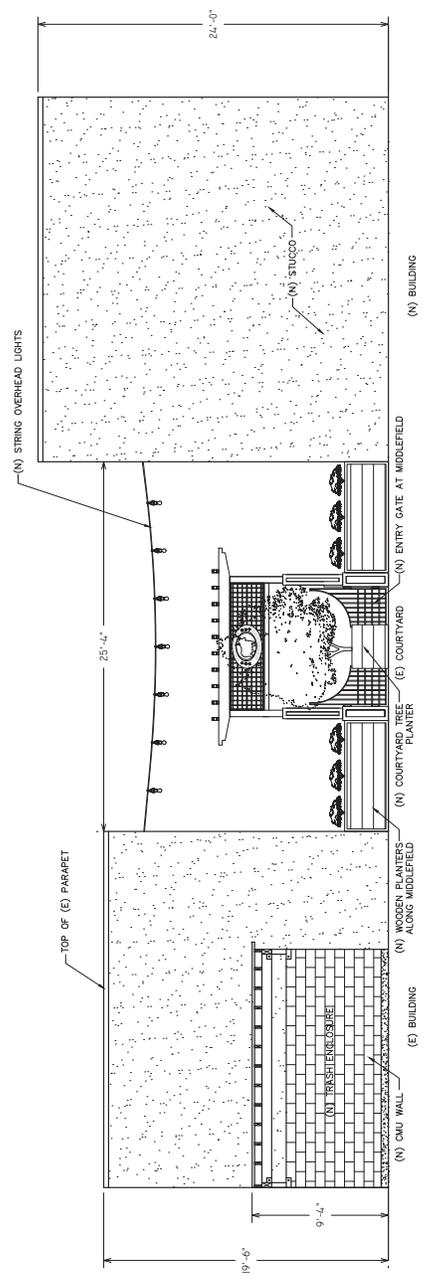
PROPOSED NEW RESTAURANT/BAR
 CAPELO'S BBQ
 2635-2655 MIDDLEFIELD ROAD
 REDWOOD CITY, CA 94063

PROPOSED ELEVATIONS

Drawn	MM
Checked	RL
Date	12/25/18
Scale	AS NOTED
For	PLANNING
Sheet	A



PROPOSED FRONT / SOUTH ELEVATION
 SCALE 1/4" = 1'-0"



PROPOSED REAR / NORTH ELEVATION
 SCALE 1/4" = 1'-0"

NO.	REVISION	DATE	BY
1	PLANS	1-11-18	MM
2	PLANS	1-11-18	MM
3	PLANS	1-11-18	MM
4	PLANS	1-11-18	MM
5	PLANS	1-11-18	MM
6	PLANS	1-11-18	MM
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10	PLANS	1-11-18	MM

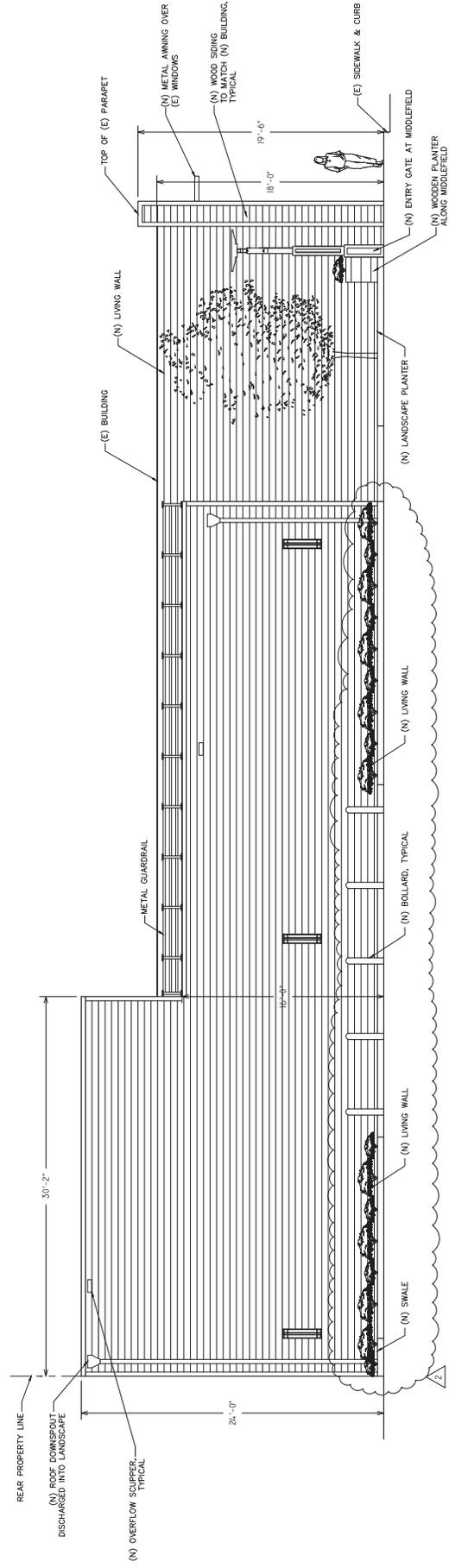


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 7680 MONTEREY ST #105
 GILROY, CA 95020

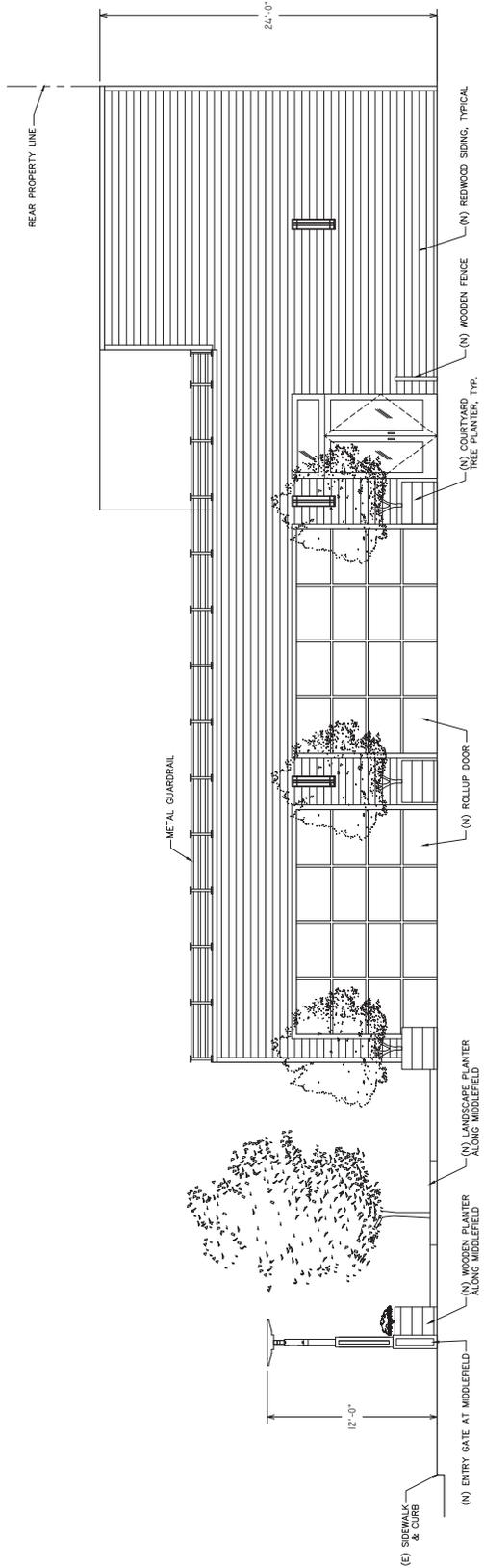
PROPOSED NEW RESTAURANT/BAR
 CAPELO'S BBQ
 2635-2655 MIDDLEFIELD ROAD
 REDWOOD CITY, CA 94063

PROPOSED ELEVATIONS

Drawn	MM
Checked	RL
Date	12/25/18
Scale	AS NOTED
For	PLANNING
Sheet	A



PROPOSED LEFT SIDE / WEST ELEVATION



PROPOSED RIGHT SIDE / EAST ELEVATION

SCALE: 1/4" = 1'-0"



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT F

NOTE: BUILDING PAD NOTES
 FOR CONSTRUCTION STAKING
 REQUIRED. REFER TO
 SCHEDULING OR QUANTITIES
 SHEETS FOR STAKING
 PLEASE CONTACT ALEX ABAYA
 AT LEA & BRAZE ENGINEERING
 (510)887-4086 EXT 116.
 alex.abaya@leabraze.com

NOTE: CONSTRUCTION STAKING
 REQUIRED. REFER TO
 SCHEDULING OR QUANTITIES
 SHEETS FOR STAKING
 PLEASE CONTACT ALEX ABAYA
 AT LEA & BRAZE ENGINEERING
 (510)887-4086 EXT 116.
 alex.abaya@leabraze.com

PRELIMINARY
 GRADING &
 DRAINAGE PLAN

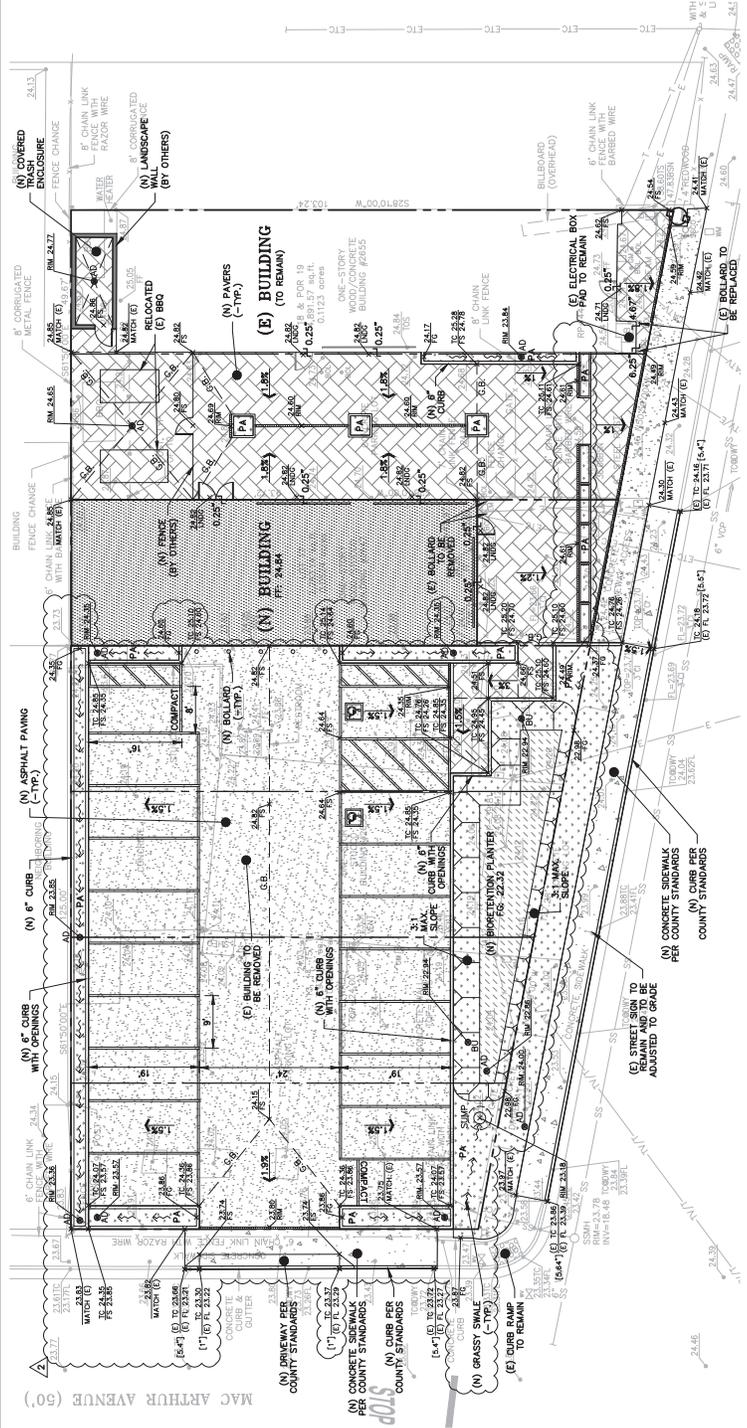
2635-2655 MIDDLEFIELD
 ROAD
 (UNINCORPORATED SAN MATEO COUNTY)
 REDWOOD CITY, CALIFORNIA
 SAN MATEO COUNTY
 APRN: 054-233-310, -320, -350

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 CIVIL ENGINEERS • LAND SURVEYORS
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 (415) 998-6133
 (415) 998-6133
 (415) 998-6133
 WWW.LEABRAZE.COM



LEGEND

- (N) CONCRETE PAVING
- (N) PAVERS
- (N) ASPHALT PAVING
- (N) LANDSCAPE AREA
- (N) BIURETENTION



MAC ARTHUR AVENUE (50)

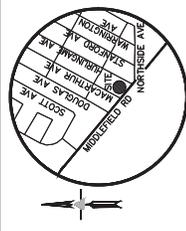


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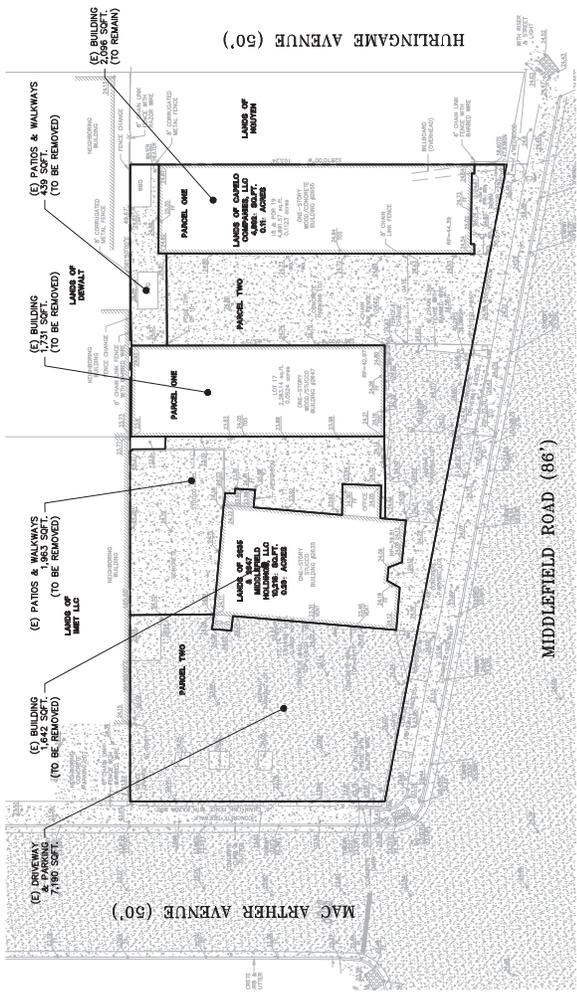
2635-2655 MIDDLEFIELD ROAD
 (UNINCORPORATED SAN MATEO COUNTY)
 REDWOOD CITY, CALIFORNIA
 APR. 054-23-210, -300, -350

SITE DEVELOPMENT
EXHIBIT

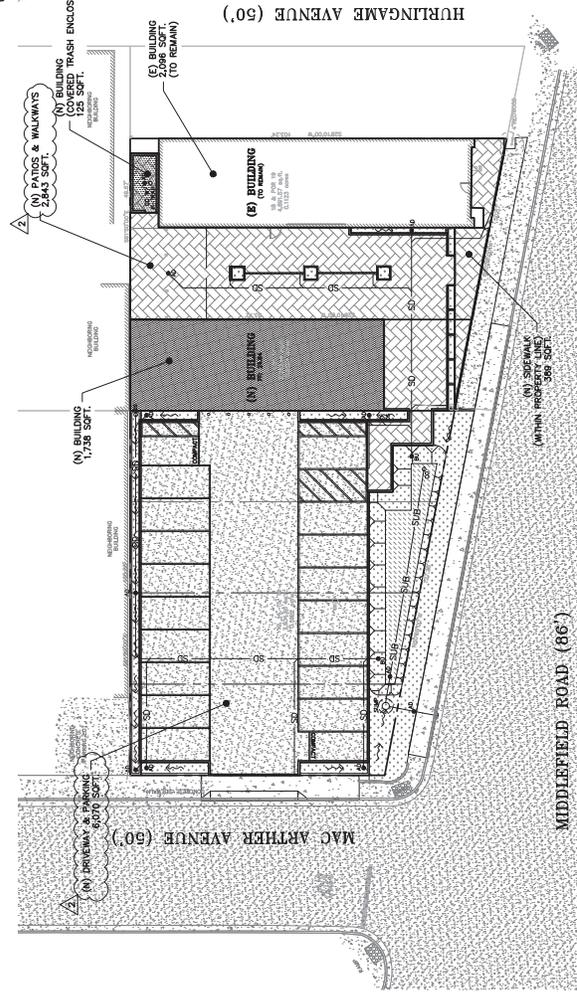
JOB NO: 2190044
 DATE: 03-28-19
 SCALE: AS NOTED
 DESIGN BY: DM
 DRAWN BY: DM
 SHEET NO: **SCP-1**
 7 OF 10 SHEETS



VICINITY MAP
 NO SCALE



EXISTING



PROPOSED



TABLE OF IMPERVIOUS AND PERVIOUS SURFACES

Type of Impervious Surface (Foot Area)	Area (sq. ft.)				
Impervious	5,469	2,096	1,983	0	3,959
Impervious	2,402	0	2,402	600	2,402
Impervious	15,060	2,096	10,335	830	13,261
Total Impervious Surfaces	15,060	2,096	10,335	830	13,261
Total Pervious Surfaces	49	0	0	0	49
Total Area (Total Impervious + Total Pervious)	15,110	2,096	10,335	830	13,310



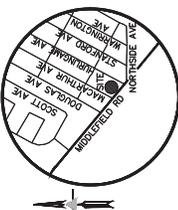
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 2555 INDUSTRIAL PARK WEST
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 REDWOOD CITY, CALIFORNIA
 SAN MATEO COUNTY
 APR. 054-23-210, -300, -350

STORMWATER CONTROL PLAN

DATE:	03-28-19
SCALE:	AS NOTED
DESIGN BY:	DM
DRAWN BY:	DM
SHEET NO.:	8
TOTAL SHEETS:	10

SCP-2
 8 OF 10 SHEETS



VICINITY MAP
 NO SCALE



GENERAL PLAN NOTES:

- THIS PROPOSED PROJECT IS A REGULATED PROJECT UNDER THE MUNICIPAL REGIONAL PERMIT (MRP) PROVISION C.3.
- THE PROJECT WILL CREATE AND REPLACE 11,233 SQUARE FEET OF IMPERVIOUS AREA.

SITE DESIGN MEASURES

- THIS PROPOSED SITE PLANS TO:
- DIRECT ROOF RUNOFF TO BIO-RETENTION FOR TREATMENT.
 - DIRECT PARKING LOT RUNOFF TO BIO-RETENTION FOR TREATMENT.
 - DIRECT PATIO AND WALKWAY RUNOFF TO BIO-RETENTION FOR TREATMENT.

SOURCE CONTROL MEASURES

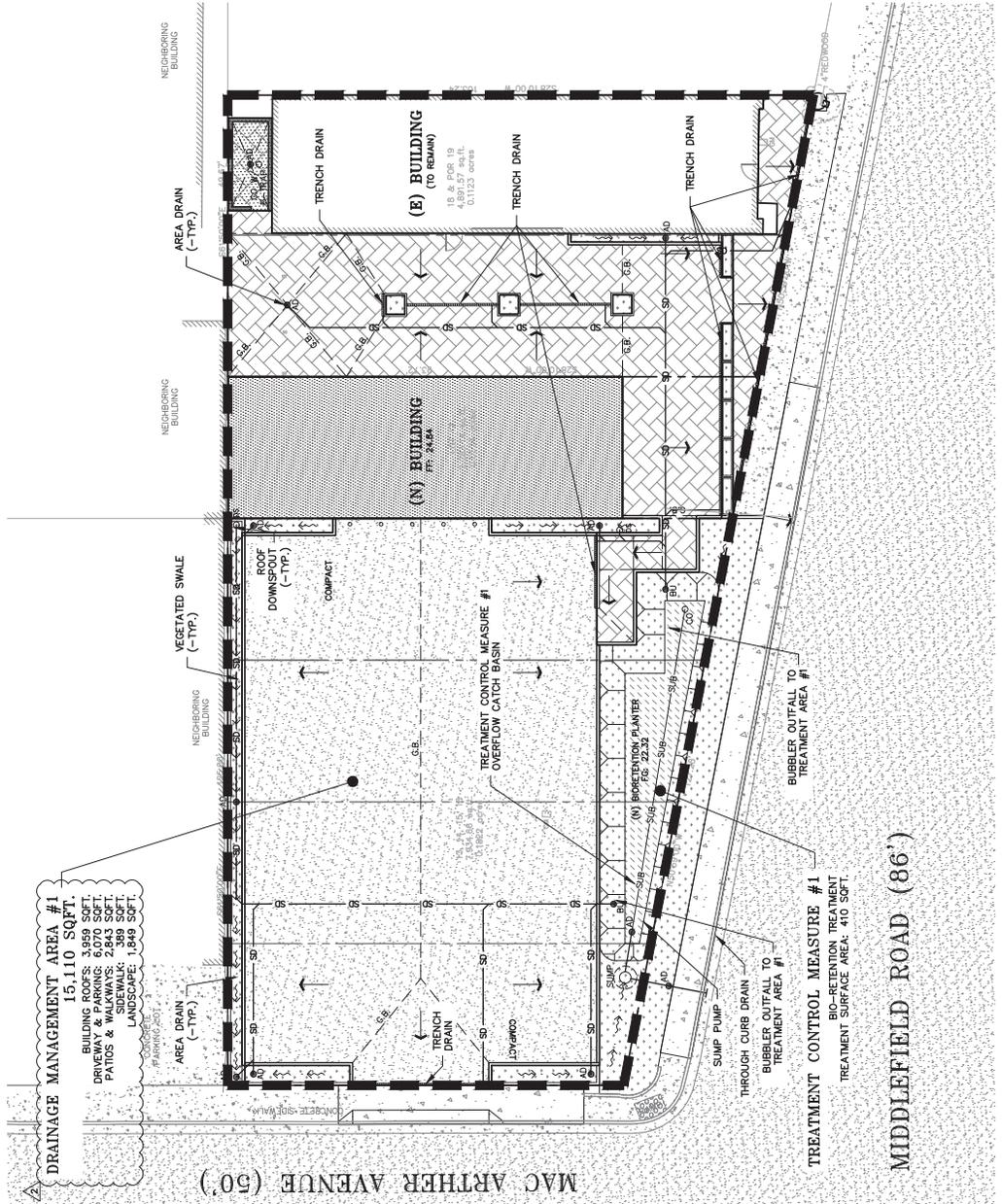
- THE PROPOSED SITE PLANS TO:
- INCORPORATE SUSTAINABLE LANDSCAPING PRACTICES, SUCH AS THE USE OF NATIVE PLANTS, MULCH, AND OTHER PRACTICES OF BAY FRIENDLY LANDSCAPING.
 - INSTALL STENCILING AT STORM DRAIN INLETS, SUCH AS "NO DUMPING - DRAINS TO BAY."
 - DESIGN FOR DISCHARGE OF FIRE SPRINKLER TEST WATER TO LANDSCAPE OR SANITARY SEWER.

STORMWATER TREATMENT MEASURES

- THE PROPOSED SITE PLANS TO:
- USE A BIO-RETENTION AREA TO PROVIDE LID TREATMENT TO IMPERVIOUS SURFACES.
 - USE BIO-RETENTION AREA IS SIZED USING THE COMBINATION FLOW AND VOLUME APPROACH.

HYDROMODIFICATION NOTE:

POST-CONSTRUCTION RUNOFF IS REDUCED TO BELOW THE PRE-CONSTRUCTION RATE BY A REDUCTION IN IMPERVIOUS SURFACE. HYDROMODIFICATION IS NOT PROPOSED FOR THIS PROJECT.



TREATMENT CONTROL MEASURE (TCM) SUMMARY TABLE

DRAINAGE MANAGEMENT AREA (DMA)	TREATMENT CONTROL MEASURE (TCM)	LOCATION	TREATMENT TYPE	LID OR NON-LID	SIZING METHOD	DRAINAGE IMPERVIOUS PERVIOUS AREA (PERVIOUS PAVEMENT) (SQ FT)	ON-SITE AREA TREATED BY LID OR NON-LID TOM (SQ FT)	BIO-RETENTION AREA REQUIRED (SQ FT)	BIO-RETENTION AREA PROVIDED (SQ FT)	OVERFLOW RISER HEIGHT REQUIRED (IN)	STORAGE PROVIDED (FT)
1	1	ON-SITE	BIORETENTION LINED WITH UNDERDRAIN	LID	3, COMBINATION FLOW & VOLUME METHOD**	15,110	13,261	0	1,849	100%	0
						TOTALS:	15,110	13,261	0	1,849	100%

LINED REFERS TO AN IMPERMEABLE LINER PLACED ON THE BOTTOM OF A BIORETENTION BASIN OR A CONCRETE FLOW-THROUGH PLANTER, SUCH THAT NO INFILTRATION INTO NATIVE SOIL OCCURS.
 **SIZING FOR BIO-RETENTION AREA REQUIRED CALCULATED USING THE COMBINATION FLOW AND VOLUME APPROACH PROVIDED IN THE C.3 HANDBOOK.



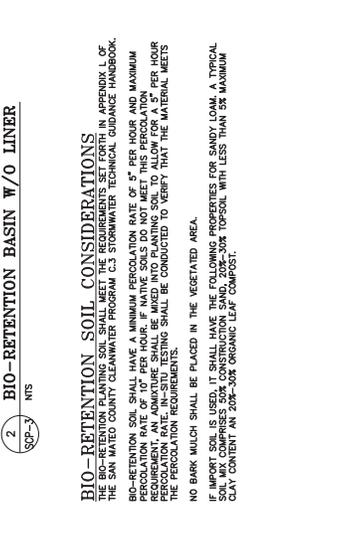
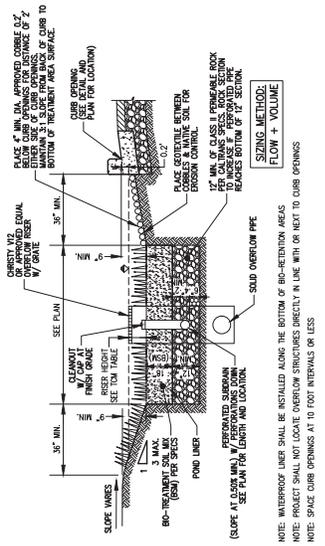
LEA & BRAZE ENGINEERING, INC.
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 HAYWARD, CALIFORNIA 94545
 (916) 887-6101
 (916) 887-7263
 WWW.LEABRAZE.COM

2635-2655 MIDDLEFIELD
 ROAD
 REDWOOD CITY, CALIFORNIA
 (UNINCORPORATED SAN MATEO COUNTY)
 APR. 054-233-310, -303, -300

STORMWATER CONTROL
 DETAILS

NO. 1
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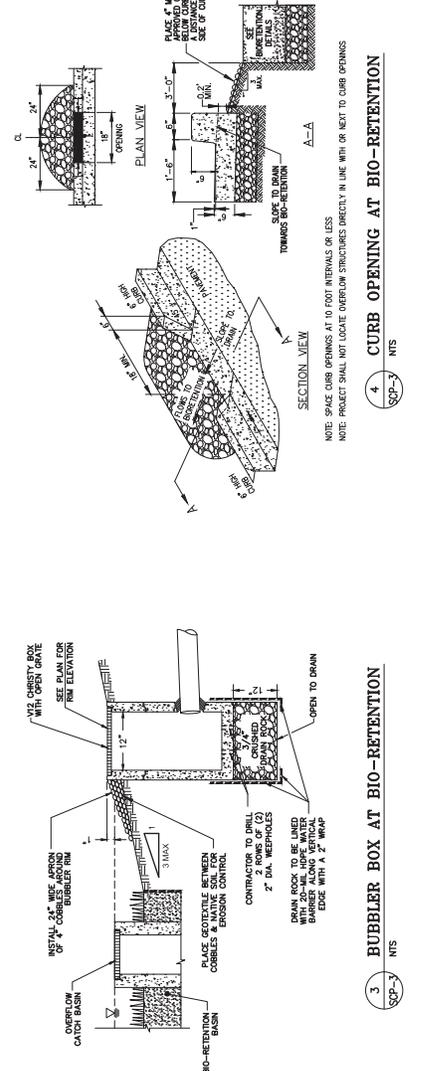
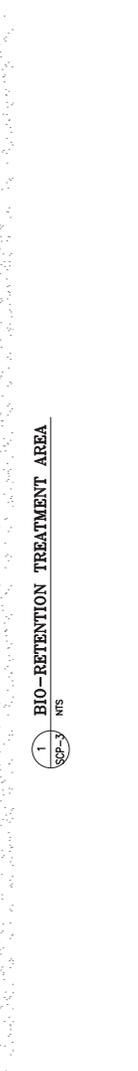
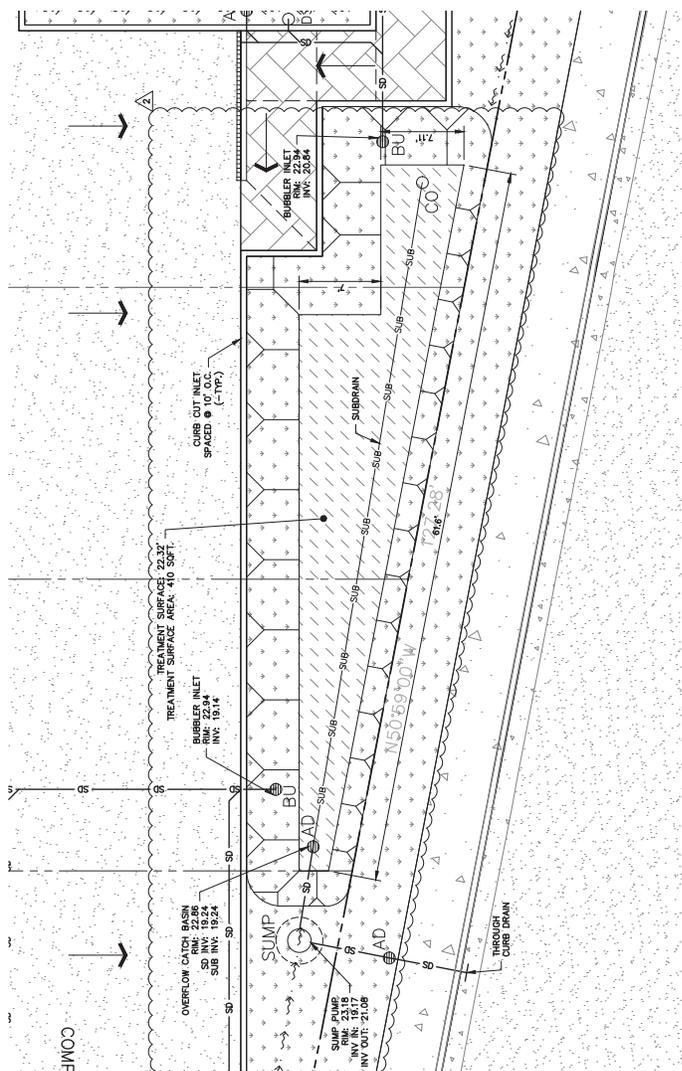
DATE: 03-28-19
 SCALE: AS NOTED
 DESIGN BY: DM
 DRAWN BY: DM
 SHEET NO.: SCP-3
 9 OF 10 SHEETS



BIO-RETENTION SOIL CONSIDERATIONS
 THE BIO-RETENTION PLANTING SOIL SHALL MEET THE REQUIREMENTS SET FORTH IN APPENDIX E OF THE SAN MATEO COUNTY CLEANWATER PROGRAM C3 STORMWATER TECHNICAL GUIDANCE HANDBOOK. BIO-RETENTION SOIL SHALL HAVE A MINIMUM PERCOLATION RATE OF 5" PER HOUR AND MAXIMUM PERCOLATION RATE OF 12" PER HOUR. PERCOLATION RATE SHALL BE MEASURED IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE PERCOLATION RATE, IN-SITU TESTING SHALL BE CONDUCTED TO VERIFY THAT THE MATERIAL MEETS THE PERCOLATION REQUIREMENTS.
 NO BARK MULCH SHALL BE PLACED IN THE VEGETATED AREA.
 IF IMPORT SOIL IS USED, IT SHALL HAVE THE FOLLOWING PROPERTIES FOR SANDY LOAM A TYPICAL SOIL TYPE: PERCENT SAND 70-80%, PERCENT SILT 10-15%, PERCENT CLAY 5-10%, ORGANIC MATTER 2-5%.

TABLE 1
 ROUTINE MAINTENANCE ACTIVITIES FOR BIORETENTION AREAS

NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	REMOVE OBSTRUCTIONS, USE OF LEAN BIORETENTION AREA AND ITS INLETS AND OUTLETS, AND DISPOSE OF PROPERLY.	QUARTERLY, BEFORE THE WET SEASON BEGINS
2	INSPECT BIORETENTION AREA FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 24 HOURS, TILL AND REPLACE THE SURFACE BIOTREATMENT SOIL WITH THE APPROVED SOIL MIX AND REPLANT.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
3	CHECK UNDERDRAINS FOR CLOGGING. USE THE CLEANOUT RISER TO CLEAN ANY CLOGGED UNDERDRAINS.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
4	INSURE THAT THE VEGETATION IS HEALTHY AND DENSE ENOUGH TO PROVIDE FILTERING AND PROTECT SOILS FROM EROSION. PRUNE AND WEED THE BIORETENTION AREA. REMOVE AND/OR REPLACE ANY DEAD PLANTS.	QUARTERLY
5	INSURE THAT THE VEGETATION IS HEALTHY AND DENSE ENOUGH TO PROVIDE FILTERING AND PROTECT SOILS FROM EROSION. PRUNE AND WEED THE BIORETENTION AREA. REMOVE AND/OR REPLACE ANY DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
6	INSURE THAT THE VEGETATION IS HEALTHY AND DENSE ENOUGH TO PROVIDE FILTERING AND PROTECT SOILS FROM EROSION. PRUNE AND WEED THE BIORETENTION AREA. REMOVE AND/OR REPLACE ANY DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
7	CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2-3 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY BEFORE WET SEASON BEGINS. IT IS RECOMMENDED THAT 2-3" OF MULCH SHOULD BE REAPPLIED EVERY YEAR.	ANNUALLY, BEFORE THE WET SEASON BEGINS
8	INSURE THAT THE VEGETATION IS HEALTHY AND DENSE ENOUGH TO PROVIDE FILTERING AND PROTECT SOILS FROM EROSION. PRUNE AND WEED THE BIORETENTION AREA. REMOVE AND/OR REPLACE ANY DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
9	INSPECT OVERFLOW PIPE TO ENSURE THAT IT CAN SAFELY CONVEY EXCESS FLOW. REMOVE AND/OR REPLACE ANY CLOGGED OVERFLOW PIPE. REMOVE TRASH AND DEBRIS. REPLACE DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
10	INSPECT OVERFLOW PIPE TO ENSURE THAT IT CAN SAFELY CONVEY EXCESS FLOW. REMOVE AND/OR REPLACE ANY CLOGGED OVERFLOW PIPE. REMOVE TRASH AND DEBRIS. REPLACE DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
11	INSPECT BIORETENTION AREA USING THE ATTACHED INSPECTION CHECKLIST.	ANNUALLY, BEFORE THE WET SEASON



1 BIO-RETENTION TREATMENT AREA
 NTS
 SCP-3

2 BIO-RETENTION BASIN W/O LINER
 NTS
 SCP-3

3 BUBBLER BOX AT BIO-RETENTION
 NTS
 SCP-3

4 CURB OPENING AT BIO-RETENTION
 NTS
 SCP-3

5 BUBBLER BOX AT BIO-RETENTION
 NTS
 SCP-3



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT G



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT H



2680 Middlefield Rd
 Redwood City, California

Google

Street View

CAPELO'S BARBECUE
 Craft Southern Barbecue
 Specialty in Pork, Sausage & Ribs

CAPELO'S BARBECUE
 650-701-5483

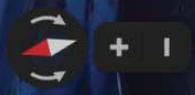
**TO GO COUNTER
 NOW OPEN!**
 capelosbarbecue.com

CAPELO'S BARBECUE
 TO GO COUNTER
 CUSTOMER PARKING

Middlefield Rd

Google

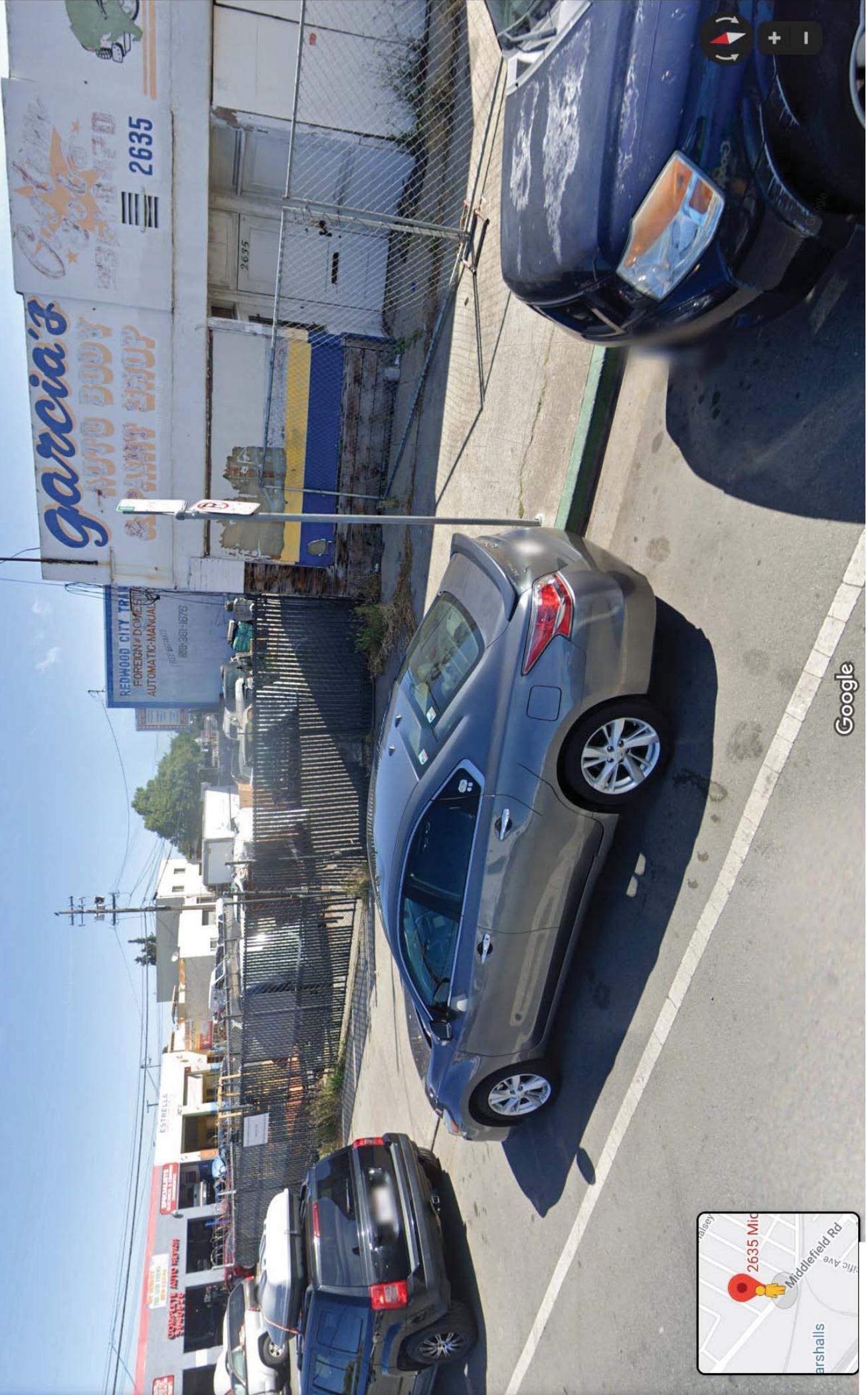




2674 Middlefield Rd
 Redwood City, California

Google

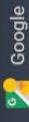
Street View



Google



2647 Middlefield Rd
Redwood City, California



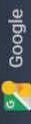
Street View

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Google

2680 Middlefield Rd
Redwood City, California



Street View

CAPELO'S BARBECUE
Craft Southern Barbecue
Serving up Pork, Chicken & Ribs

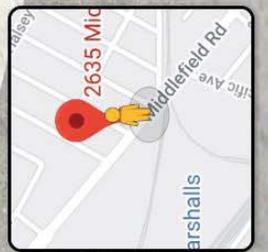
CAPELO'S BARBECUE
650-701-5433
TO GO COUNTER
NOW OPEN!
apelosbarbecue.com

CAPELO'S BARBECUE
TO GO COUNTER
CUSTOMER PARKING
7:30 AM - 10:00 PM
7 DAYS A WEEK



CAPELO'S BARBECUE

2655



Google





COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT I

COUNTY OF SAN MATEO
PLANNING AND BUILDING

County Government Center
455 County Center, 2nd Floor
Redwood City, CA 94063
650-363-4161 T
650-363-4849 F
www.planning.smcgov.org

August 14, 2019

John Capelo
The Capelo Companies LLC
2655 Middlefield Rd.
Redwood City, CA 94063

Dear Mr. Capelo:

SUBJECT: Bayside Design Review Continuance
PLN2018-00488
APNs 054-233-310, 054-233-330 and 054-233-350
County File No. PLN 2018-00488

At the August 7, 2019 meeting, the Bayside Design Review Committee (Committee) moved to continue review of a Design Review Permit recommendation for construction of a new 1,725 sq. ft. building, remodel of an existing 2,100 sq. ft. commercial kitchen and new 21-space parking lot for a single restaurant use. A Use Permit is required to allow outdoor seating within courtyard areas and on the rooftop of the new building. No significant trees will be removed. Two existing structures located at 2655 Middlefield Road will be demolished.

All property owners within 300 feet of the subject property were notified by mail and a notice was published on Saturday, July 27, 2019. One email which mentioned environmental concerns from the existing auto use on portion of the site was received. The resident was informed that the project qualifies for a Categorical Exemption under California Environmental Quality Act (CEQA) and that the use does not pose an impact which alters the applicability of the exemption.

At the meeting, the Committee stated that the proposal could be improved and better comply with the design standards found in Section 6565.18. The applicant was directed to address the following areas of consideration and/or revision:

- 1) Consider moving the location of stairs which lead to the roof away from the rear of the building.
- 2) Consider graffiti prevention design measures on exterior walls.
- 3) Consider lighting, a shading feature, and/or heating elements between two buildings.
- 4) Consider use of trees to provide visual barrier between street and eating area.
- 5) Create a better/more direct path for employees to have access to the trash.
- 6) Provide details on fencing or other security measures which have visual impacts.
- 7) Improve the visual integration of the two buildings.
- 8) Clarify patio flooring (i.e. pavers, polished concrete).

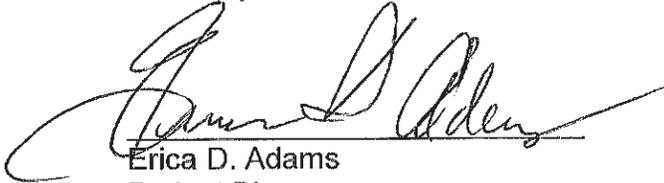


- 9) Examine the exterior material mix to improve views from the parking lot and courtyard, application of redwood, size of wood planks, horizontal and vertical patterns, and potential use of a belly band.
- 10) Improve street view of existing building, potentially with awnings.
- 11) Revise floor plan of existing building to label areas correctly.
- 12) Re-evaluate the exterior finishes which use glass.

The Design Review hearing of the project was continued to the September 4, 2019 meeting. The project plan revisions for the project must be submitted **by noon, Thursday, August 22, 2019** to schedule for the next month's Bayside Design Review Committee hearing. Errors on the plans or areas of non-compliance will delay processing.

If you have questions or need further information, please contact me at 650/363-1828 or by email at eadams@smcgov.org.

Sincerely,



Erica D. Adams
Project Planner

cc: Reid Lerner, Architect
Bayside Committee Members