

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: February 12, 2020

TO: Planning Commission

FROM: Planning Staff

SUBJECT: EXECUTIVE SUMMARY: Consideration of a Use Permit, Coastal Development Permit, Design Review Permit, Certificate of Compliance (Type B) and Lot Merger (Merger), pursuant to Sections 6500, 6328.4, 6565.3 of the San Mateo County Zoning Regulations and Sections 7123 and 7134.2 of the San Mateo County Subdivision Regulations, respectively, to legalize and merge two (2) undeveloped parcels that would result in one single undeveloped 9,512 sq. ft. project parcel and allow construction of a new 5,402 sq. ft., two-story mixed-use building, comprised of a 2,341 sq. ft. commercial space and 19 parking spaces on the first floor and two residential units on the second floor. The project is located in the unincorporated Moss Beach area of San Mateo County and is appealable to the California Coastal Commission.

County File Number: PLN 2018-00097 (Cox)

PROPOSAL

The applicant, Eric Cox, proposes to construct a new 5,402 sq. ft., two-story mixed-use building, comprised of a 2,341 sq. ft. commercial space and 19 parking spaces on the first floor and two (2) residential units on the second floor, located on two parcels totaling 9,512 sq. ft. that would be merged. No trees are proposed for removal and only minor grading is proposed. The project site is a vacant lot located at Cabrillo Highway and Virginia Avenue in the unincorporated Moss Beach area of San Mateo County, within the C-1/S-3/DR/CD (Neighborhood Business District) Zoning District. The subject site is fairly flat in topography. The site is located in the Cabrillo Highway County Scenic Corridor.

RECOMMENDATION

That the Planning Commission approve the Use Permit, Coastal Development Permit, Design Review Permit and Certificate of Compliance (Type B), County File Number PLN 2018-0097, based on and subject to the required findings and conditions of approval listed in Attachment A.

SUMMARY

Regarding the LCP, the project complies with policies regarding infill development, and design review standards. Policy 1.18 (*Location of New Development*) directs new development to existing urban areas in order to discourage urban sprawl and maximize the efficiency of public facilities, services and utilities. Also, the policy requires new development to be concentrated in urban areas by requiring the “infilling” of existing residential subdivisions. Policy 1.20 (*Definition of Infill*) defines infill as the development of vacant land in urban areas that is subdivided and zoned for development at densities greater than one dwelling unit per five (5) acres, and/or served by sewer and water. The project involves the construction of a new mixed-use building where public facilities, services and utilities are available. The property is within the existing “Moss Beach Addition No. 1”, filed in the County Recorder of San Mateo County on May 4, 1908, in the urban area of Moss Beach, where public facilities, services and utilities are available. LCP Policy 1.28 (*Legalizing Parcels*) requires a Coastal Development Permit (CDP) when issuing CoCs (Type B) to legalize parcels. On undeveloped parcels created before Proposition 20 (effective date January 1, 1973), it must be determined that the parcel configuration will not have any substantial adverse impacts on coastal resources, in conformance with the standards of review of the Coastal Development District regulations. Permits to legalize this type of parcel shall be conditioned to maximize consistency with LCP resource protection policies. Staff has determined that there is no evidence or reason to believe that the current parcel legalization would result in development impacting coastal resources. Condition No. 3 requires the property owner work with the Project Planner to record Certificate of Compliance (Type B) to establish the legality of the existing parcels, APN’s 037-133-100 and 037-133-110, and the Lot Merger, prior to the issuance of a building permit for the project. The owner shall provide, to the project planner, a legal description of the parcel for recordation. A recordation of the lot merger shall be completed immediately after the recordation of the Certificate of Compliance.

The Coastsides Design Review Committee (CDRC) considered the project at the April 11 and August 8, 2019 meetings where the CDRC determined that the project complies with applicable Design Review Standards to warrant a recommendation for project approval. The two-story “Mixed-Use” building is complementary to the adjacent structures in size, shape, and scale. Simple shapes, non-reflective surfaces, and a simple range of materials and colors are used for the roofs, while on-premise signs are integrated with the architectural design of the structure and do not extend above the roof line of the structure. Also, paved areas such as parking lots, driveways, sidewalks are well integrated into the site, relate to existing and proposed structures and landscaped to reduce visual impact.

The project complies with the development standards of the C-1/S-3 Zoning District. The proposed two-story building meets the height standards. The project’s design, scale, and size are compatible with other commercial buildings and residences located in the vicinity, with a proposed lot coverage of 32 percent (3,061 sq. ft.) of total lot size, where 50 percent (4,756 sq. ft.) is the maximum allowed.

A Use Permit is required for proposed “mixed-use” projects that include residential units located in the C-1 Neighborhood Business Zoning District. Staff has determined that the use would not be detrimental to the public welfare or injurious to property or improvements in said neighborhood based on project compliance with the C-1/S-3 development standards and design review standards.

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**COUNTY OF SAN MATEO
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County File Number: PLN 2018-00097 (Cox)

PROPOSAL

The applicant, Eric Cox, proposes to construct a new 5,402 sq. ft., two-story mixed-use building, comprised of a 2,341 sq. ft. commercial space and 19 parking spaces on the first floor and two (2) residential units on the second floor, located on two parcels totaling 9,512 sq. ft. that would be merged. No trees are proposed for removal and only minor grading is proposed. The project site is a vacant lot located at Cabrillo Highway and Virginia Avenue in the unincorporated Moss Beach area of San Mateo County, within the C-1/S-3/DR/CD (Neighborhood Business District) Zoning District. The subject site is fairly flat in topography. The site is located in the Cabrillo Highway County Scenic Corridor.

RECOMMENDATION

That the Planning Commission approve the Use Permit, Coastal Development Permit, Design Review Permit and Certificate of Compliance (Type B), County File Number PLN 2018-0097, based on and subject to the required findings and conditions of approval listed in Attachment A.

BACKGROUND

Report Prepared By: Dennis P. Aguirre, Project Planner, Telephone 650/363-1867

Owner: Thomas Moore

Applicant: Eric Cox

Location: Cabrillo Highway and Virginia Avenue, Moss Beach

APN's: 037-133-100; 037-133-110

Parcel Size after Proposed Lot Merger: 9,512 sq. ft.

Parcel Legality: Certificate of Compliance (Type B) to be considered at this Planning Commission meeting.

Existing Zoning: C-1/S-3/DR/CD (Neighborhood Business District/S-3 Combining District with 5,000 sq. ft. minimum parcel size/Design Review/Coastal Development)

General Plan Designation: Neighborhood Commercial (Trade and distribution uses including but not limited to retail trade; service uses including but not limited to business and professional offices).

Sphere-of-Influence: City of Half Moon Bay

Existing Land Use: Undeveloped

Water and Sewer Services: Montara Water and Sanitary District (MWSD)

Flood Zone: FEMA Flood Insurance Rate Map designation indicates parcel as Zone X, Areas of Minimal Flooding, Community Panel No. 06081C0119F, dated August 2, 2017.

Environmental Evaluation: Categorically exempt pursuant to Section 15303 of the California Environmental Quality Act (CEQA) Guidelines, related to the construction of limited numbers of new, small facilities or structures, including, for example, new construction of a multi-family residential structure totaling no more than six dwelling units in urbanized areas, and commercial buildings not exceeding 10,000 sq. ft. in floor area on sites zoned for such uses in urbanized areas, if not involving the use of significant amounts of hazardous substances where all necessary public services and facilities are available and the surrounding area is not environmentally sensitive.

Setting: The project site is a vacant lot located at the corner of Cabrillo Highway and Virginia Avenue in the unincorporated Moss Beach area of San Mateo County, within a general area of developed parcels comprising of commercial establishments along

Cabrillo Highway and single-family residential areas to the rear, northeast and east across Cabrillo Highway. The subject site is fairly flat in topography. Cabrillo Highway and Virginia Avenue bound this parcel eastward and northward, respectively, while other developed parcels are located to the south and east. The site is located in the Cabrillo Highway County Scenic Corridor.

Chronology:

<u>Date</u>	<u>Action</u>
March 9, 2018	- Application submitted.
April 11, 2019	- Coastside Design Review Committee (CDRC) reviews the proposal, recommending redesign of the proposed 2nd floor residential units to bring the design into conformance with applicable design standards and to address neighbors' concerns.
August 8, 2019	- Coastside Design Review Committee recommends approval of the revised design.
February 12, 2020	- Planning Commission public hearing.

DISCUSSION

A. KEY ISSUES

1. Conformance with the County General Plan

Upon review of the applicable provisions of the General Plan, staff has determined that the project complies with applicable General Plan Policies, including the following:

Urban Land Use Policy 8.30 (*Mixed Use*) encourages development which contains a combination of land uses (mixed-use development), particularly commercial and residential developments along major transportation corridors. The project's residential and office use combination complies with this policy, subject to the approval of a Use Permit required to allow residential development in the C-1 Neighborhood Zoning District, further discussed in Section 6 below. The project further complies with this policy due to the availability of Samtrans bus routes located 1,000 feet away from the project site along Etheldore Street.

Water Supply Policy 10.10 (*Water Suppliers in Urban Areas*) and Wastewater Policy 11.5 (*Wastewater Management in Urban Areas*) require consideration of water systems as the preferred method of water supply and

sewerage systems as the appropriate method of wastewater management in urban areas. The Montara Water and Sanitary District (MWSD), as the service provider for this urban area, has confirmed that water service and sewer connection are available for this site. Montara Water and Sanitary District has provided staff with a project review comment, including requirements to obtain a Domestic Water/Fire Protection Connection and Sewer Permits, submit fire flow calculations prepared by a Certified Fire Protection Contractor, and payment of fees prior to the issuance of a connection permit (see Condition No. 25-29).

2. Conformance with the Local Coastal Program

A Coastal Development Permit (CDP) is required for the mixed-use project and the Certificates of Compliance (Type B), pursuant to Section 6328.4 of the County Zoning Regulations for development in the Coastal Development (CD) District. The parcel is located in the Cabrillo Highway County Scenic Corridor. The property does not contain or adjoin an area of sensitive habitat. While the site is not within the California Coastal Commission's appeals jurisdiction, the CDP is appealable to the California Coastal Commission as the proposed use is not a principally permitted use in the underlying zone and the lots require legalization. Staff has determined that the project is in compliance with applicable Local Coastal Program (LCP) Policies, elaborated as follows:

a. Locating and Planning New Development Component

Policy 1.18 (*Location of New Development*) directs new development to existing urban areas in order to discourage urban sprawl and maximize the efficiency of public facilities, services and utilities. Also, the policy requires new development to be concentrated in urban areas by requiring the "infilling" of existing residential subdivisions and commercial areas. Policy 1.20 (*Definition of Infill*) defines infill as the development of vacant land in urban areas that is subdivided and zoned for development at densities greater than one dwelling unit per 5 acres, and/or served by sewer and water. The property is zoned C - 1/S-3/DR/CD. While the S-3 Zoning District allows one dwelling unit for every 1,250 sq. ft. of lot area (or 34.8 dwelling units/acre), the C-1 Zoning District limits the area of residential use to no more than the area of commercial use occupying the building, unless the additional floor area is developed as affordable (very low, low or moderate income) housing. The project does not include affordable housing; residential and commercial areas are equal in size. The project proposes two dwelling units on the property. Public sewer and water services are available to the property.

Policy 1.23 (*Timing of New Housing Development in the Midcoast*) limits the maximum number of new dwelling units built in the urban Midcoast to forty (40) units per calendar year so that roads, public services and facilities and community infrastructure are not overburdened resulting from new residential development. As of the print date of this report, only one (1) building permit has been issued for a new dwelling unit in the current 2020 calendar year.

Policy 1.28 (*Legalizing Parcels*) requires a Coastal Development Permit (CDP) when issuing CoCs (Type B) to legalize parcels. The applicant has submitted an application, along with the appropriate fees, for said permit. Policy 1.29 provides standards for review when legalizing parcels. On undeveloped parcels created before Proposition 20 (effective date January 1, 1973), it must be determined that the parcel configuration will not have any substantial adverse impacts on coastal resources, in conformance with the standards of review of the Coastal Development District regulations. Permits to legalize this type of parcel shall be conditioned to maximize consistency with LCP resource protection policies. As the project would be served by sewer and water, does not occur in proximity to sensitive resources, and is accessible from an existing public road, there is no evidence to indicate that the current parcel legalization would result in development impacting coastal resources.

Legalization of the subject parcel must also conform to the LCP's "Locating and Planning New Development" component, including policies addressed in Policy 1.5 (*Land Uses and Development Densities in Urban Areas*) that incorporate the adopted Montara-Moss Beach-El Granada Community Plan into the Land Use Plan. As mentioned in Section A.1, development of the parcel with a mixed-use building would comply with the County's General Plan, LCP, and Zoning.

b. Visual Resources Component

Visual Resources Policy 8.12(b) (*General Regulations*) and Policy 8.32 (Regulation of Scenic Corridors n Scenic Areas) apply the Design Review Zoning District to urbanized areas of the Coastal Zone, which includes Moss Beach. The project is, therefore, subject to Section 6565.17 of the Zoning Regulations and the design criteria found in the Community Design Manual. As discussed in Section 3.b of this report, the Coastside Design Review Committee (CDRC) considered this project at the regularly scheduled CDRC meetings of April 11, 2019 and August 8, 2019 and determined that the project is in compliance with applicable Design Review standards, and recommended project approval. See further discussion in Section 3.b.

Visual Resources Policy 8.13 (*Special Design Guidelines for Coastal Communities*) establishes design guidelines for Montara, Moss Beach, El Granada, and Miramar. The proposed building complies with these guidelines as follows:

- (1) On-site grading is not extensive and only limited to earth movement associated with standard construction activity.
- (2) The proposed materials for the building, such as Hardieplank lap siding and composite roof shingles, have a natural appearance.
- (3) The proposed design of the building uses hip and gable roofs, including composite shingles as the primary roof material.
- (4) The building dimensions, shape and form, and architectural details bring the proposed structure to scale with the rest of the buildings in the neighborhood.

3. Conformance with the Zoning Regulations

a. Conformance with S-3 District Development Standards

The proposal complies with the property's C-1/S-3/CD/DR Zoning designation, as indicated in the following table:

	S-3 Development Standards	Proposed
Minimum Site Area	5,000 sq. ft.	9,512 sq. ft. (after merger)
Minimum Lot Area Per Dwelling Unit	1,250 sq. ft.	4,756 sq. ft.
Maximum Number of Dwelling Units Allowed	8	2
Maximum Building Site Coverage	4,756 sq. ft. (50% maximum)	3,061 sq. ft. (32%)
Minimum Front Setback	0 ft.	0 ft.
Minimum Rear Setback (borders residential zoning district)	6 ft.	39 ft.
Minimum Right-Side Setback (commercial building)	0 ft.	5 ft.
Minimum Right-Side Setback (residential building)	10 ft.	10 ft.
Minimum Left Side Setback (commercial building)	0 ft.	8 ft.
Minimum Left-Side Setback (residential building)	5 ft.	8 ft.

	S-3 Development Standards	Proposed
Maximum Building Height	28 ft.	21 ft.
* For ease of understanding, height is represented here as the vertical distance from natural grade to the ridge of the roof at the highest point on the building. The height of the building, as measured in the C-1 as the vertical distance from the grade to the highest point of the average height of the highest gable of a pitch or hip roof, is 21 feet.		

The project site borders developed commercial property to the north and undeveloped commercial properties along Cabrillo Highway to the south, as well as single-family residential areas to the rear, northwest, and east across Highway 1 of the property.

The proposed two-story building meets the height standards. The project's design, scale, and size are compatible with other commercial buildings and residences located in the vicinity, with a proposed lot coverage of 32 percent (3,061 sq. ft.) of total lot size, where 50 percent (4,756 sq. ft.) is the maximum allowed.

b. Conformance with Design Review District Standards

The CDRC considered the project at a regularly scheduled CDRC meetings of April 11, 2019 and August 8, 2019 and adopted the findings to recommend project approval, pursuant to the Standards for Design in Other Areas, Section 6565.17 of the San Mateo County Zoning Regulations, specifically elaborated as follows:

- (1) Section 6565.17(L). Design of the structure is appropriate to the use of the property and is in harmony with the shape, size and scale of adjacent buildings in the community. Simple structural shapes are used to unify building design and to maintain an uncluttered community appearance. Simple shapes, non-reflective surfaces, and a simple range of materials and colors are used for the roofs.
- (2) Section 6565.17(N). The number, location, size, design, lighting, materials and use of colors in signs are compatible with the architectural style of the structure they identify and harmonize with their surroundings. On-premise signs are integrated with the architectural design of the structure and do not extend above the roof line of the structure.
- (3) Section 6565.17(O). Paved areas are integrated into the site, relate to their structure and are landscaped to reduce visual impact from residential areas and roadways. Paved areas such as parking lots, driveways, sidewalks are well integrated into the

site, relate to existing and proposed structures and landscaped to reduce visual impact.

4. Conformance with the Parking Regulations

The project provides a total of nineteen (19) parking spaces where four (4) covered parking spaces and fifteen (15) uncovered parking spaces including ADA parking spaces are allocated for the residential units and commercial spaces, respectively. The project includes two (2) 2-bedroom units each requiring 1.5 parking spaces pursuant to Section 6119 of the Zoning Regulations. Required parking for the 2,341 sq. ft. commercial space was calculated based on a conservative ratio of 1 parking space for every 160 sq. ft., in which fifteen (15) spaces are required. A conservative ratio was used as the type of commercial use has not been determined. The project meets the County's parking requirements.

5. Conformance with the Subdivision Regulations

A Conditional Certificate of Compliance (CoC Type B) is required to ensure compliance with County Subdivision Regulations.

The division of land creating the subject parcels that are to be merged must be legally confirmed because they are undeveloped lots of an antiquated subdivision; in this case, Lots 47, 48, 49 and 50 in Block 65, as shown on that certain map "Moss Beach Addition No. 1", filed in the County Recorder of San Mateo County on May 4, 1908. The County Subdivision Regulations Section 7134 allows for either a CoC (Type A) or CoC (Type B) to resolve and confirm a parcel's legality. To qualify for a CoC (Type A), it must be confirmed that the lot comprising the subject project parcel was conveyed separately from any surrounding lots prior to the County's adoption of its first Subdivision Ordinance in July 1945. If such conveyance is confirmed to have occurred after that date, a CoC (Type B) shall be required, as is the case with this application.

While the subject Lots 47, 48, 49 and 50 were initially part of the cited "Moss Beach Addition No. 1" recorded in 1908, lots 47 and 48 and lots 49 and 50 were conveyed together with other parcels until July 21, 1954 and May 29, 1947, respectively. Only at that time were the two parcels (each containing 2 lots) conveyed separately from adjacent lots, thus requiring the CoC (Type B). Section 7134.4.c allows for the approval and recordation of a CoC subject to a public hearing and the imposition of conditions of legalization, if necessary.

Regarding conditions of approval, Section 7134.6.(b) of the County Subdivision Regulations, states that the Community Development Director may impose any conditions which would have been applicable to any

development on the property at the time the applicant acquired his interest in the property. Since road access to the subject parcel exists, and water, power, and sanitary sewer services are available, there are no conditions applicable to the division of the property that have not been met.

Condition No. 3 requires the property owner to work with the Project Planner to record Certificate of Compliance (Type B) to establish the legality of the existing parcels, APN's 037-133-100 and 037-133-110, prior to the issuance of a building permit for the project.

6. Conformance with C-1 Zoning District Standards and Use Permit Findings

Section 6251 (C-1 Districts) of the Zoning Regulations requires a Use Permit for any residential use, including accessory buildings and uses. This section further requires residential dwelling units to be located above the first floor of the main building on the parcel and limits the floor area of the dwelling units to the amount of the floor area of the commercial uses occupying the building, unless the additional floor area is developed as affordable (very low, low or moderate income) housing. The project does not include affordable housing and includes equal areas of commercial and residential use.

The Use Permit process is outlined in Section 6500 of the Zoning Regulations. Staff's recommendation to approve the Use Permit is based on project compliance with the required finding:

"That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood."

Pursuant to Section 6503 of the San Mateo County Zoning Regulations, staff has determined that the establishment, maintenance and/or conducting of the use will not, under the circumstances of this case, result in a significant adverse impact to coastal resources. As described in Section 2 of this report, the parcel does not contain or adjoin an area of sensitive habitat, and the project complies with applicable LCP policies, specifically policies pertaining to the scenic corridor and infill development.

Staff has determined that the use would not be detrimental to the public welfare or injurious to property or improvements in said neighborhood based on project compliance with the C-1/S-3 development standards and design review standards. The CDRC has recommended approval based on the project's compliance with Standards for Design in Other Areas, Section 6565.17 of the San Mateo County Zoning Regulations and the Community Design Manual's standards. The provision of nineteen (19) parking spaces

complies with the required parking spaces for the building. The proposed mixed-use project complies with zoning requirements to locate the dwelling units above the first floor. Also, the floor area of the dwelling units does not exceed that of the commercial use. Access to public transportation located along Etheldore Street is readily available to this building.

B. ENVIRONMENTAL REVIEW

This project is exempt from environmental review pursuant to Section 15303, Class 3 of the California Environmental Quality Act (CEQA) Guidelines, related to construction of new, small structures, such as construction of a multi-family residential structure totaling no more than six (6) dwelling units in an urbanized area, and commercial buildings not exceeding 10,000 sq. ft. in floor area on sites zoned for such uses in urbanized areas, if not involving the use of significant amounts of hazardous substances where all necessary public services and facilities are available and the surrounding area is not environmentally sensitive.

C. REVIEW BY THE MIDCOAST COMMUNITY COUNCIL

Staff referred the project to the Midcoast Community Council (MCC) and received a letter dated May 9, 2018 (Attachment F) that included comments and recommendations regarding the Caltrans right-of-way (ROW), trash enclosure and parking. Midcoast Community Council finds the project compatible with the neighborhood character and scale. The recommendations involve improvements to the sidewalks that would require encroaching onto the Caltrans right-of-way. Upon consultation with Caltrans, the applicant was informed that no work should occur within this right-of-way. To address the other comments, the applicant submitted revised plans that show parking facilities have been provided for the commercial spaces and the trash enclosure area has been visually buffered by plants.

D. REVIEW BY CALTRANS

Staff referred the project to Caltrans and received a comment letter dated May 17, 2018 (Attachment E).

- Transportation Demand Management Program: Recommendation to include as part of the project in order to reduce Vehicle Miles Traveled (VMT) and greenhouse gas emissions.
- Bicycle and Pedestrian Improvements: Recommendation to evaluate the project's effect on pedestrians, bicyclists and other users.
- Concrete Mason Unit (CMU) Wall: Request for clarification on its sole location being only along the rear property line.

- Detailed Plans: Request for clarification on submitted project plans, i.e., location of property and setback lines.
- Requested Conditions of Approval: See Conditions 17-19.

As discussed above, the project is exempt from CEQA. The project would generate less than 100 peak hour trips. The County references C/CAG's Transportation Demand Management policies for analysis on potential impacts to development that is directly related to transportation. Since fewer than 100 peak hour trips is not significant, a Transportation Demand Management (TDM) Program would not be required for this project.

In order to address the other comments in the letter, staff has included as conditions of approval a requirement that the applicant pay fair share fees, install bike racks, and obtain encroachment permits if sidewalk improvements are undertaken as part of the project (Conditions 17-19).

Caltrans also requested information regarding property lines and setbacks on the submitted plans. Staff has forwarded a copy of this staff report including the revised plans to Caltrans to provide details on project scope. The plans also show that CMU wall would only be located on the rear property line.

E. REVIEW BY THE CALIFORNIA COASTAL COMMISSION

Staff forward a project referral to the California Coastal Commission (CCC) and did not receive any comments.

F. OTHER REVIEWING AGENCIES

Building Inspection Section
 Geotechnical and Drainage Section
 Department of Public Works
 Coastside Fire Protection District
 Montara Water and Sanitary District
 Midcoast Community Council
 California Coastal Commission
 Caltrans

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map
- C. Project Plans
- D. Site Photos
- E. Caltrans comment letter dated May 17, 2018.
- F. MCC comment letter dated May 9, 2019.

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County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2018-00097 Hearing Date: February 12, 2020

Prepared By: Dennis P. Aguirre
Project Planner

For Adoption By: Planning Commission

RECOMMENDED FINDINGS

Regarding the Environmental Review, Find:

1. That the proposed project is categorically exempt pursuant to Section 15303, Class 3 of the California Environmental Quality Act (CEQA) Guidelines, related to construction of new, small structures, such as construction of a multi-family residential structure totaling no more than six (6) dwelling units in an urbanized area, and commercial buildings not exceeding 10,000 sq. ft. in floor area on sites zoned for such uses in urbanized areas, if not involving the use of significant amounts of hazardous substances where all necessary public services and facilities are available and the surrounding area is not environmentally sensitive.

Regarding the Coastal Development Permit, Find:

2. That the project, as described in the application and accompanying materials required by the Zoning Regulations, Section 6328.4, and as conditioned in accordance with Section 6328.14, conforms with the applicable policies and required findings of the San Mateo County Local Coastal Program (LCP). Specifically, the project complies with policies regarding infill development, parcel legalization and compliance with design review standards and findings.
3. That the project conforms to specific findings required by policies of the San Mateo County Local Coastal Program. Specifically, the project complies with policies regarding infill development, scenic corridor, parcel legalization and compliance with design review standards and findings.
4. That the number of building permits for the construction of single-family residences issued in the calendar year does not exceed the limitations of LCP Policies 1.23 and 1.24.

Regarding the Design Review, Find:

5. That, with the conditions of approval recommended by the Coastside Design Review Committee (CDRC) at its meetings of April 11 and August 8, 2019, the project is in compliance with the Standards for Design in Other Areas, Section 6565.17 of the San Mateo County Zoning Regulations and the Community Design Manual. The two-story "Mixed-Use" building is complementary to the adjacent structures in size, shape, and scale. Simple shapes, non-reflective surfaces, and a simple range of materials and colors are used for the roofs, while on-premise signs are integrated with the architectural design of the structure and do not extend above the roof line of the structure. Also, paved areas such as parking lots, driveways, sidewalks are well integrated into the site, relate to existing and proposed structures and landscaped to reduce visual impact.

Regarding the Certificate of Compliance (Type B) Find:

6. That the processing of the Certificate of Compliance (CoC) (Type B) is in full conformance with the County Subdivision Regulations Section 7134 (Legalization of Parcels; Certificate of Compliance).
7. That the processing of the CoC (Type B) is in full conformance with Government Code Section 66499, et seq.

Regarding the Use Permit, Find:

8. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in said neighborhood based on the compliance with the C-1/S-3 development standards, design review standards and the absence of potential adverse environmental impacts on coastal resources. The project is exempt from CEQA pursuant to CEQA Guidelines Section 15303. The CDRC has recommended approval based on the project's compliance with the Community Design Manual's standards. The provision of nineteen (19) parking spaces complies with the required parking spaces for the building. The proposed mixed-use project complies with the requirements pursuant to Section 6251(b) of Zoning Regulations based on the dwelling units' second floor location and the ratio of residential and commercial uses. Access to public transportation is readily available to this building.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. The project shall be constructed in compliance with the plans approved by the Planning Commission on February 12, 2020. Any changes or revisions to the approved plans shall be submitted to the Design Review Officer for review and

approval prior to implementation. Minor adjustments to the project may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Design Review Officer may refer consideration of the revisions to the Coastside Design Review Committee, with applicable fees to be paid.

2. The Coastal Development Permit and Design Review Permit approvals shall be valid for five (5) years from the date of final approval in which time a building permit shall be issued and a completed inspection (to the satisfaction of the Building Inspector) shall have occurred within 180 days of its issuance. An extension of these approvals will be considered upon written request and payment of the applicable fees sixty (60) days prior to the permits' expiration.
3. Prior to the issuance of a building permit for the project, the owner shall work with the Project Planner to record the Certificate of Compliance (Type B) with the County Recorder's Office, as required to establish the legality of the existing parcels, APN's 037-133-100 and 037-133-110, and the Lot Merger. The owner shall provide, to the project planner, a legal description of the parcel for recordation. A recordation of the lot merger shall be completed immediately after the recordation of the Certificate of Compliance.
4. The applicant shall submit the following item and indicate the following on plans submitted for a building permit, as stipulated by the Coastside Design Review Committee:
 - a. Column posts at the business entrance roof overhangs shall be 8 inches by 8 inches wood with applied fascia elements that will create shadow lines.
 - b. At the small roof entrance, the overhang and posts shall be Sandstone in color.
 - c. The windows, doors and trims shall be Sandstone in color.
 - d. Apply a brown color tone on the railing to complement the bronze lighting fixtures.
5. During project construction, the applicant shall, pursuant to Chapter 4.100 of the San Mateo County Ordinance Code, minimize the transport and discharge of stormwater runoff from the construction site into storm drain systems and water bodies by:
 - a. Using filtration materials on storm drain covers to remove sediment from dewatering effluent.
 - b. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30.

- c. Removing spoils promptly, and avoiding stockpiling of fill materials, when rain is forecast. If rain threatens, stockpiled soils and other materials shall be covered with a tarp or other waterproof material.
 - d. Storing, handling, and disposing of construction materials and wastes so as to avoid their entry to the storm drain system or water body.
 - e. Avoiding cleaning, fueling or maintaining vehicles on-site, except in an area designated to contain and treat runoff.
 - f. Limiting and timing application of pesticides and fertilizers to avoid polluting runoff.
6. The applicant shall provide “finished floor elevation verification” to certify that the structure is actually constructed at the height shown on the submitted plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point in the vicinity of the construction site.
- a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
 - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
 - c. Prior to Planning approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
 - d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
 - e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.

- f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
7. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
8. All new power and telephone utility lines from the street or nearest existing utility pole to the project structures on the property shall be placed underground.
9. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Department of Public Works and the Coastside Fire Protection District.
10. No site disturbance shall occur, including any grading or vegetation removal, until a building permit has been issued.
11. To reduce the impact of construction activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
 - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on Cabrillo Highway and Virginia Avenue. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Cabrillo Highway and Virginia Avenue. There shall be no storage of construction vehicles in the public right-of-way.
12. The exterior color samples submitted to the CDRC are approved. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.

13. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving and Christmas (San Mateo Ordinance Code Section 4.88.360).
14. At the building permit application stage, the project shall demonstrate compliance with the Water Efficient Landscape Ordinance (WELO) and provide required forms. Water Efficient Landscape Ordinance applies to new landscape projects equal to or greater than 500 sq. ft. A prescriptive checklist is available as a compliance option for projects under 2,500 sq. ft. Water Efficient Landscape Ordinance also applies to rehabilitated landscape projects equal to or greater than 2,500 sq. ft.

The following restrictions apply to projects using the prescriptive checklist:

- a. Compost: The project must incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of six (6) inches into the landscape area (unless contra-indicated by a soil test).
 - b. Plant Water Use (Residential): Install climate adapted plants that require occasional, little, or no summer water (average WUCOLS plant factor 0.3) for 75 percent of the plant area excluding edibles and areas using recycled water.
 - c. Mulch: A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers.
 - d. Turf: Total turf area shall not exceed 25 percent of the landscape area. Turf is not allowed in non-residential projects. Turf (if utilized) is limited to slopes not exceeding 25 percent and is not used in parkways less than ten (10) feet in width. Turf, if utilized in parkways, is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff.
 - e. Irrigation System: The property shall certify that Irrigation controllers use evapotranspiration or soil moisture data and utilize a rain sensor; Irrigation controller programming data will not be lost due to an interruption in the primary power source; and Areas less than ten (10) feet in any direction utilize sub-surface irrigation or other technology that prevents overspray or runoff.
15. The project site is located within the Fitzgerald Area of Special Biological Significance (ASBS) Watershed. Runoff and other polluted discharges from the site are prohibited. Development shall minimize erosion, treat stormwater from new/replaced impervious surfaces, and prevent polluted discharges into the ASBS

or a County storm drain (e.g., car washing in a driveway or street, pesticide application on lawn).

16. The project site is located within the Fitzgerald Area of Special Biological Significance (ASBS) Watershed and is considered a Construction Stormwater Regulated Site. Weekly construction inspections are required throughout the duration of land disturbance during the rainy season (October 1 to through April 30) for sites within the ASBS Watershed, as required by the State Water Resources Control Board General Exceptions to the California Ocean Plan with Special Protections adopted on March 20, 2012.

Caltrans

17. The applicant shall install bicycle racks for the building.
18. The applicant shall coordinate with Caltrans to establish and pay an equitable fair share fee contribution structure for the improvement of stop locations that service the project site.
19. In the event that improvements are required within the Caltrans ROW, the applicant shall apply for an encroachment permit from Caltrans.

Building Inspection Section

20. The project requires a building permit.
21. Prior to the issuance of the Building permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Building Inspection Section for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the storm water onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Building Inspection Section for review and approval.

Department of Public Works

22. Prior to the issuance of the building permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes(not to exceed 20 percent) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan

and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.

23. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. The applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
24. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No. 3277.

Montara Water and Sanitary District

25. Prior to the issuance of a building permit, the applicant shall obtain Domestic Water/Fire Protection Connection and Sewer Permits, including the submittal of adequate fire flow calculations from a Certified Fire Protection Contractor.
26. Prior to the issuance of a Private Fire Protection Permit, payment of a connection charge is required.
27. Prior to issuance of a building permit, the applicant is required to submit final plans, drawings, water consumption estimates, fire flow requirements and engage in a Development Agreement for permits with Montara Water and Sanitary District.
28. The installation of a Grinder Pump is required.
29. If the existing sewer line is inadequate to serve the project, a Sewer mainline upgrade and payment of Sewer Connection Fees will be required.

Geotechnical Section

30. A geotechnical report is required at the building permit stage.

Coastside Fire Protection District (CFPD)

For the commercial portion of the building:

31. Building shall meet Section 503.1.1 of the 2013 CFC for building access.
32. A certificate of completion for sprinkler, fire alarm and underground is required.
33. Building Classification: Please indicate on the plans the following information:

- a. Occupancy Classification
 - b. Type of Construction
 - c. Site Plan indicating the location of the building in relationship to all property lines
 - d. Occupant Load Calculations with an exit analysis
34. Fire Hydrant: An approved fire hydrant (Clow 960) must be located within 500 feet measured by way of drivable access from the proposed project. The hydrant must have a minimum flow of 1,500 gallons per minute at 20 pounds per square inch residual pressure for a minimum of 2 hours. If you have not already done so, please submit a site plan showing all underground piping to the San Mateo County Building Inspection Section for review and approval.
 35. Automatic Fire Sprinkler System: The proposed project must be equipped with an approved NFPA 13 fire sprinkler system throughout. You will not be issued a building permit until fire sprinkler plans are received, reviewed and approved by the fire district. If you have not already done so, please submit the required plans to the San Mateo County Building Department. Please be advised that the sprinkler system design shall be based on an at least Ordinary-Group 9 classification or higher classification based on stored commodity. Please provide information as to commodity. Please submit plans showing the location of all required fire sprinkler hardware to the San Mateo County Building Inspection Section.
 36. Emergency Building Access: The proposed project will require the installation of "Knox Boxes". These emergency key boxes are required when access to or within a structure or an area is unduly difficult because of secured openings or where immediate access is necessary for life saving or fire-fighting purposes. The Chief will determine the location for the key box and provide an authorized order form. All security gate systems controlling vehicular access shall be equipped with a "Knox"; key operated emergency entry device. Applicant shall contact the Fire Prevention Bureau for specifications and approvals prior to installation.
 37. Address Numbers: Building identification shall be conspicuously posted and visible from the street. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). The letters/numerals for permanent address numbers shall be of 6-inch height with a minimum 3/4-inch stroke and of a color, which is contrasting with the background. Such letter/numerals shall be illuminated and facing the direction of access.
 38. Exit Doors: Exit doors shall be of the pivoted type or side hinged swinging type. Exit doors shall swing in the direction of exit when serving an occupant load of 50 or more.

Special Doors: Revolving, sliding and overhead doors shall not be used as required exits. Power operated doors complying with CBC Standard No. 10-1 may be used for exit purposes.

Additional Doors: When additional doors are provided for egress purposes, they shall conform to all the provisions of CBC chapter ten.

39. Exit Door Hardware: Exit door(s) shall be operable from the inside without the use of a key, special knowledge or effort. Exception: main exit doors may be equipped with a keyed-locking device if there is a readily visible sign on or adjacent to the door stating, "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED." The letters in the sign shall not be less than 1-inch in height.
40. Exit Illumination: Illumination: Signs shall be internally or externally illuminated by two electric lamps or shall be of an approved self-luminous type. Power Supply: Current supply to one of the lamps for exit signs shall be provided by the premises wiring system. Power to the other lamp shall be from storage of batteries or an on-site generator set. Include exit illumination with electrical plans and submit to the San Mateo County Building Inspection Section for review and approval.
41. Exit Signage: Where required: When more exits from a story are required by Chapter 10 of the CBC, exit signs shall be installed at stair enclosures, horizontal exits and other required exits from the story. When 2 or more exits are required from a room or area, exit signs shall be installed at the required exits from the room or area and where otherwise necessary to clearly indicate the direction of egress. Exception: Main exit doors, which obviously are clearly identifiable as exits (glass door). Show exit plans on plans submitted to the San Mateo County Building Inspection Section for review and approval.

When exit signs are required by Section 1011.2 / 1011.7 of the CBC, additional approved low-level exit signs, which are internally or externally illuminated, photo luminescent or self-luminous, shall be provided in all interior rated exit corridors serving guest rooms of hotels in Group R, Division 1 Occupancies, and other occupancies as determined by the code.

42. Occupancy Load Sign: Any room having an occupant load of 50 or more where fixed seats are not installed, and which is used for classroom, assembly or similar purpose, shall have the capacity of the room posted in a conspicuous place.
43. Fire Alarm System: This project is required to have installed an approved NFPA 72 Fire Alarm System throughout. The system is to monitor any flow through the required automatic fire sprinkler system, any fire sprinkler valve tamper and all heat and smoke detectors. The system will also include an exterior bell and interior horn/strobes, which are required to be wired to the alarm system and the flow switch for the fire sprinkler system. The FACP shall be protected with a

smoke detector as per NFPA 72, Section 1-5.6 and a manual pull station. A wiring inspection is required to be conducted by the CFPD prior to covering walls and ceiling areas. All systems and components must be tested per manufactures specifications and NFPA 72. Battery backup shall meet or exceed requirements for amp-hour rating and must be tested as per manufactures specification and NFPA 72.

44. Vegetation Management: The CFPD Ordinance 2016-01, the 2013 California Fire Code and Public Resources Code 4291:
 - a. A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. In SRA (State Responsible Area) the fuel break is 100 feet or to the property line.
 - b. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 to 10 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.
 - c. Remove that portion of any existing tree, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure.
45. Fire Extinguishers: There must be at least one (1) 2A10BC fire extinguisher for each 3,000 sq. ft., travel distance not to exceed 75 feet with at least one (1) extinguisher per floor per Title 19, California Code of Regulations.
46. Community Facilities District: The CFPD requires the formation of a Mello-Roos Community Facilities District (CFD) for all new construction of three (3) or more residential units or commercial space exceeding 4,000 square feet. Please contact the CFPD administration office for more details. Please be advised that the formation of a CFD takes approximately three months. The formation of a CFD is a condition of development and required to be completed prior to Fire Protection District final approval and sign-off on the project.

For the Residential Portion of the Building:

47. Smoke Detectors which are hard wired: As per the California Building Code, State Fire Marshal regulations, and CFPD Ordinance 2016-01, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and recondition sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final.

48. Add note: Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet, 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor. (CFC 1030).
49. Identify rescue windows in each bedroom and verify that they meet all requirements. Add this to plans.
50. Occupancy Separation: As per the 2016 CBC, Section 406.3.4, a one-hour occupancy separation wall shall be installed with a solid core, 20-minute fire rated, self-closing door assembly w/ smoke gasket between the garage and the residence. All electrical boxes installed in rated walls shall be metal or protected.
51. Attached garage to meet occupancy separation requirements. Provide note/detail. CRC R302.5 / R302.6.
52. Add the following note to the plans: New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the CFPD. This remote signage shall consist of a 6 inch by 18-inch green reflective metal sign with 3-inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent.
53. Roof Covering: As per CFPD Ordinance 2016-01, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
54. Vegetation Management: The CFPD Ordinance 2016-01, the 2016 California Fire Code and Public Resources Code 4291.
 - a. A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. In SRA (State Responsible Area) the fuel break is 100 feet or to the property line.
 - b. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 to 10 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.

- c. Remove that portion of any existing tree, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure.
55. 13R Automatic Fire Sprinkler System for apartments: As per San Mateo County Building Standards and CFPD Ordinance Number 2016-01, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. All areas that are accessible for storage purposes shall be equipped with fire sprinklers. The plans for this system must be submitted to the San Mateo County Planning and Building Department. A building permit will not be issued until plans are received, reviewed and approved. Upon submission of plans, the County will forward a complete set to the CFPD for review. The fee schedule for automatic fire sprinkler systems shall be in accordance with CFPD Ordinance No. 2006-01. Fees shall be paid prior to plan review.
56. Installation of underground sprinkler pipe shall be flushed and visually inspected by Fire Protection District prior to hook-up to riser. Any soldered fittings must be pressure tested with trench open. Please contact John Riddell, Fire Inspector at 916/943-8112 to schedule an inspection.
57. Exterior bell and interior horn/strobe: are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener are to be wired into a separate circuit breaker at the main electrical panel and labeled.

Stormwater Source Control Measures

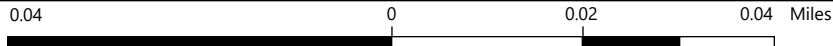
58. Prior to Planning approval of the building permit, the applicant shall show the following source controls and identify the detail/plan sheet where these elements are shown.
- a. Mark on-site inlets with the words “No Dumping! Flows to Bay” or equivalent.
 - b. Provide a roofed and enclosed area for dumpsters, recycling containers, etc., designed to prevent stormwater run-on and runoff.
 - c. Connect any drains in or beneath dumpsters, compactors, and tallow bin areas serving food service facilities to the sanitary sewer.
 - d. Design for discharge of fire sprinkler test water to landscape or sanitary sewer.

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County of San Mateo - Planning and Building Department

ATTACHMENT B



WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

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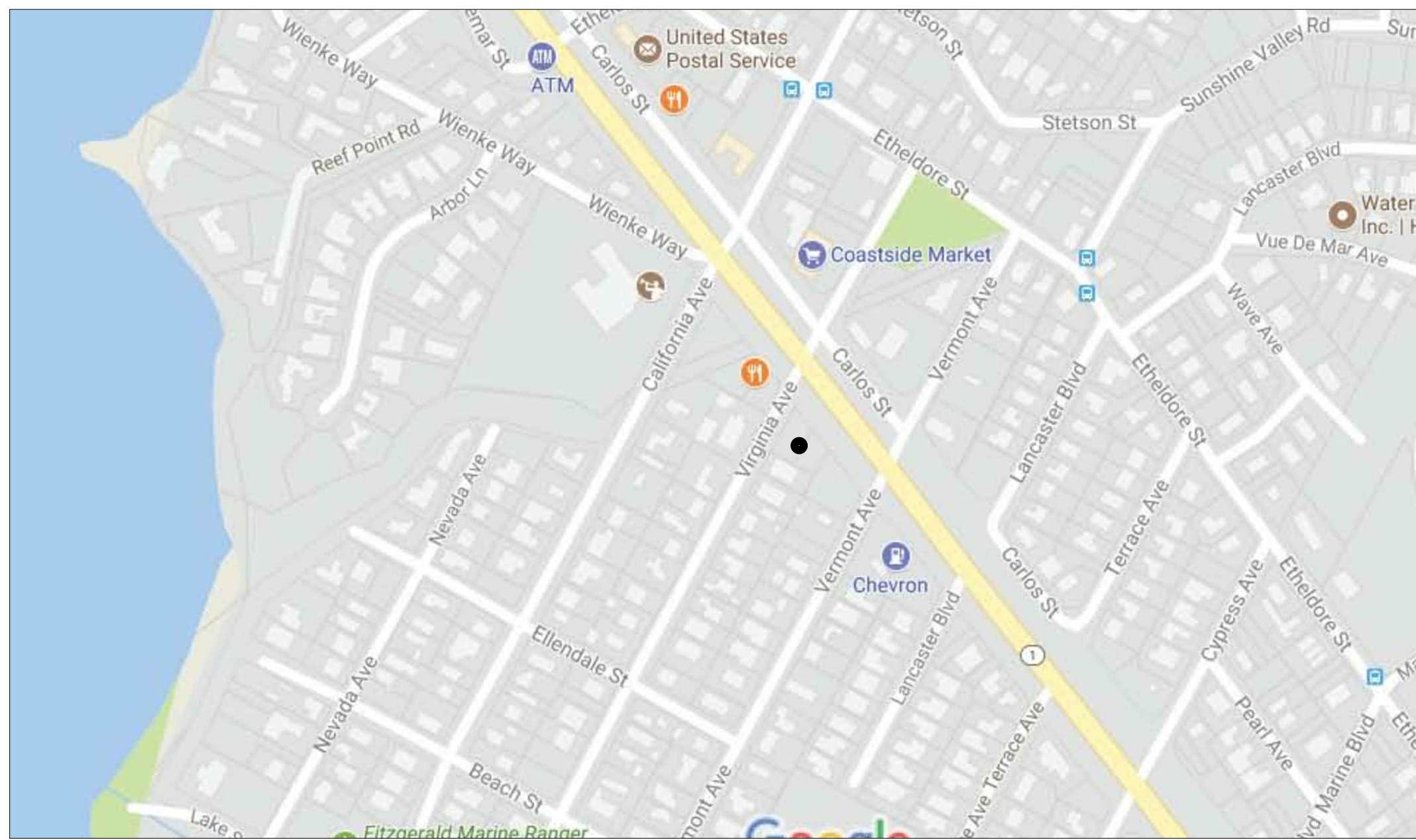
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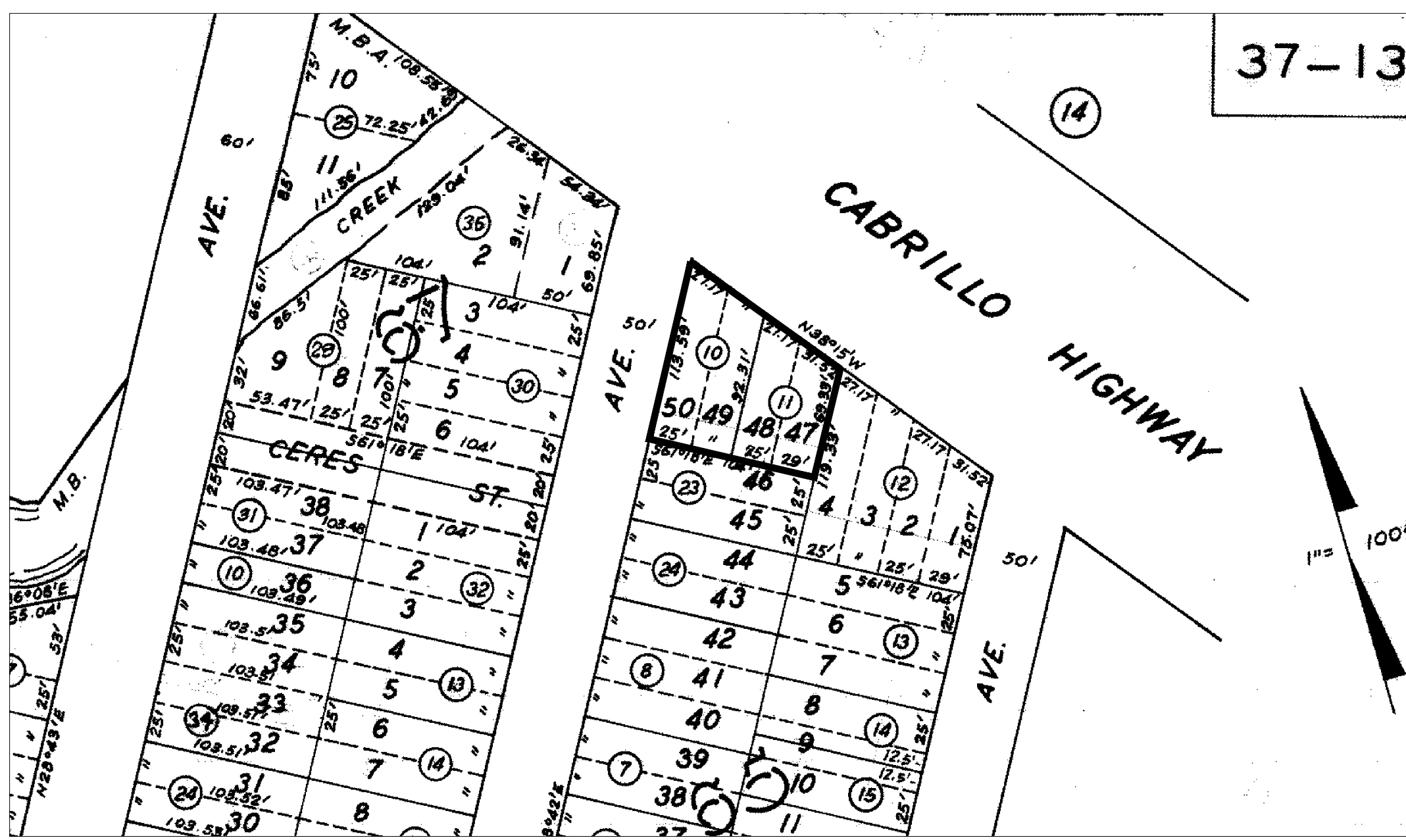
County of San Mateo - Planning and Building Department

ATTACHMENT C



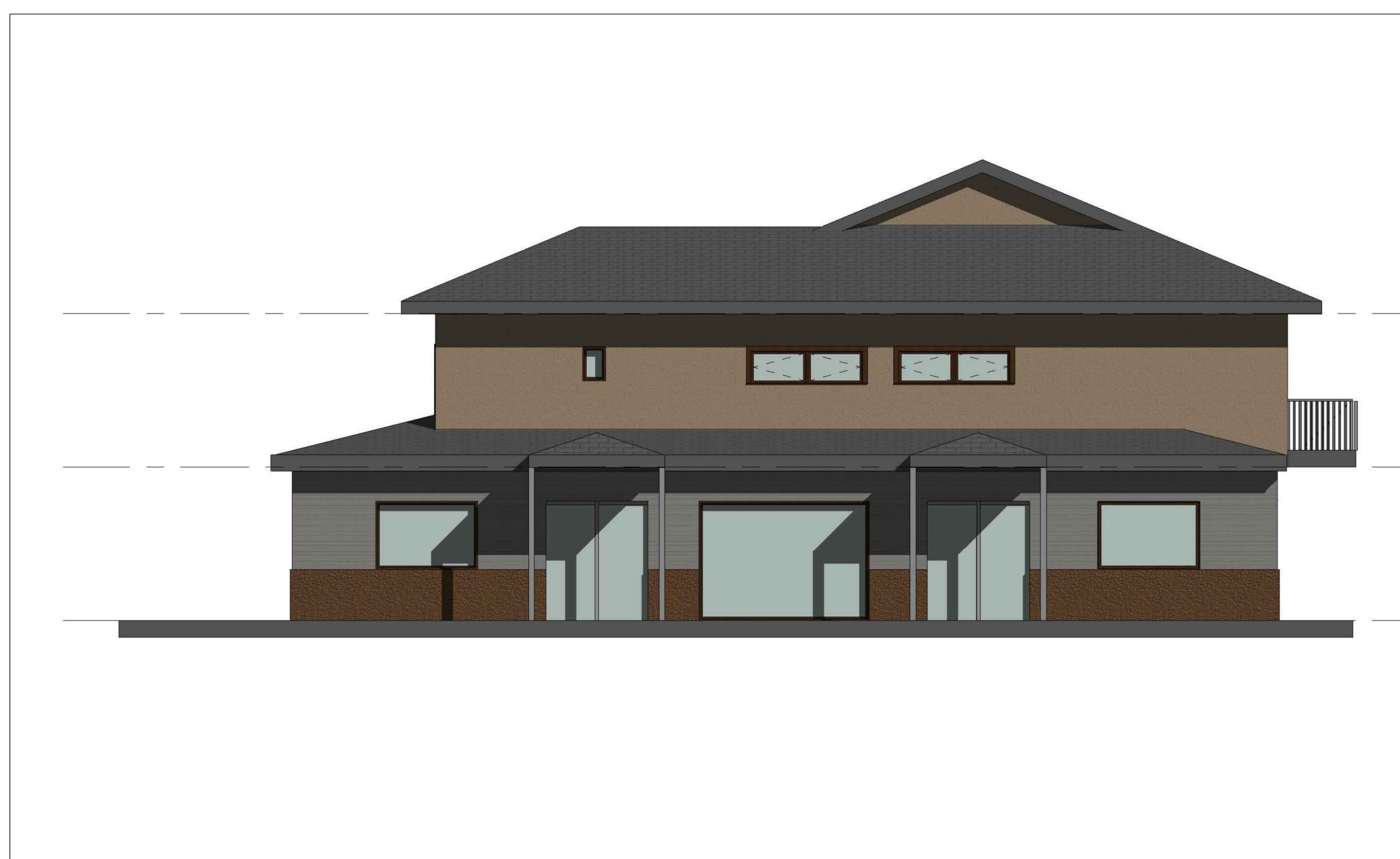
1 VICINITY MAP

NOT TO SCALE



2 PARCEL MAP

NOT TO SCALE



3 STREET VIEW

NOT TO SCALE

PROJECT INFORMATION:

- Zoning: C-1
 - APN: 037133100 AND 037133110
 - Type: VB
 - Lot area: 9512 sqft
 - Stories: 2
 - Commercial area: 2341
 - 2nd Floor Residential area: 2341
 - Garage: 720 sqft
 - Total Bldg area: 5402 sqft
 - Bldg Footprint: 3061
 - Lot Coverage: 3061/9512=32%
 - Floor Area Ratio: 4682/9512=0.49
- Allowable Lot Coverage= 50%
Allowable Floor Area Ratio= 1.0

SCOPE OF WORK:

NEW BUILDING MIXED USE, COMMERCIAL AND RESIDENTIAL

Engineer:

KEMBCON ENGINEERS

Building Owner:

THOMAS MOORE
275 WILLITS ST, DALY CITY
CA 94014

GENERAL NOTES:

1. The work included under this contract shall consist of all labor, materials, transportation, tools and equipment necessary for the construction of the project leaving all work ready for use, unless otherwise noted.
2. All construction shall conform to 2016 CBC, 2016 CPC, 2016 CMC, 2016 CEES, and any other local governing codes and ordinances. In the event of conflict, the most stringent shall apply.
3. The plans indicate the general extent of new construction necessary for the work, but are not intended to be all-inclusive. All new work necessary to allow for a finished job in accordance with the intent of the construction documents is included, regardless of whether shown on the drawings or mentioned in the notes.
4. Any errors, omissions, or conflicts found in various parts of the construction documents shall be brought to the attention of the designer and owner for clarification before proceeding with the work.
5. The general contractor shall maintain a current and complete set of construction documents on the job site during all phases of construction for use by all trades and shall provide all subcontractors with current documents as required.
6. The general contractor shall verify and assume full responsibility for all dimensions and site conditions. The general contractor shall inspect the existing premises and structures and take note of existing conditions prior to submitting prices. All discrepancies shall be brought to the attention of the designer and owner prior to construction.
7. The general contractor shall check and verify all dimensions and conditions of building and site prior to proceeding with the work. He shall pay attention to implied plan and sectional spatial relationships and verify all axes and implied symmetries before beginning work. All dimensions are to be checked for accuracy as the work proceeds.
8. Designer does not assume responsibility for existing conditions nor will the Designer be responsible for construction means, methods or procedures of construction or safety, which shall remain the responsibility of the general contractor.
9. All dimensions when shown in plan are to face of finish or concrete unless otherwise noted.
10. All dimensions are to finished wall or framing in sections or elevations unless otherwise noted.
11. Written dimensions take precedence. DO NOT SCALE DRAWINGS.
12. Coordinate all work with existing conditions.

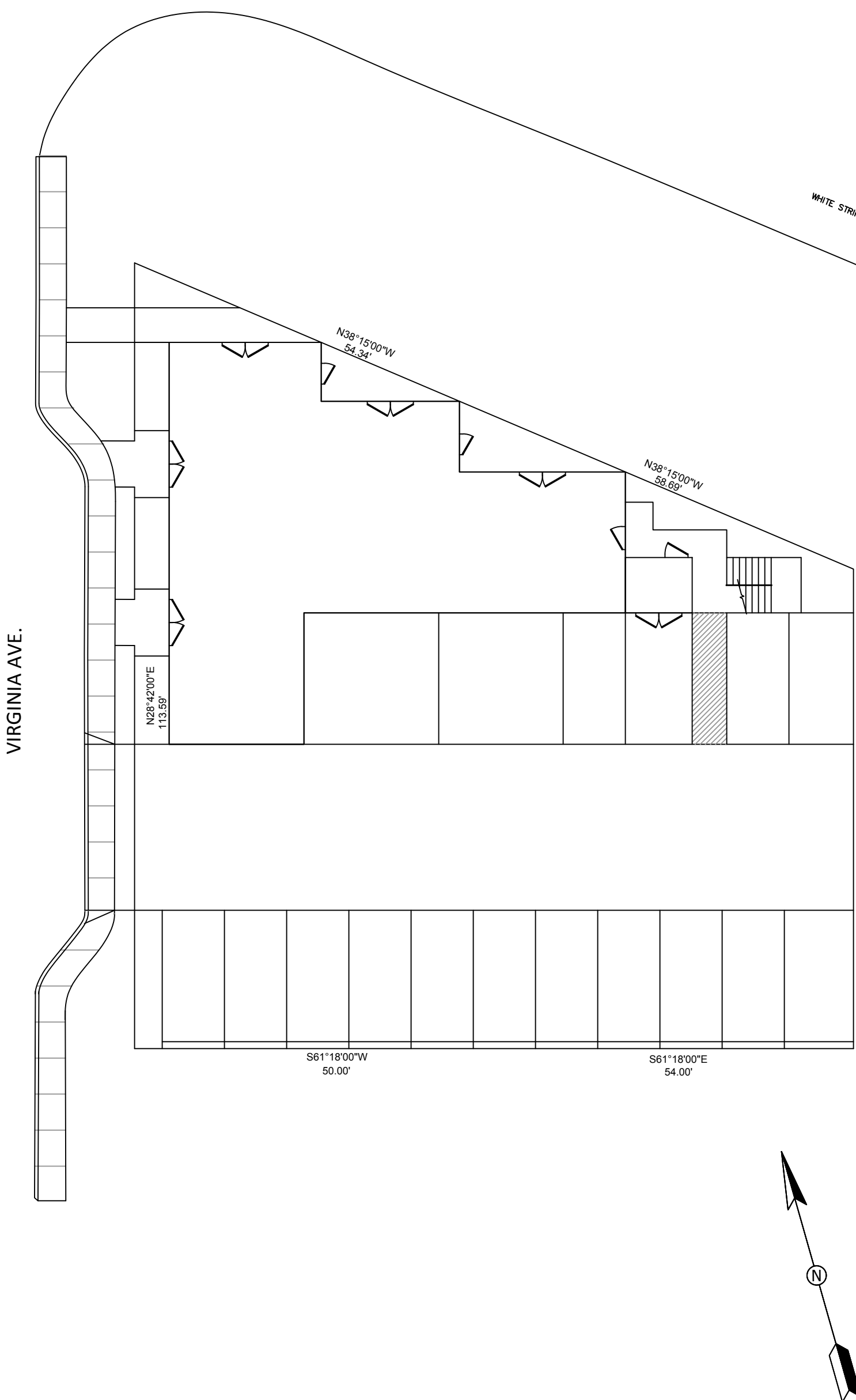
APPLICABLE CODES:

All construction shall conform to the currently adopted edition of the building code and any other local governing codes and ordinances. In the event of conflict, the most stringent shall apply. Code editions used for the design of the project:

- 2016 California Residential Code (CRC)
- 2016 California Mechanical Code (CMC)
- 2016 California Plumbing Code (CPC)
- 2016 California Electrical Code (CEC)
- 2016 California Fire Code (CFC)
- 2016 California Green Building Standards Code (CGBSC)
- California Title 24 Energy Standards

SHEET INDEX:

- A0.0 : PROJECT INFORMATION AND SITE PLAN
- A0.1 : PERSPECTIVE
- A1.0 : SITE PLAN/ PARKING PLAN
- A1.1 : SITE PLAN WITH DRAINAGE PLAN
- A1.2 : SITE PLAN WITH GRADING
- A1.2a: ENLARGE SITE PLAN & PARKING LOT SECTION
- A1.3 : SITE PLAN WITH ROOF PLAN
- A1.4 : SITE PLAN WITH EROSION CONTROL PLAN
- A1.5 : BMPS
- A1.6 : BOUNDARY SURVEY
- A2.0 : FIRST FLOOR PLAN
- A3.0 : SECOND FLOOR PLAN
- A4.0 : ROOF PLAN
- A5.0 : SECTIONS
- A6.0 : NORTH ELEVATION / SOUTH ELEVATION
- A6.1 : WEST ELEVATION / EAST ELEVATION
- A7.0 : EXTERIOR FINISHES
- L1.0 : LANDSCAPE PLAN
- L2.0 : LANDSCAPE PLANTS



4 SITE PLAN

Scale: 1/16" = 1'-0"



5 PERSPECTIVE

NOT TO SCALE

REVISIONS	BY

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CIVIL AND STRUCTURAL ENGINEERS
P.O. BOX 389
MILLBRAE, CA 94030
650.343.8310
engineers@kembcon.com

REGISTERED PROFESSIONAL ENGINEER
ERIC L. COX
NO.C.E. 24162
CIVIL
STATE OF CALIFORNIA

7/9/2019

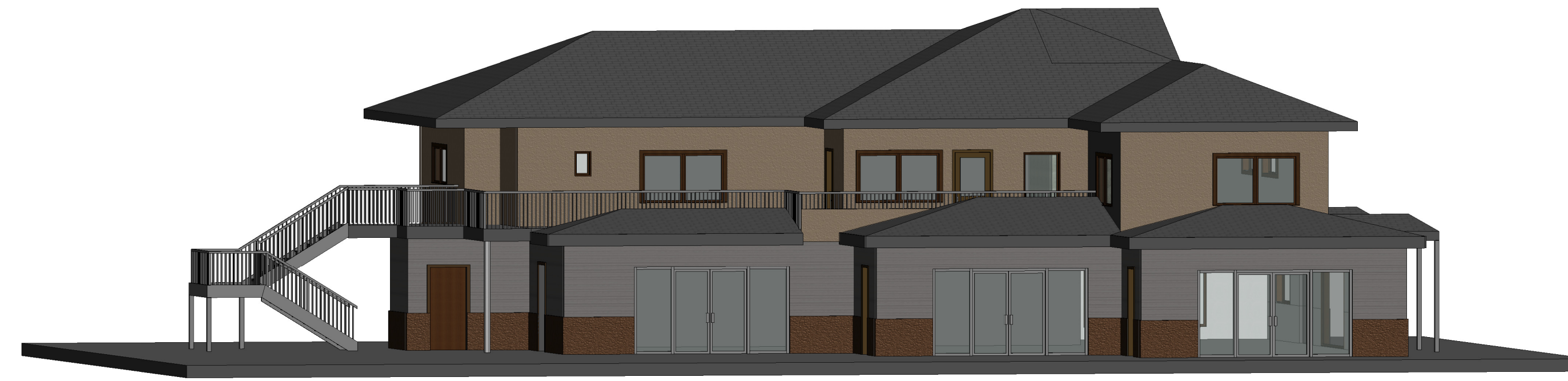
- Virginia Ave. Moss Beach, CA -

PROJECT INFORMATION AND SITE PLAN

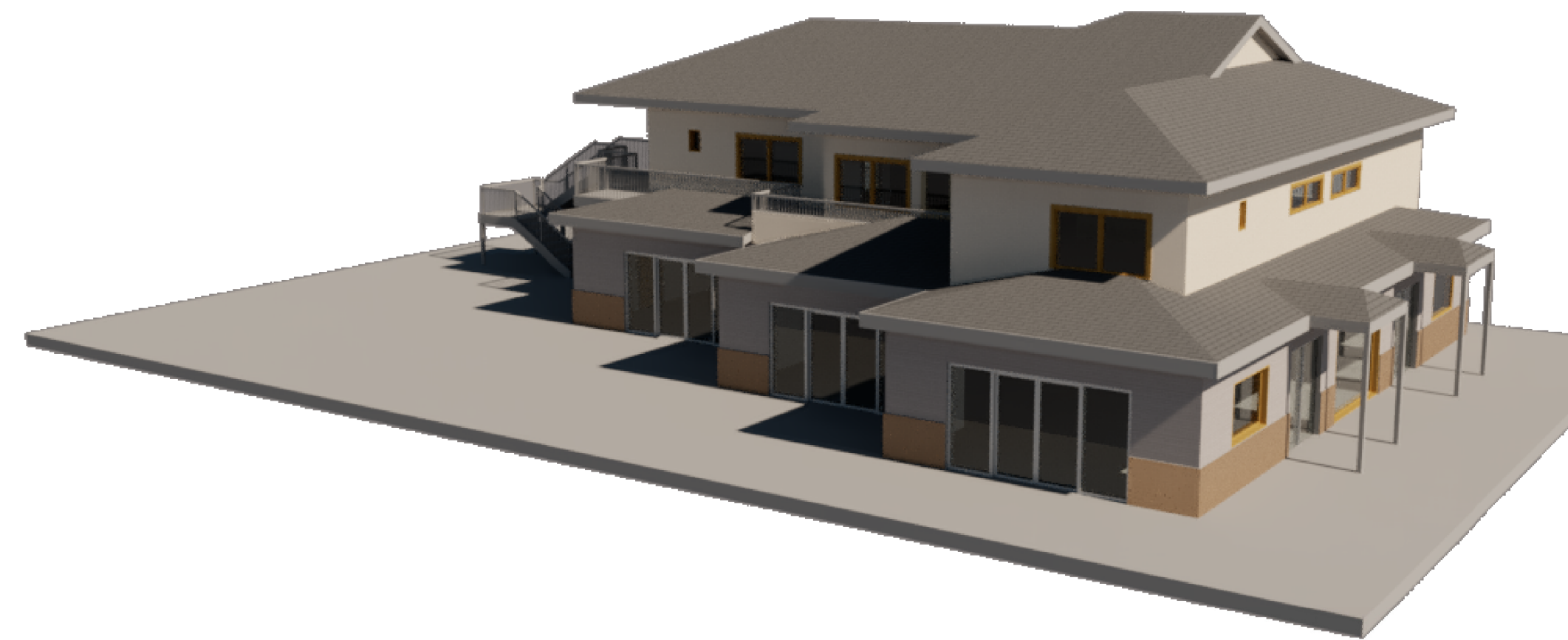
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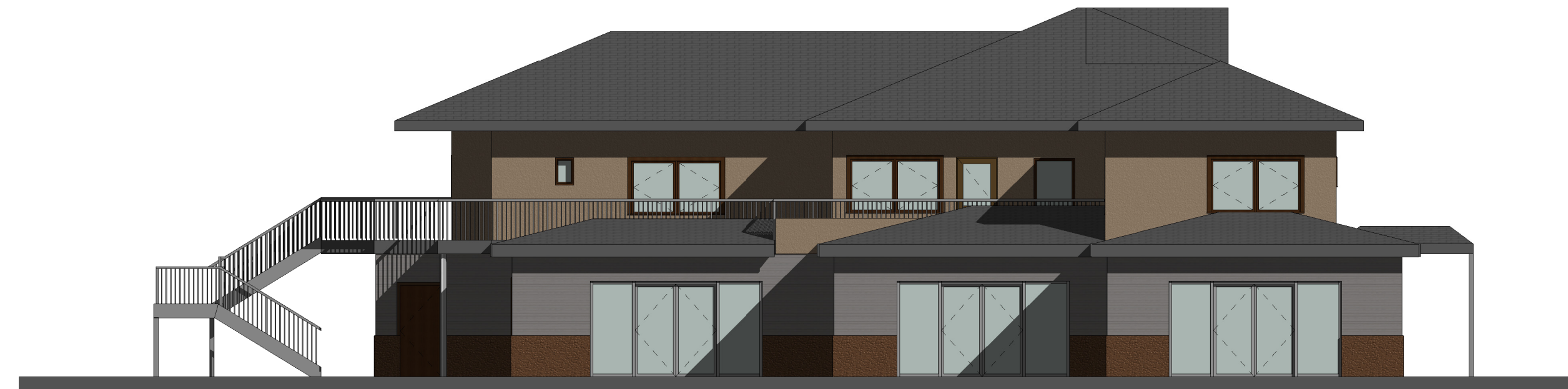
① (3D)



③ South
1/8" = 1'-0"



④ East
1/8" = 1'-0"



② North
1/8" = 1'-0"



⑤ West
1/8" = 1'-0"

REVISIONS BY

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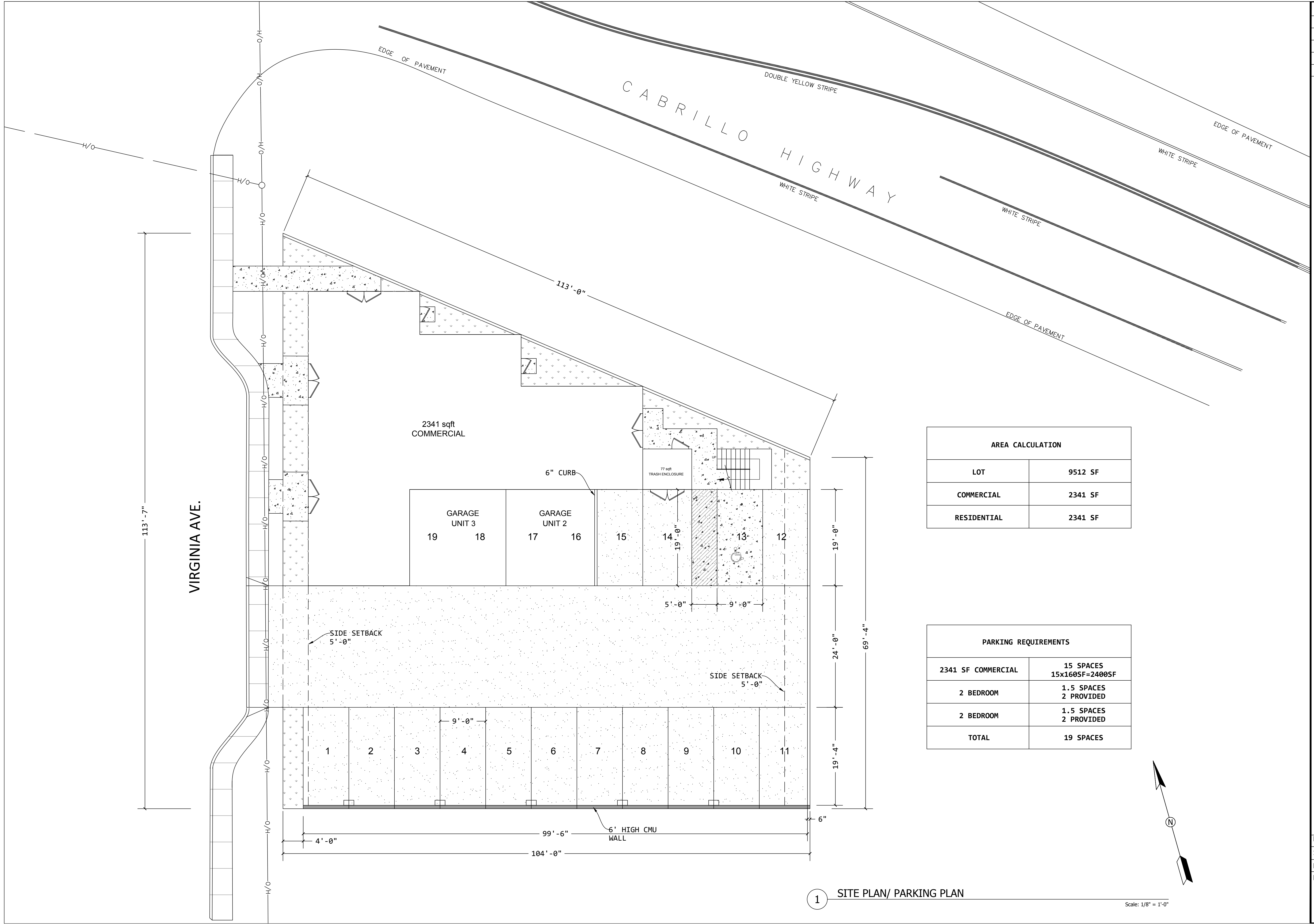
DATE: 10/24/2018

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2341 sqft
COMMERCIAL

GARAGE
UNIT 3
19 18

GARAGE
UNIT 2
17 16

SIDE SETBACK
5'-0"

SIDE SETBACK
5'-0"

6' HIGH CMU
WALL

AREA CALCULATION	
LOT	9512 SF
COMMERCIAL	2341 SF
RESIDENTIAL	2341 SF

PARKING REQUIREMENTS	
2341 SF COMMERCIAL	15 SPACES 15x160SF=2400SF
2 BEDROOM	1.5 SPACES 2 PROVIDED
2 BEDROOM	1.5 SPACES 2 PROVIDED
TOTAL	19 SPACES

1 SITE PLAN/ PARKING PLAN

Scale: 1/8" = 1'-0"

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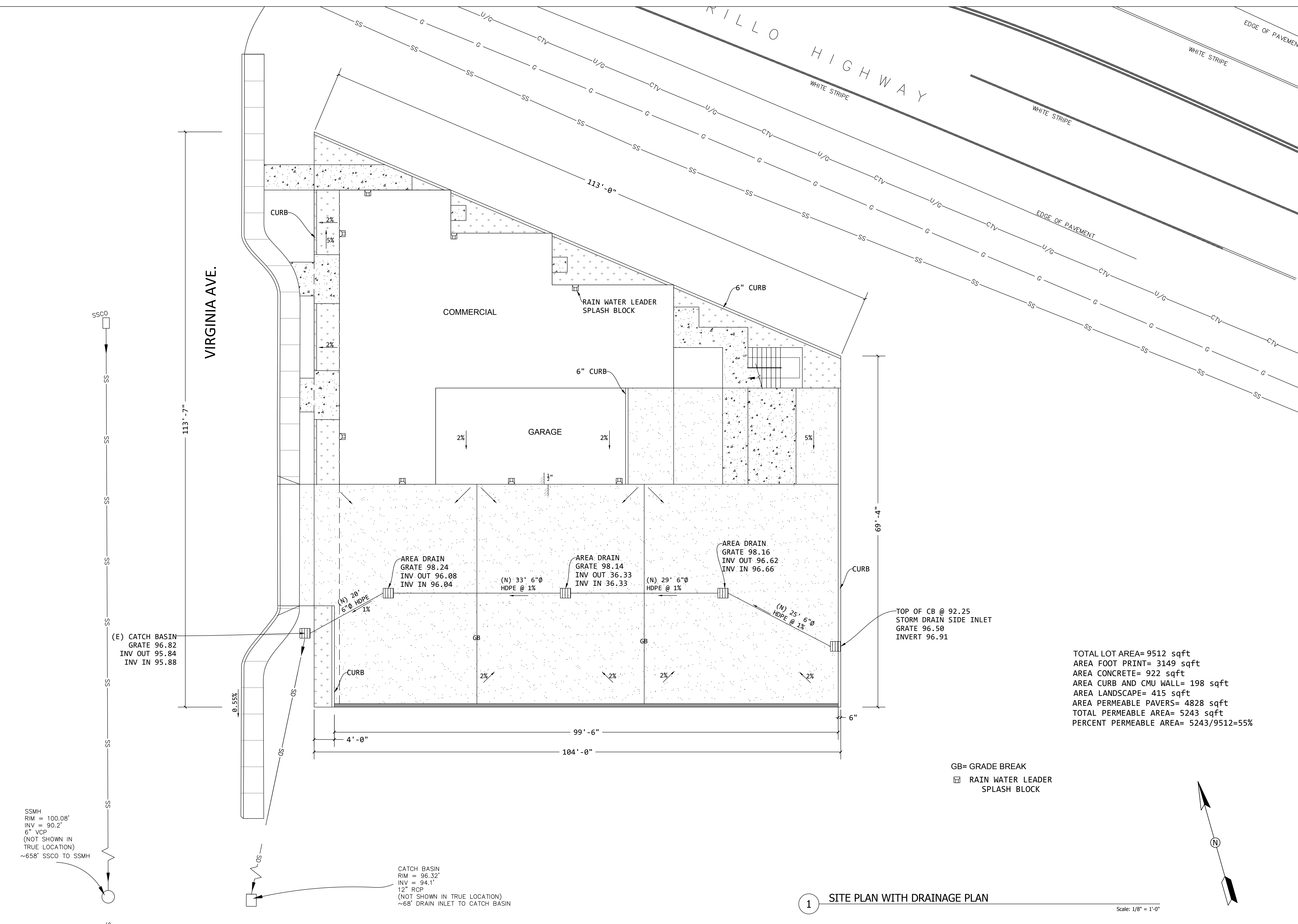
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- Virginia Ave. Moss Beach, CA -

SITE PLAN/ PARKING PLAN

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DRAINAGE PLAN

TOTAL LOT AREA= 9512 sqft
 AREA FOOT PRINT= 3149 sqft
 AREA CONCRETE= 922 sqft
 AREA CURB AND CMU WALL= 198 sqft
 AREA LANDSCAPE= 415 sqft
 AREA PERMEABLE PAVERS= 4828 sqft
 TOTAL PERMEABLE AREA= 5243 sqft
 PERCENT PERMEABLE AREA= 5243/9512=55%

GB= GRADE BREAK
 ☐ RAIN WATER LEADER SPLASH BLOCK

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SSMH
 RIM = 100.08'
 INV = 90.2'
 6" VCP
 (NOT SHOWN IN TRUE LOCATION)
 ~658' SSCO TO SSMH

CATCH BASIN
 RIM = 96.32'
 INV = 94.1'
 12" RCP
 (NOT SHOWN IN TRUE LOCATION)
 ~68' DRAIN INLET TO CATCH BASIN

1 SITE PLAN WITH DRAINAGE PLAN

Scale: 1/8" = 1'-0"

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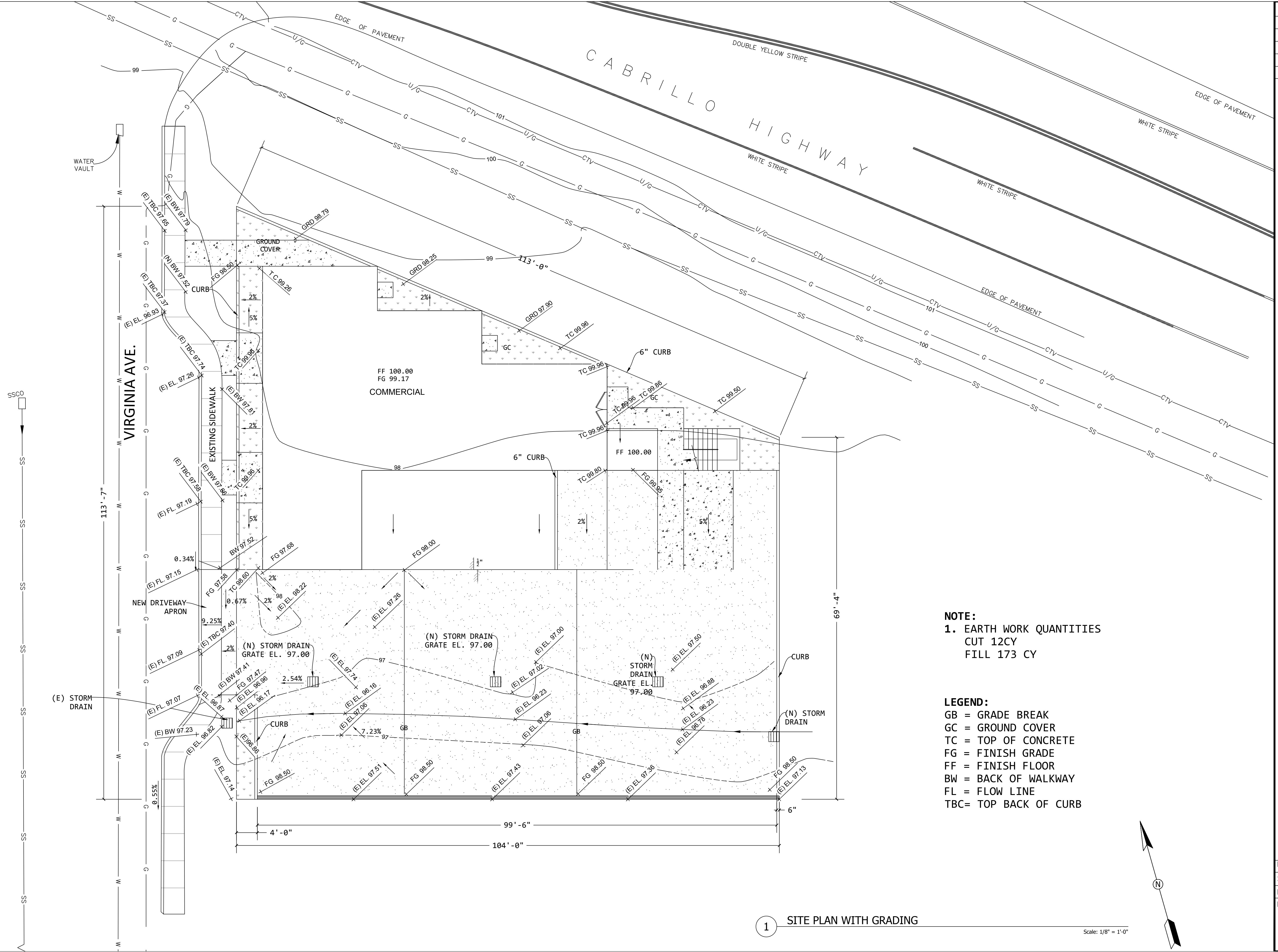
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GRADING PLAN

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NOTE:
 1. EARTH WORK QUANTITIES
 CUT 122 CY
 FILL 173 CY

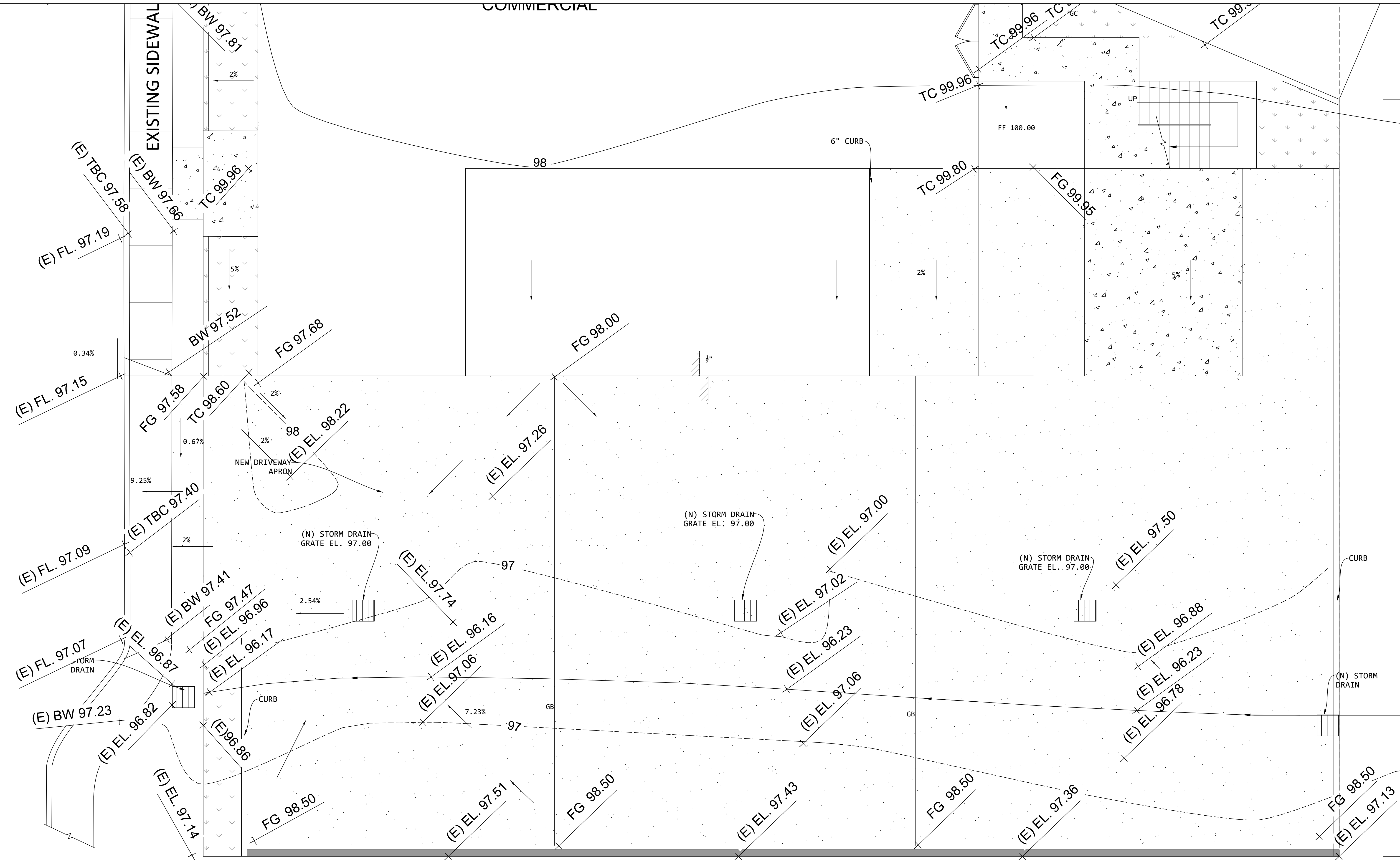
LEGEND:
 GB = GRADE BREAK
 GC = GROUND COVER
 TC = TOP OF CONCRETE
 FG = FINISH GRADE
 FF = FINISH FLOOR
 BW = BACK OF WALKWAY
 FL = FLOW LINE
 TBC = TOP BACK OF CURB

1 SITE PLAN WITH GRADING

Scale: 1/8" = 1'-0"

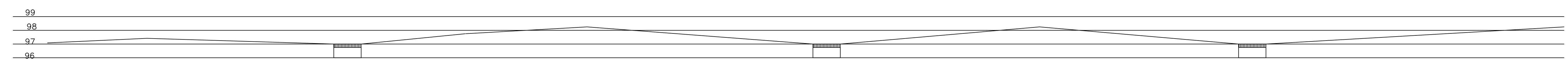
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1 SITE PLAN WITH GRADING

Scale: 1/4" = 1'-0"



2 SITE SECTION THRU PARKING

Scale: 1/4" = 1'-0"

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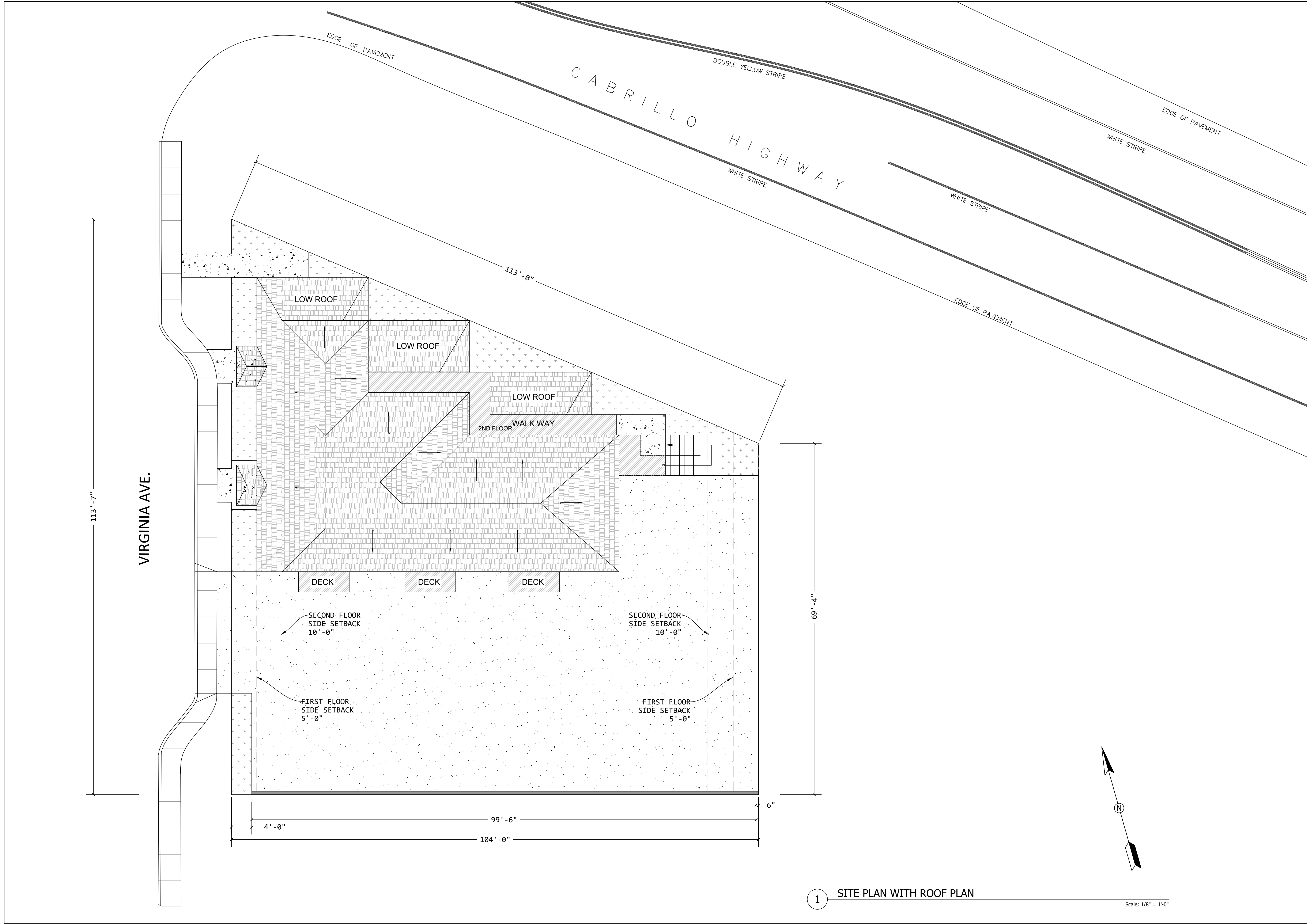
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SITE PLAN WITH ROOF PLAN - Virginia Ave. Moss Beach, CA -

SITE PLAN WITH ROOF PLAN

DATE: 3/8/2018
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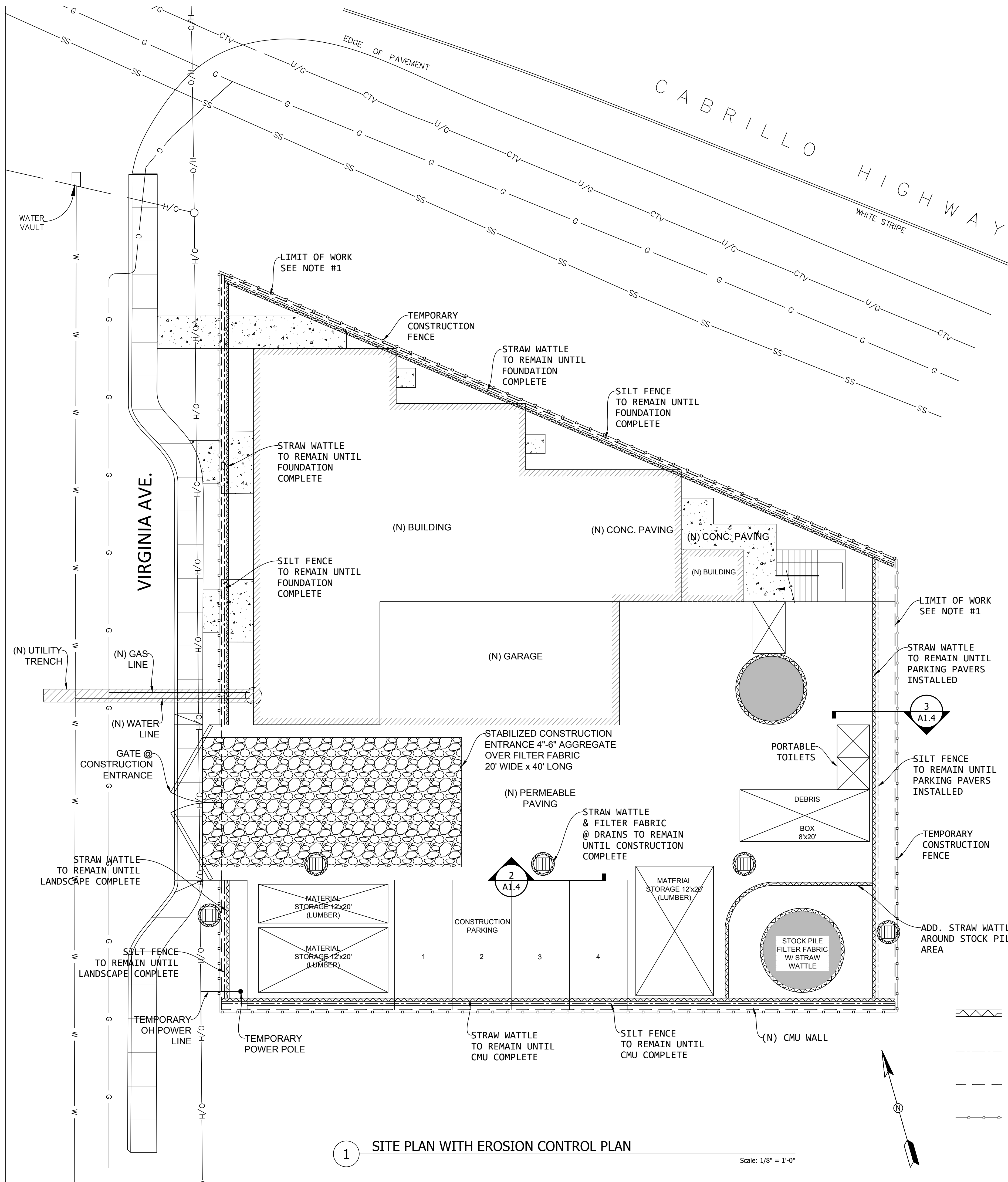


1 SITE PLAN WITH ROOF PLAN

Scale: 1/8" = 1'-0"

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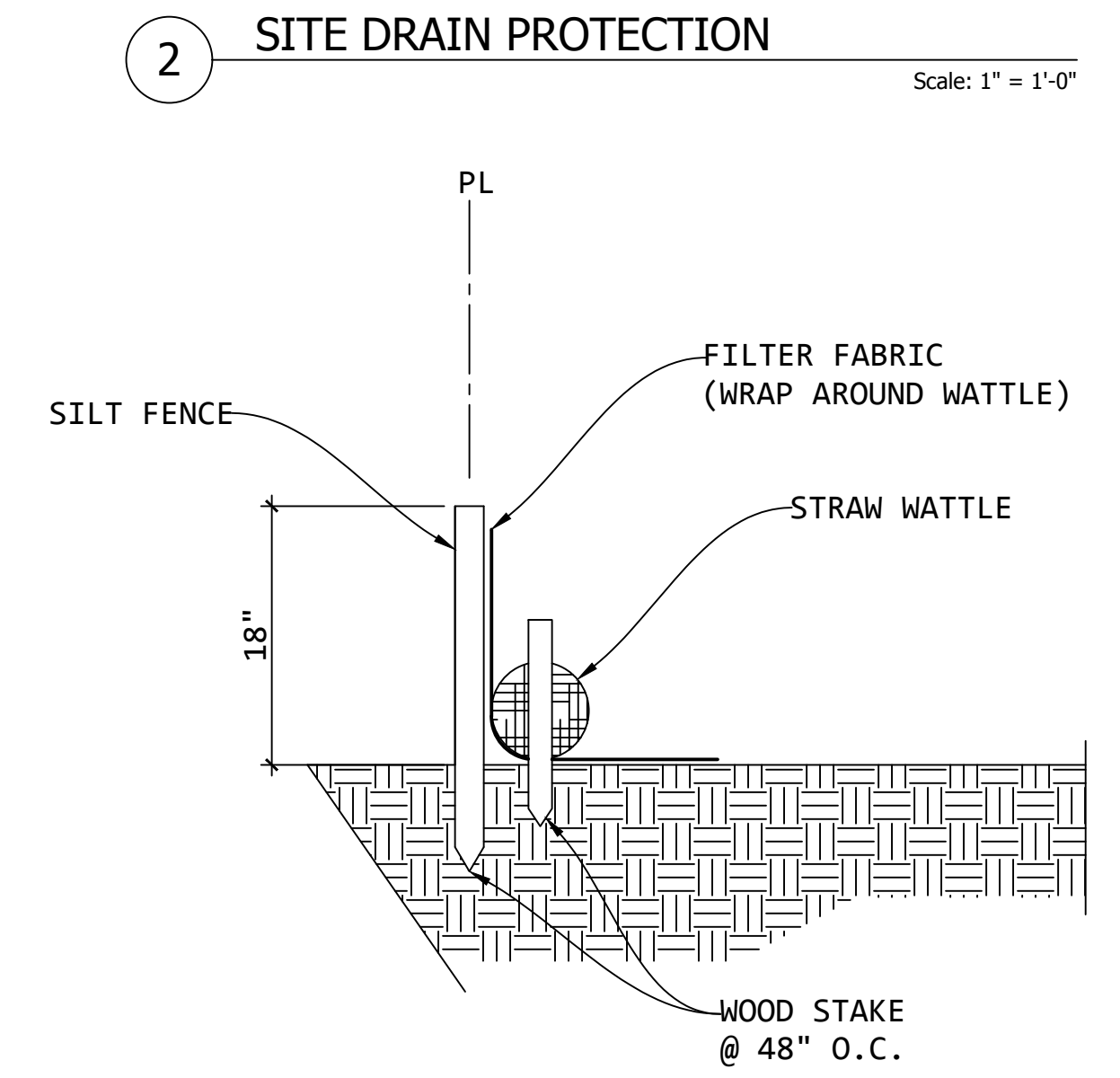
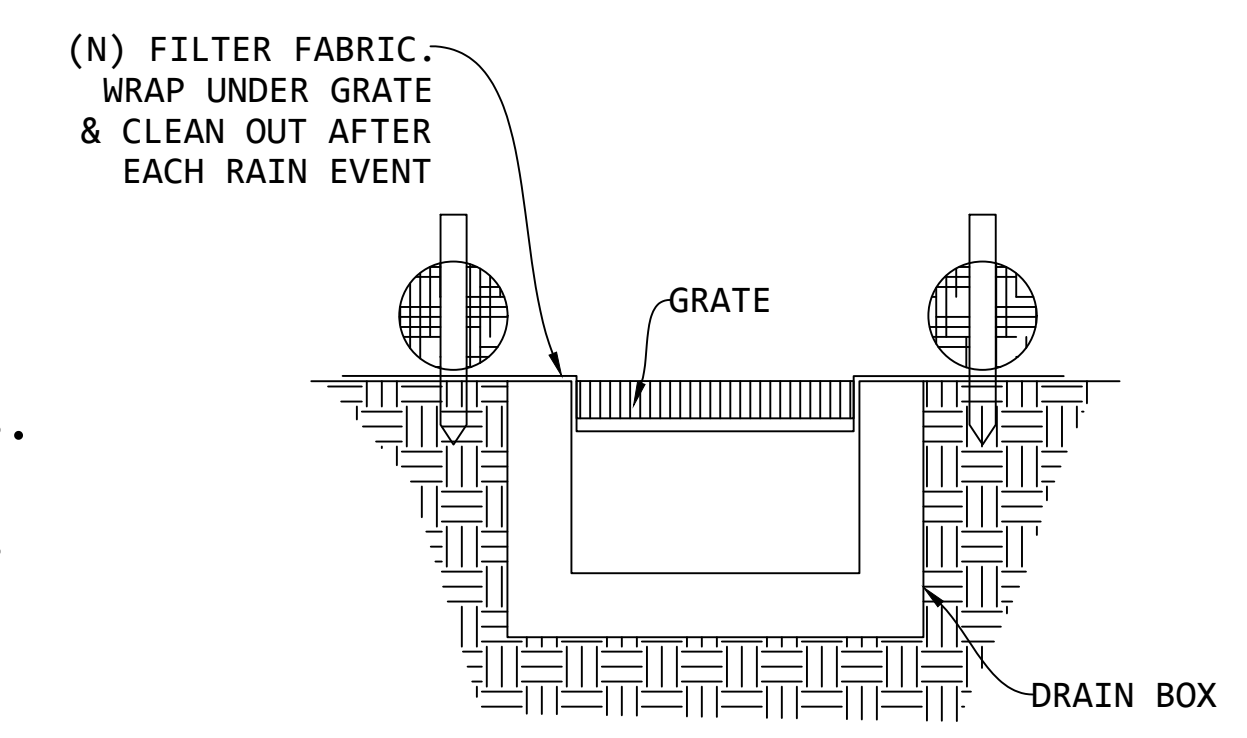
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NOTES:

- 1) NO WORK STORAGE, EARTH MOVING, VEGETATION. REMOVAL OR OTHER DISTURBANCE SHALL BE DONE OUT SIDE "LIMIT OF WORK"
- 2) HAY BAYS ARE PROHIBITED FROM USE AS EROSION CONTROL
- 3) SAND BAGS ARE PROHIBITED FROM USE AS EROSION CONTROL USE PERMEABLE ROCK SACKS INSTEAD
- 4) EROSION CONTROL CONTACT PHONE NUMBER.....
- 5) PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH MOVING ACTIVITIES AND CONSTRUCTION.
- 6) MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR ROUND. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURE CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
- 7) STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- 8) CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- 9) USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMITS AS NECESSARY
- 10) AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
- 11) LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- 12) LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
- 13) AVOID TRACKING DIRT OR OTHER MATERIALS OFF SITE, CLEAN OFF SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
- 14) TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
- 15) PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS ARE REQUIRED ON WEEKEND AND DURING RAIN EVENTS.
- 16) CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON SITE DURING THE OFF SEASON.
- 17) DUST CONTROL IS REQUIRED YEAR ROUND.
- 18) EROSION CONTROL MATERIALS SHALL BE STORED ON SITE.
- 19) USE OF PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30 IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
- 20) TREE PROTECTION SHALL BE IN PLACE BEFORE ANY DEMOLITION, GRADING, EXCAVATING OR GRUBBING IS STARTED.

- STRAW WATTLES
- SILT FENCE
- LIMIT OF WORK
- TEMPORARY CONSTRUCTION FENCE



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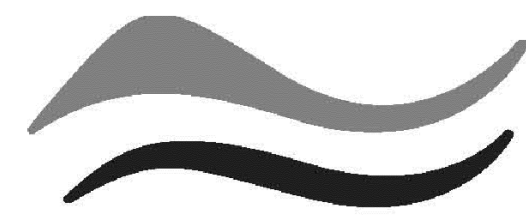
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EROSION CONTROL PLAN

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SAN MATEO COUNTYWIDE

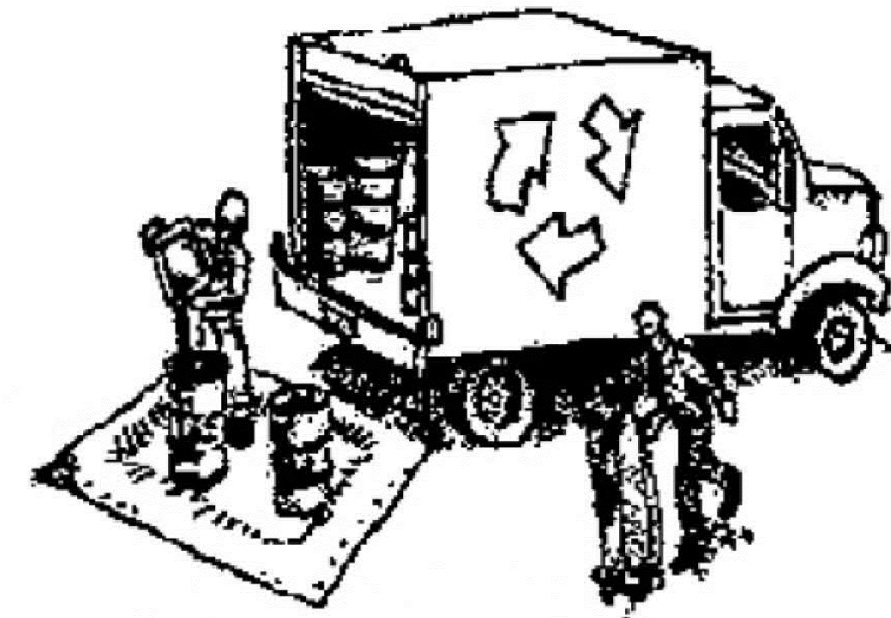
Water Pollution Prevention Program

Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



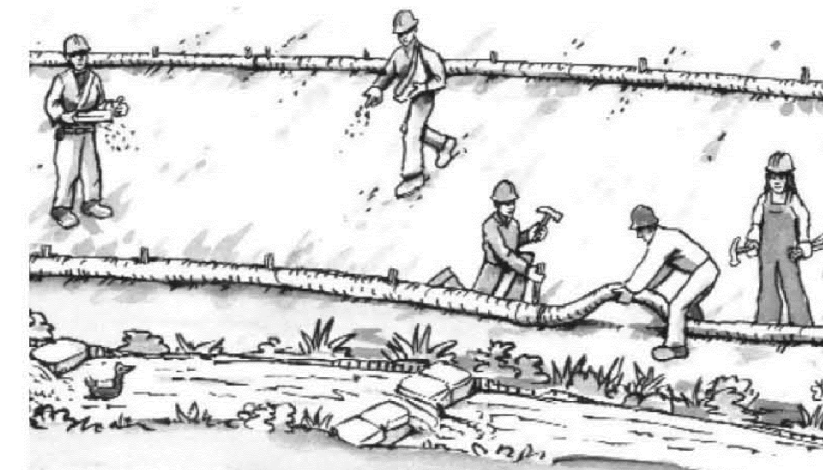
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthwork & Contaminated Soils



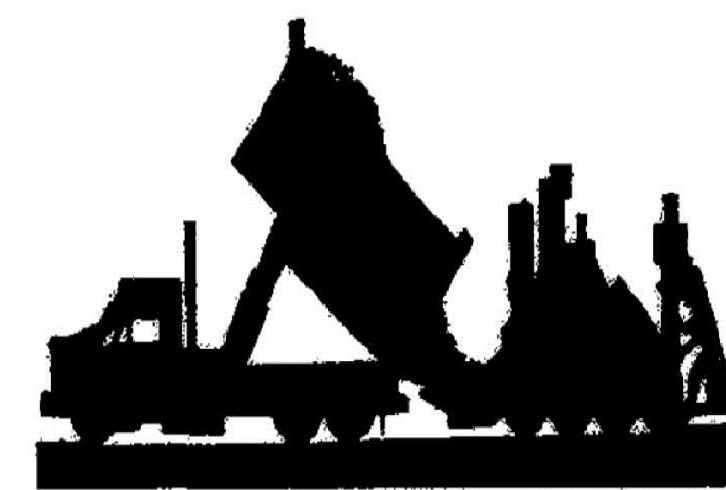
Erosion Control

- ❑ Schedule grading and excavation work for dry weather only.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- ❑ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- ❑ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ❑ Keep excavated soil on the site where it will not collect into the street.
- ❑ Transfer excavated materials to dump trucks on the site, not in the street.
- ❑ Contaminated Soils
- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

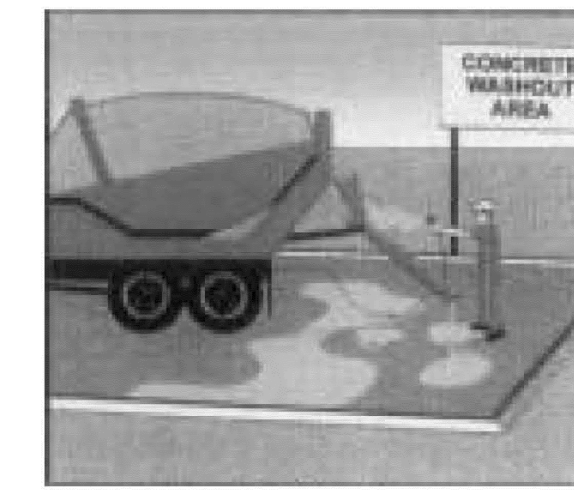


- ❑ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

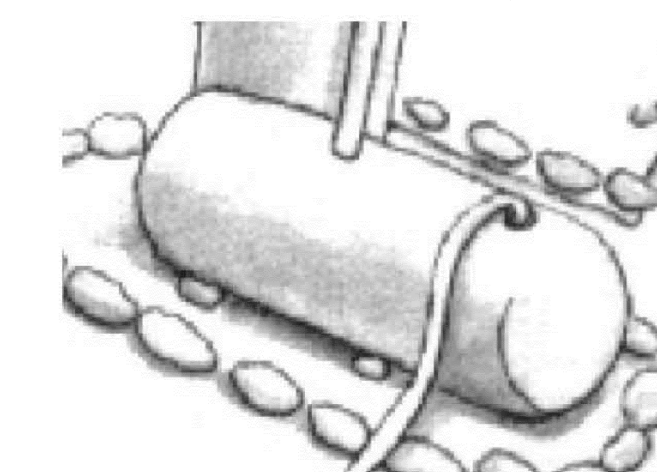
- ❑ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



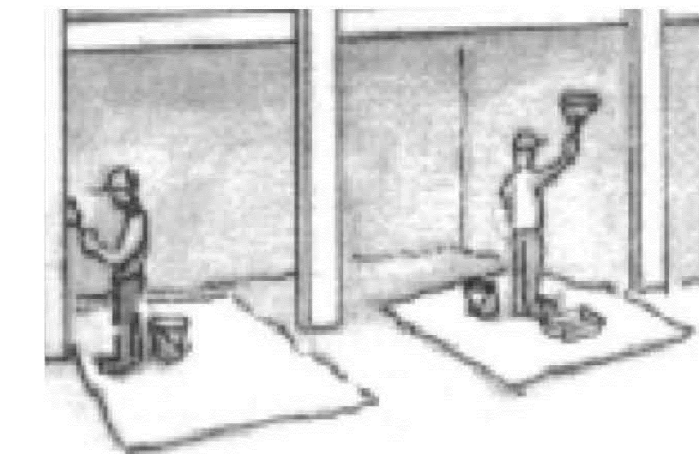
- ❑ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- ❑ Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

Dewatering



- ❑ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

Painting & Paint Removal



Painting cleanup

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- ❑ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint removal

- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

Landscape Materials



- ❑ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ❑ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

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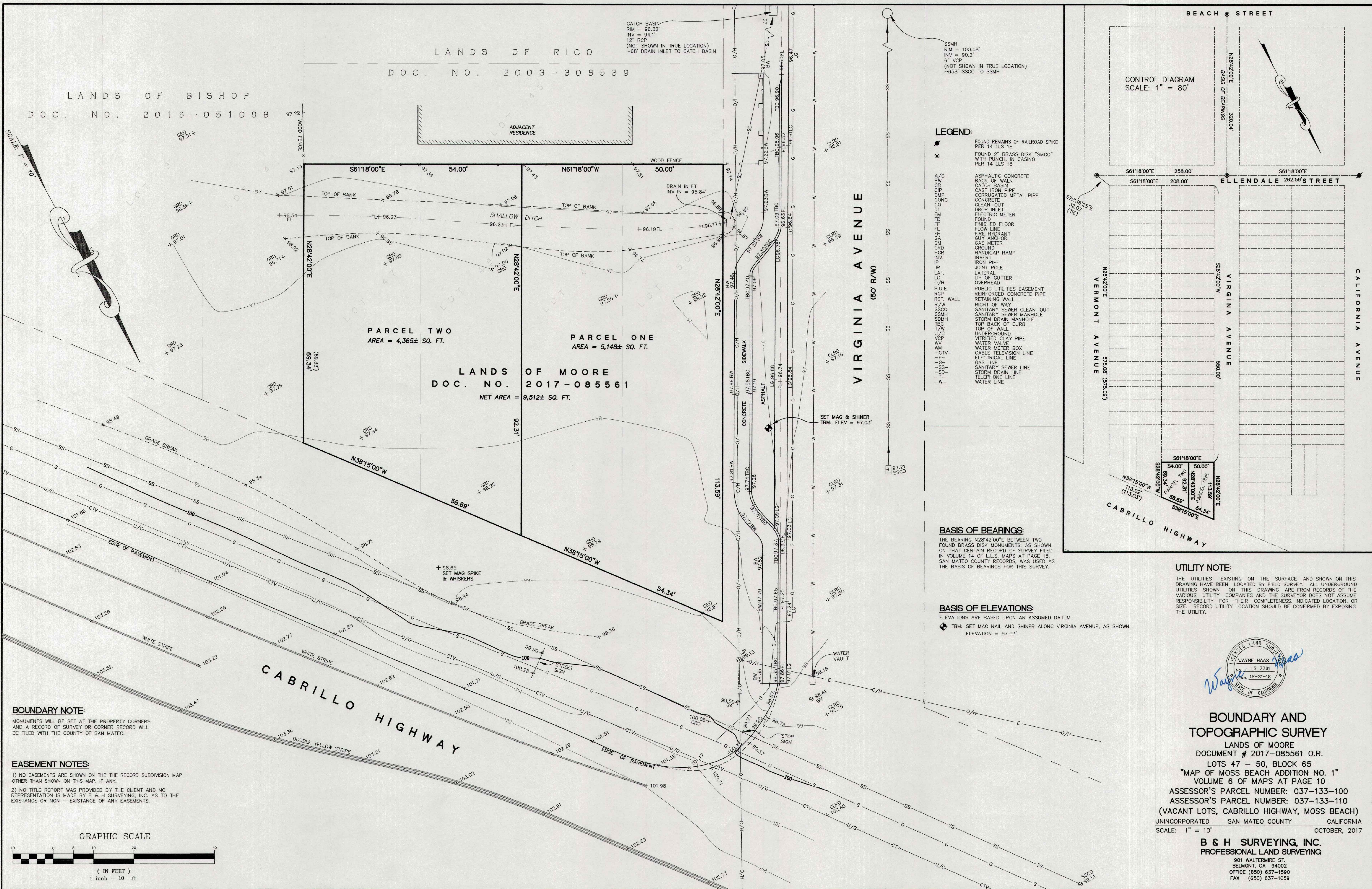
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SURVEY

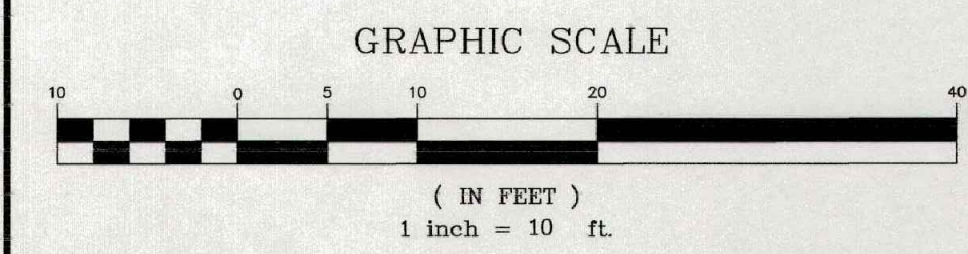
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BOUNDARY NOTE:
 MONUMENTS WILL BE SET AT THE PROPERTY CORNERS AND A RECORD OF SURVEY OR CORNER RECORD WILL BE FILED WITH THE COUNTY OF SAN MATEO.

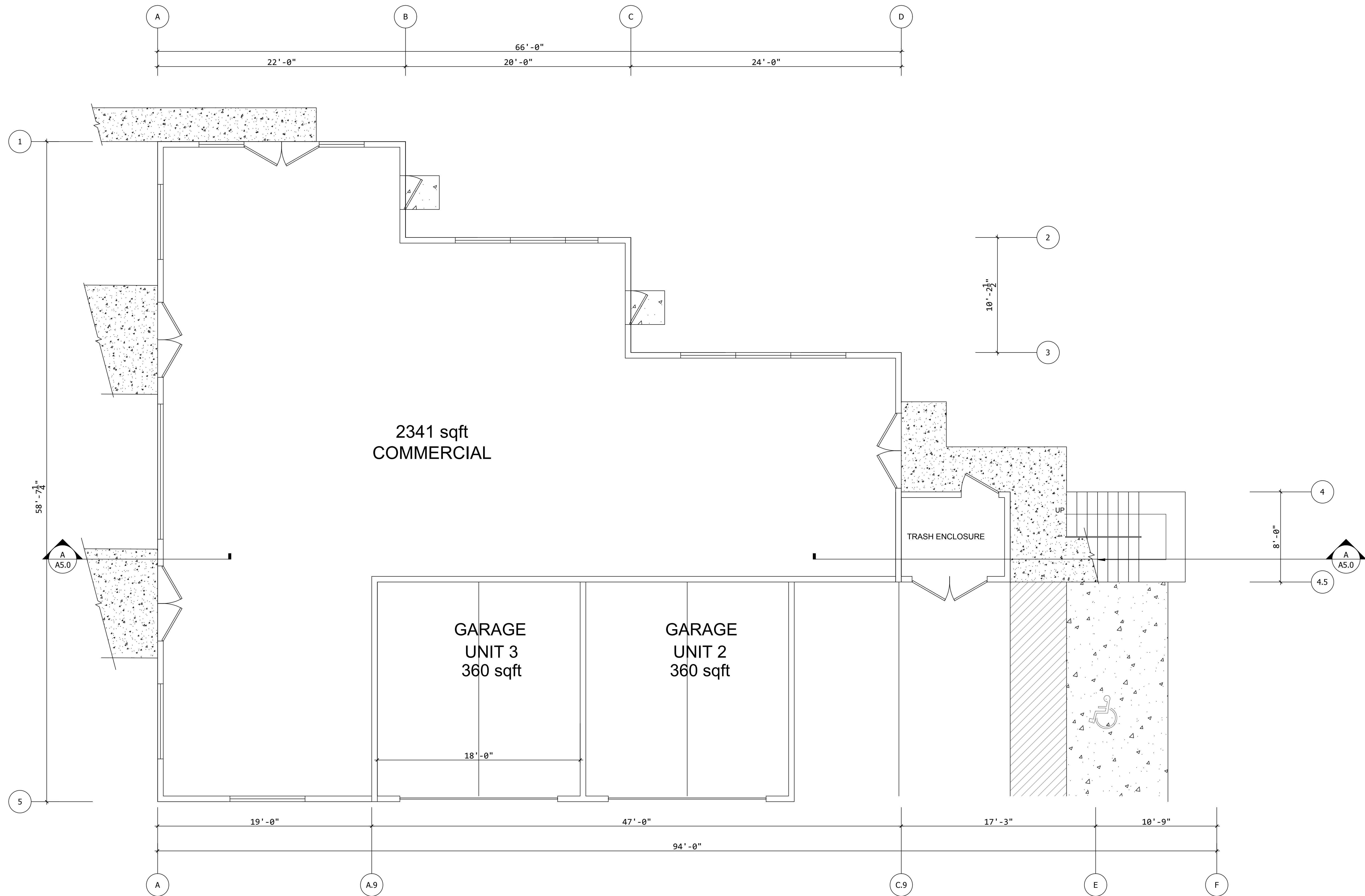
EASEMENT NOTES:
 1) NO EASEMENTS ARE SHOWN ON THE RECORD SUBDIVISION MAP OTHER THAN SHOWN ON THIS MAP, IF ANY.
 2) NO TITLE REPORT WAS PROVIDED BY THE CLIENT AND NO REPRESENTATION IS MADE BY B & H SURVEYING, INC. AS TO THE EXISTENCE OR NON-EXISTENCE OF ANY EASEMENTS.



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1 PROPOSED FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

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FIRST FLOOR PLAN

DATE: 3/8/2018

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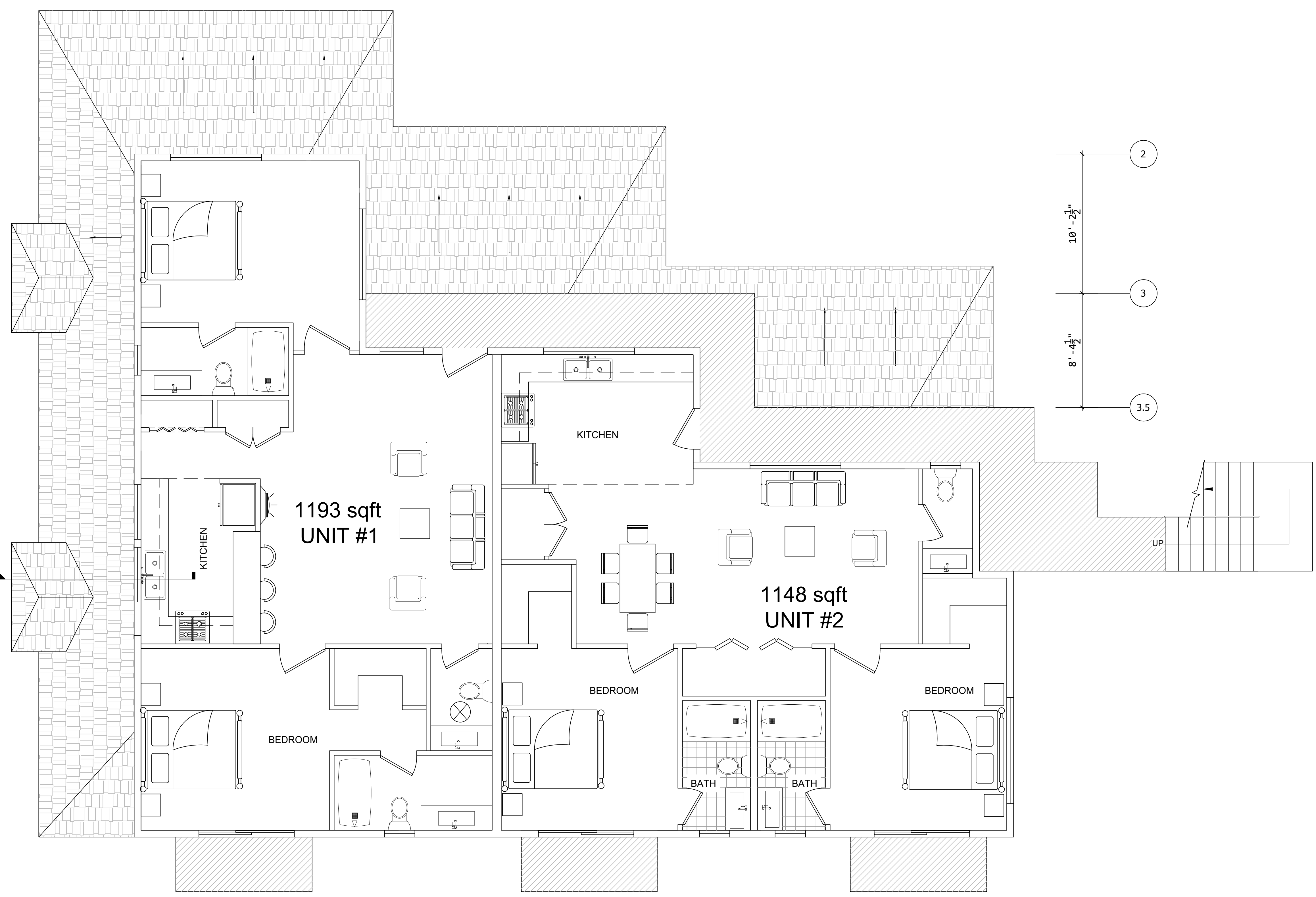
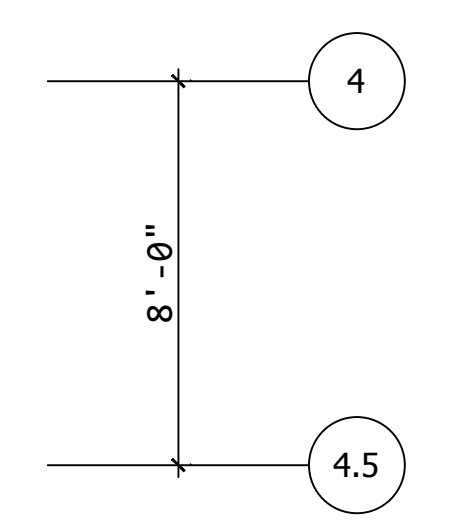
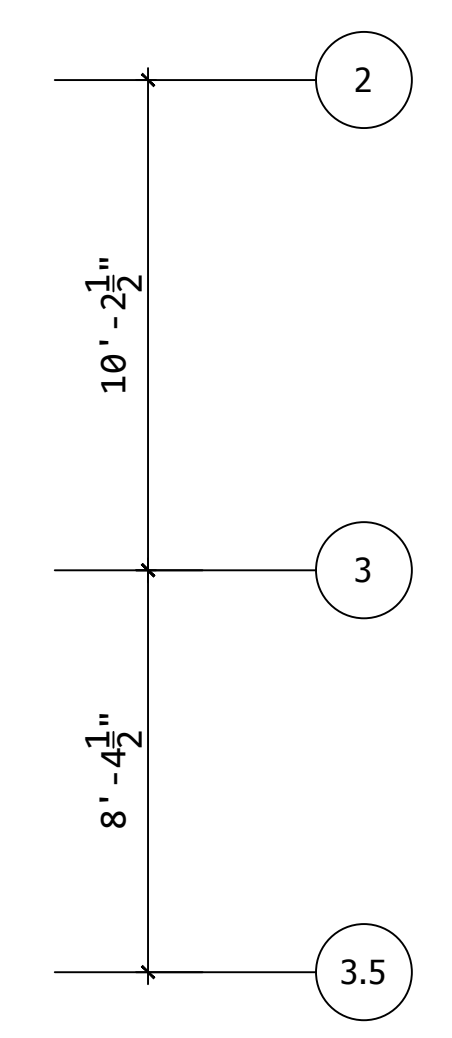
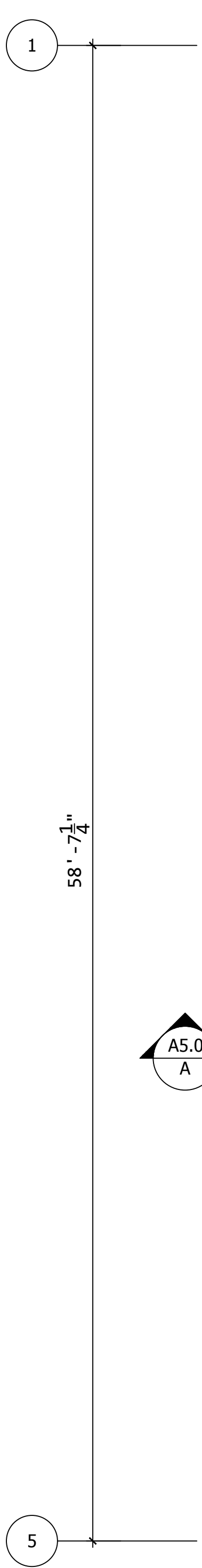
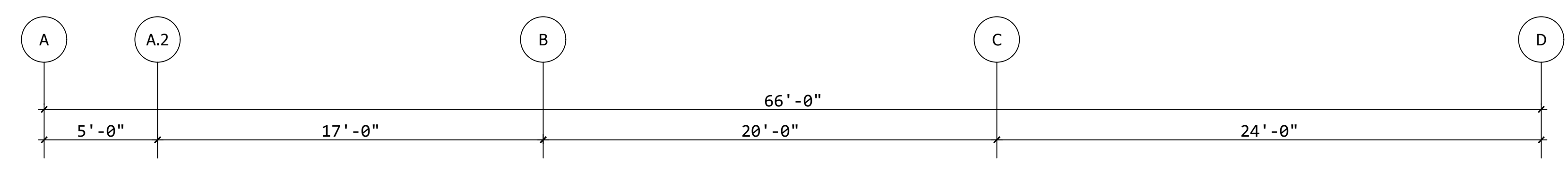
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1 PROPOSED SECOND FLOOR PLAN

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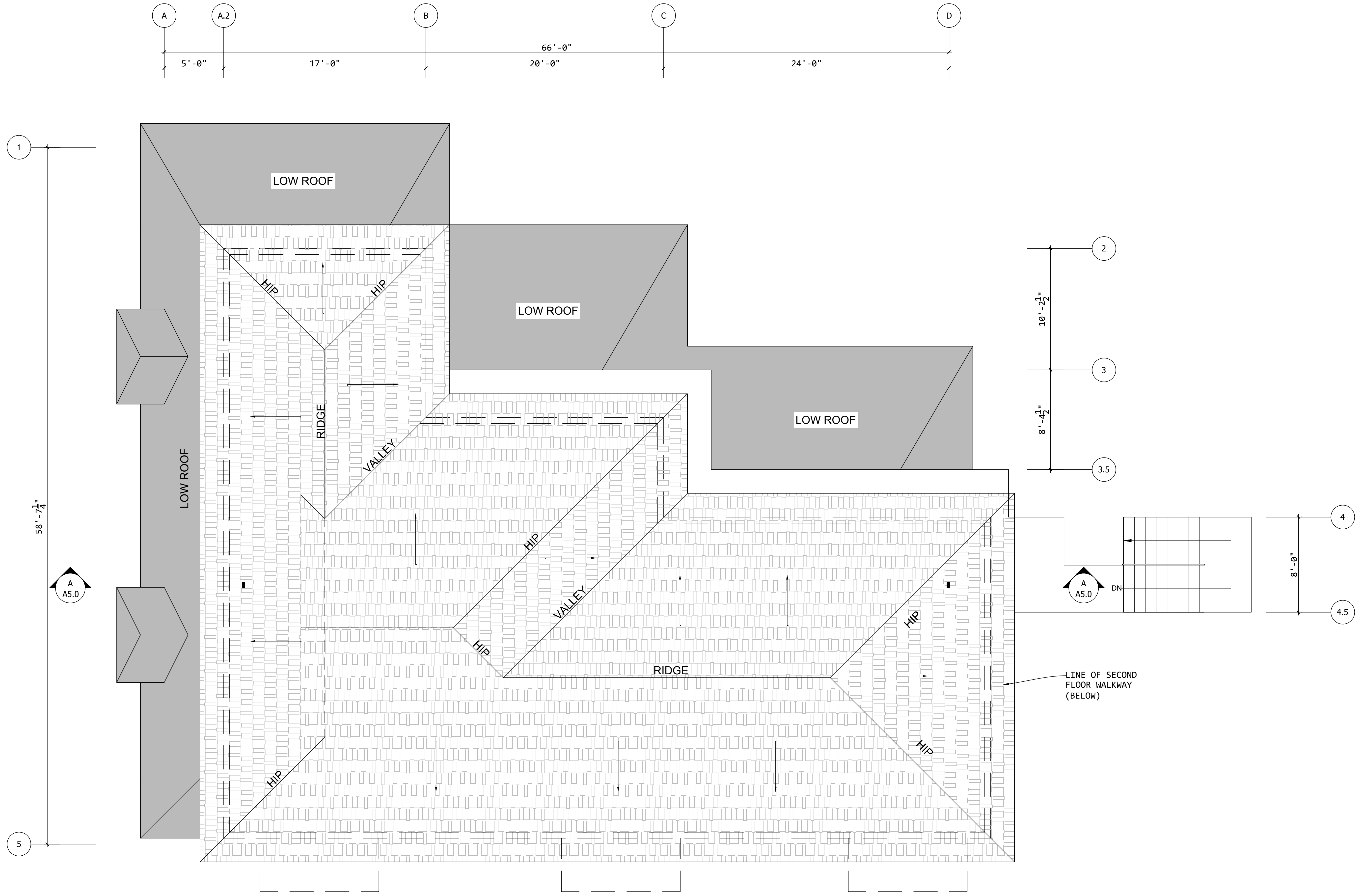
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ROOF PLAN

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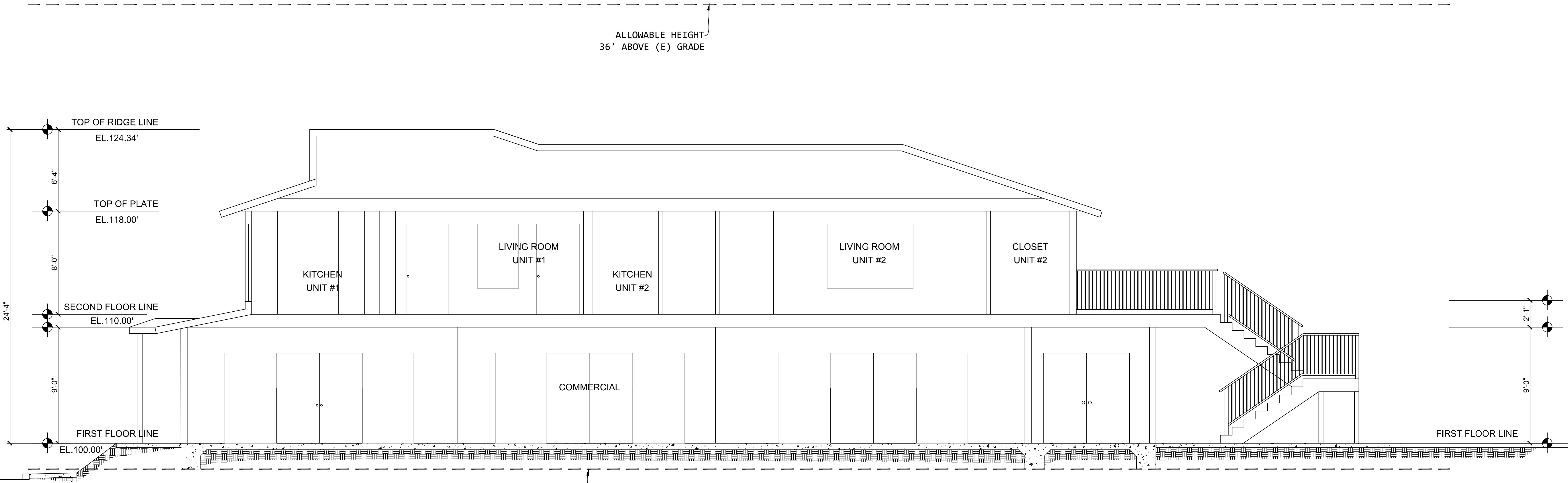


1 PROPOSED ROOF PLAN

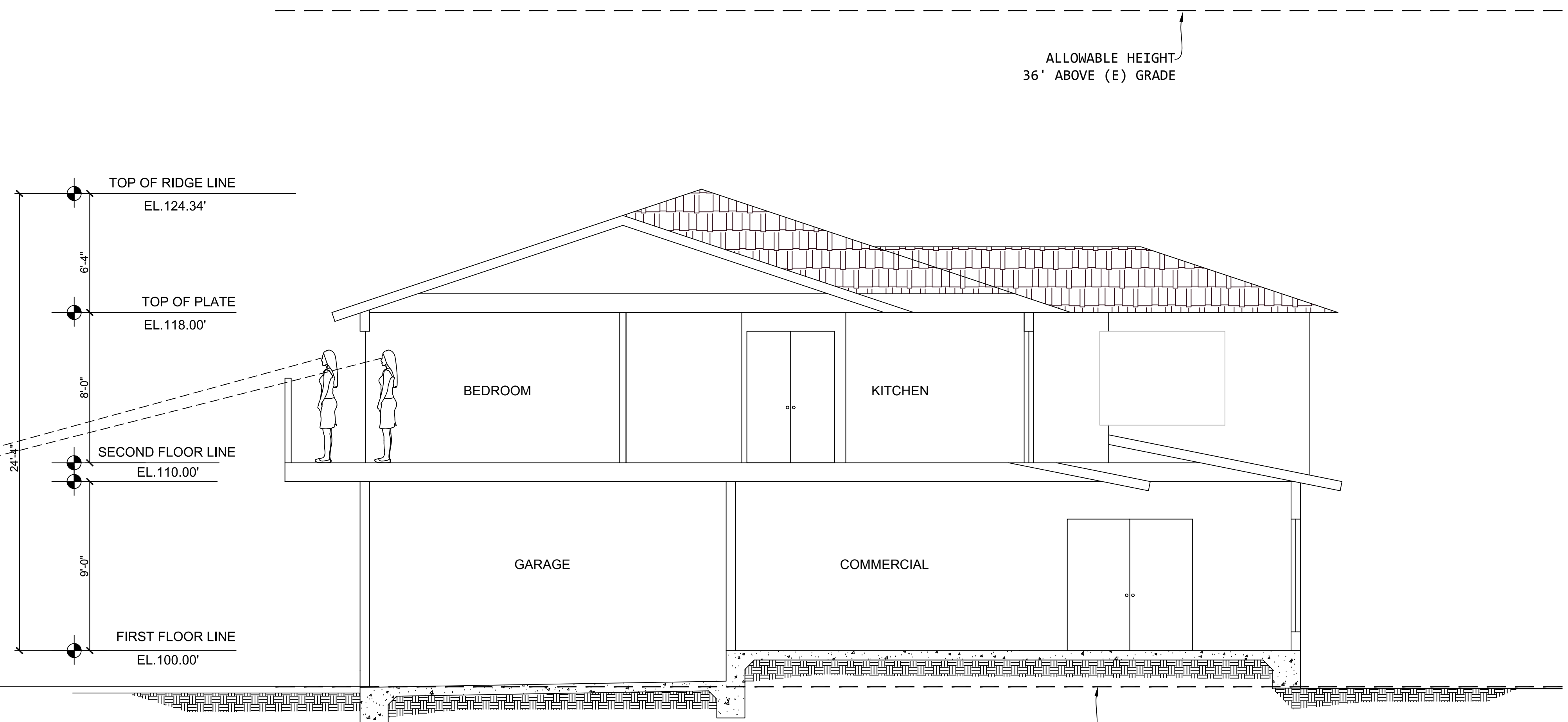
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1 PROPOSED SECTION A - A



2 PROPOSED SECTION B - B

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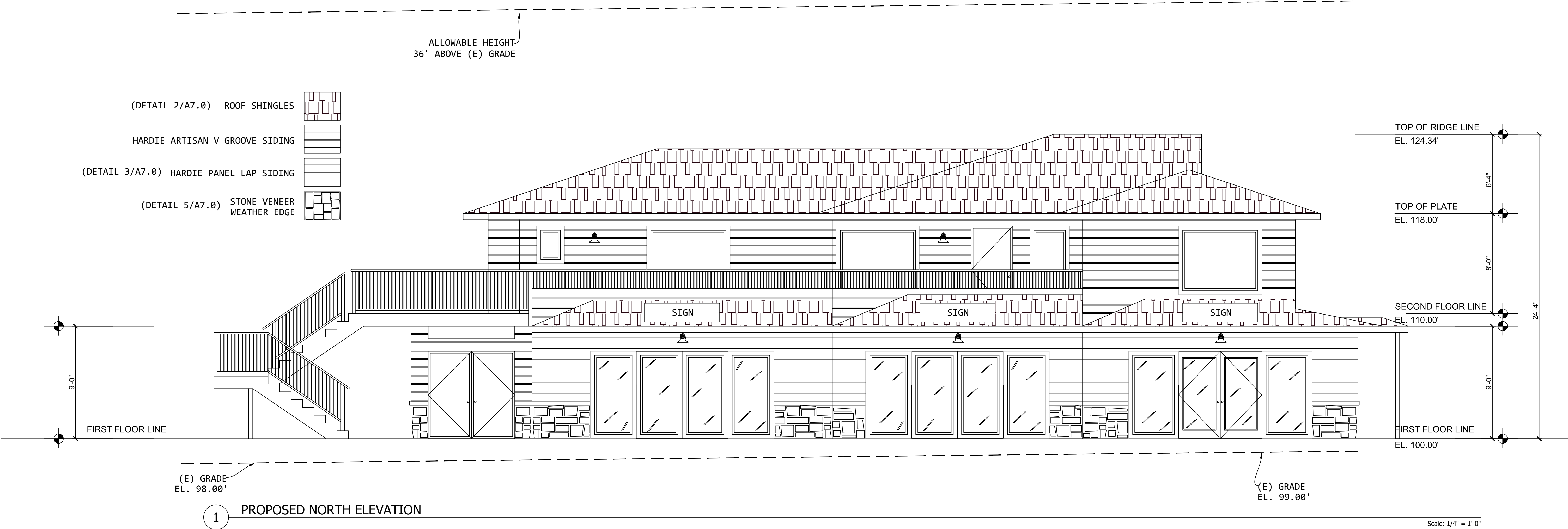
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- Virginia Ave. Moss Beach,
 CA -

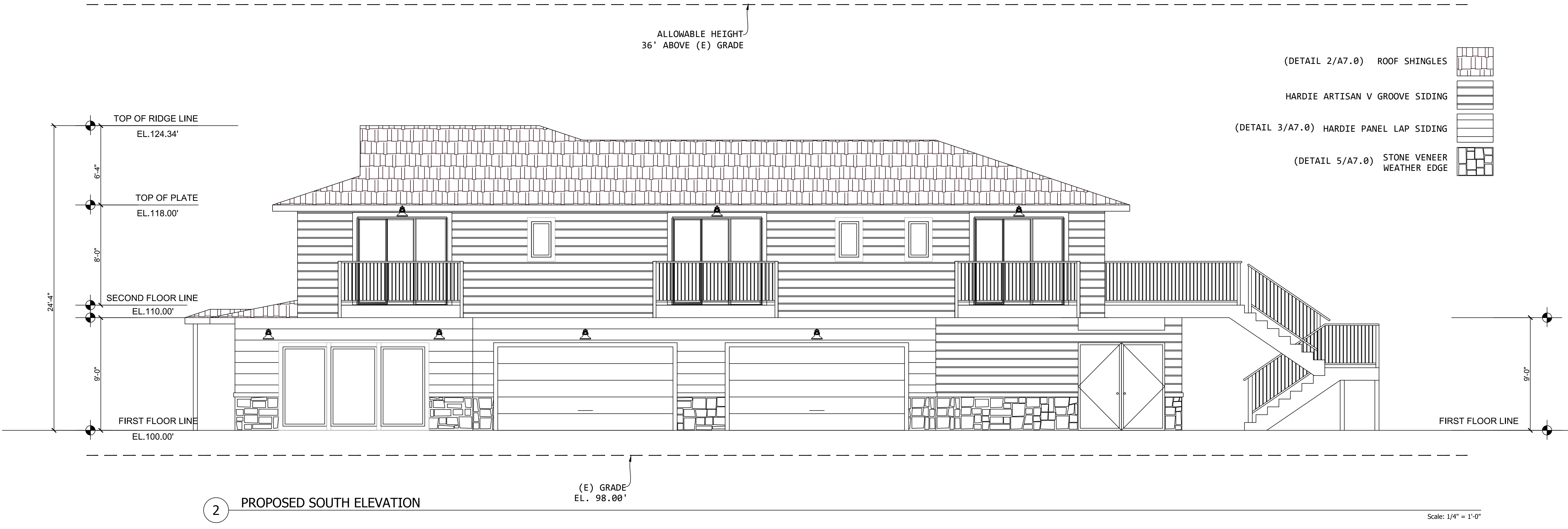
ELEVATIONS

DATE: 3/8/2018
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A6.0



1 PROPOSED NORTH ELEVATION



2 PROPOSED SOUTH ELEVATION

KEMBCON ENGINEERS
 CIVIL AND STRUCTURAL ENGINEERS
 P.O. BOX 389
 MILLBRAE, CA 94030
 650.343.8310
 engineers@kembcon.com

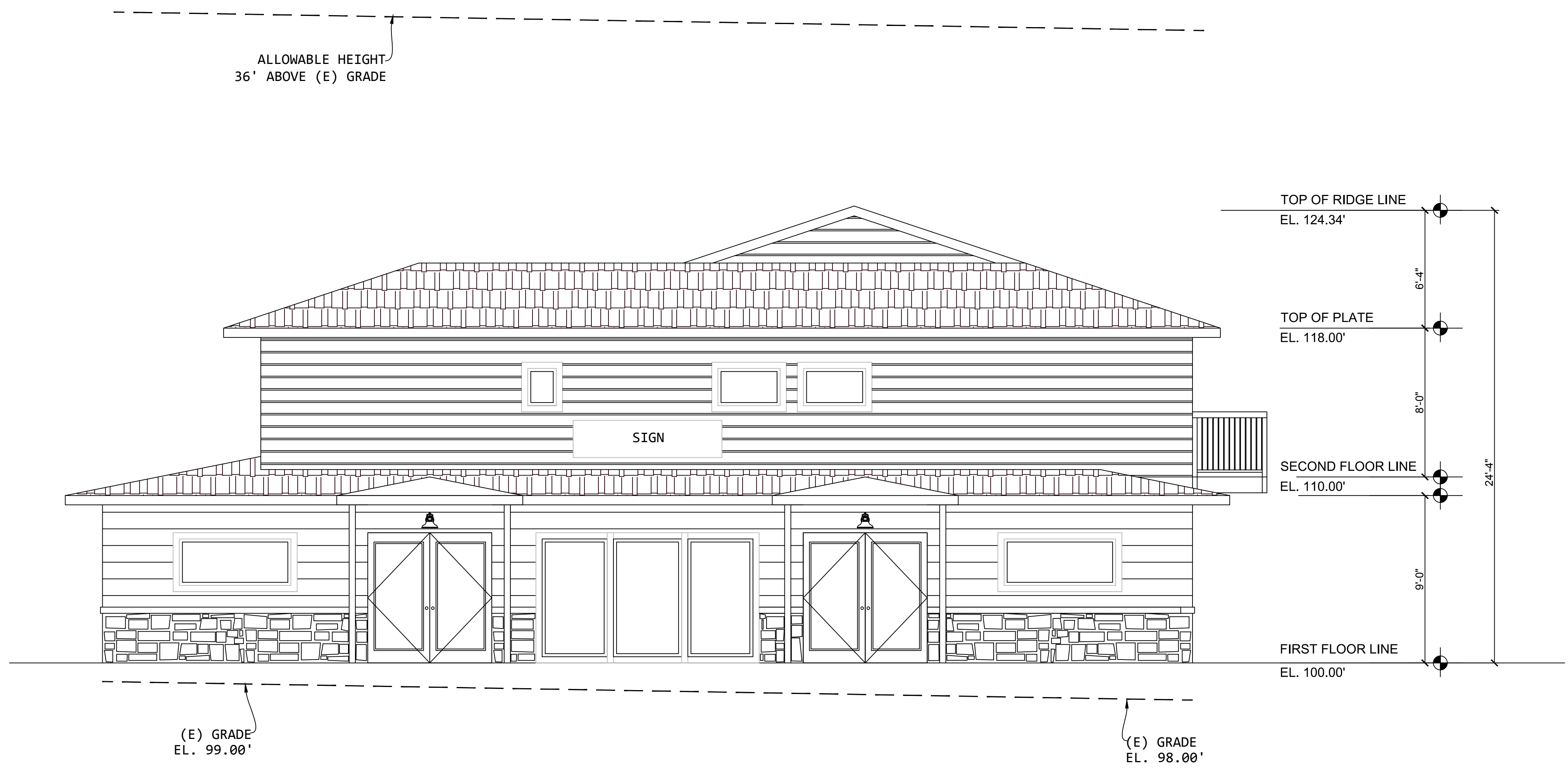
7/9/2019

- Virginia Ave. Moss Beach,
 CA -

ELEVATIONS

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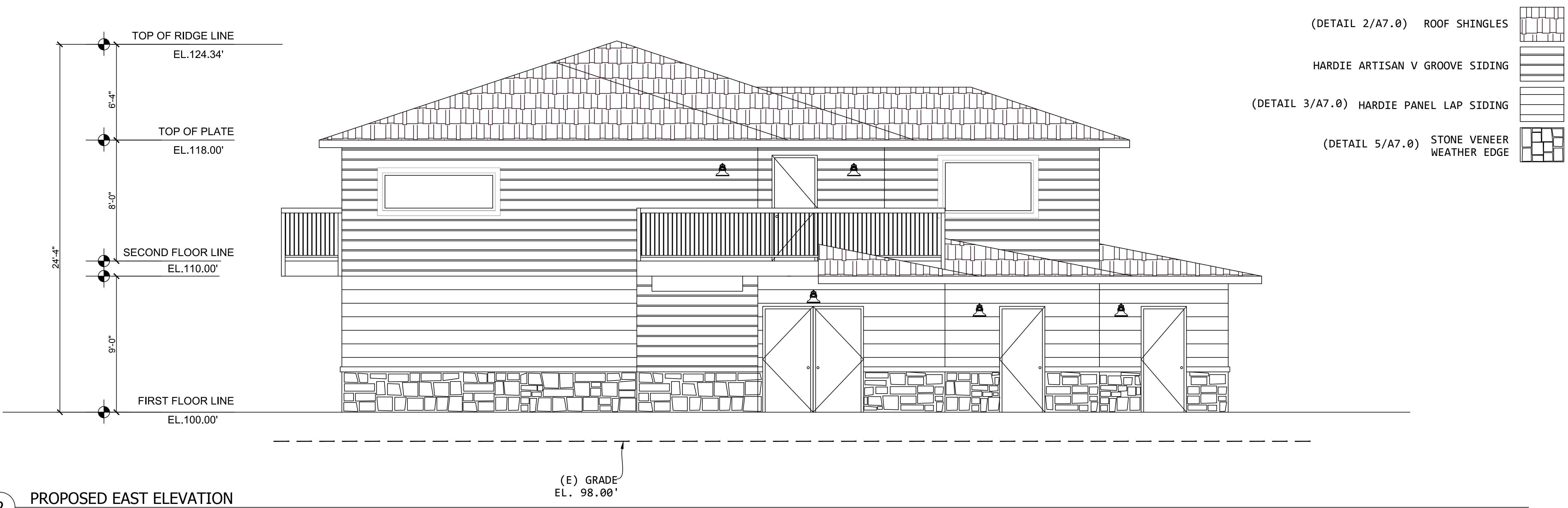
- (DETAIL 2/A7.0) ROOF SHINGLES
- HARDIE ARTISAN V GROOVE SIDING
- (DETAIL 3/A7.0) HARDIE PANEL LAP SIDING
- (DETAIL 5/A7.0) STONE VENEER WEATHER EDGE



1 PROPOSED WEST ELEVATION

Scale: 1/4" = 1'-0"

ALLOWABLE HEIGHT
 36' ABOVE (E) GRADE



2 PROPOSED EAST ELEVATION

Scale: 1/4" = 1'-0"



COLORED FRONT ELEVATION

COLOR & MATERIALS BOARD
1

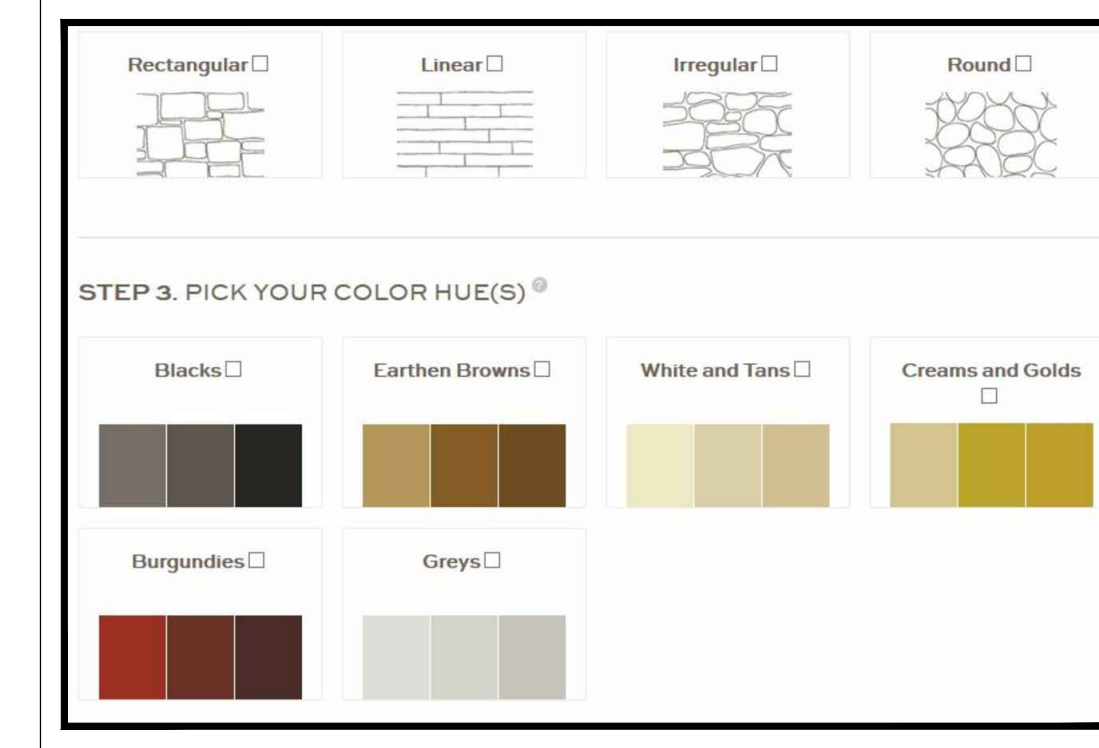
PROJECT:
MULTI-USE BUILDING
VIRGINIA AVENUE, MOSS BEACH

KEMBCON ENGINEERS
CIVIL AND STRUCTURAL ENGINEERS
P.O. BOX 389
MILLBRAE, CA 94030
VOICE 650.343.8310
FAX 650.343.8312
EMAIL: engineers@kembcon.com



ROOF SHINGLES

COLOR & MATERIALS BOARD
2



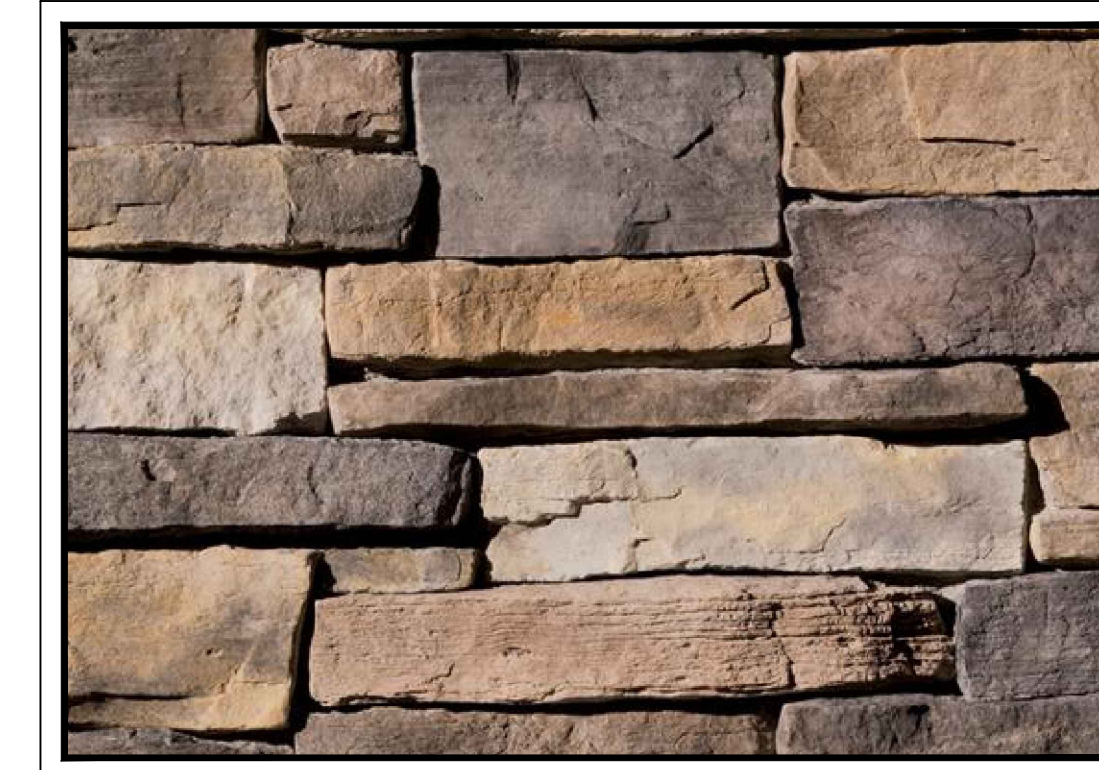
EL DORADO ARCHITECTURAL STONE VENEER

COLOR & MATERIALS BOARD
4



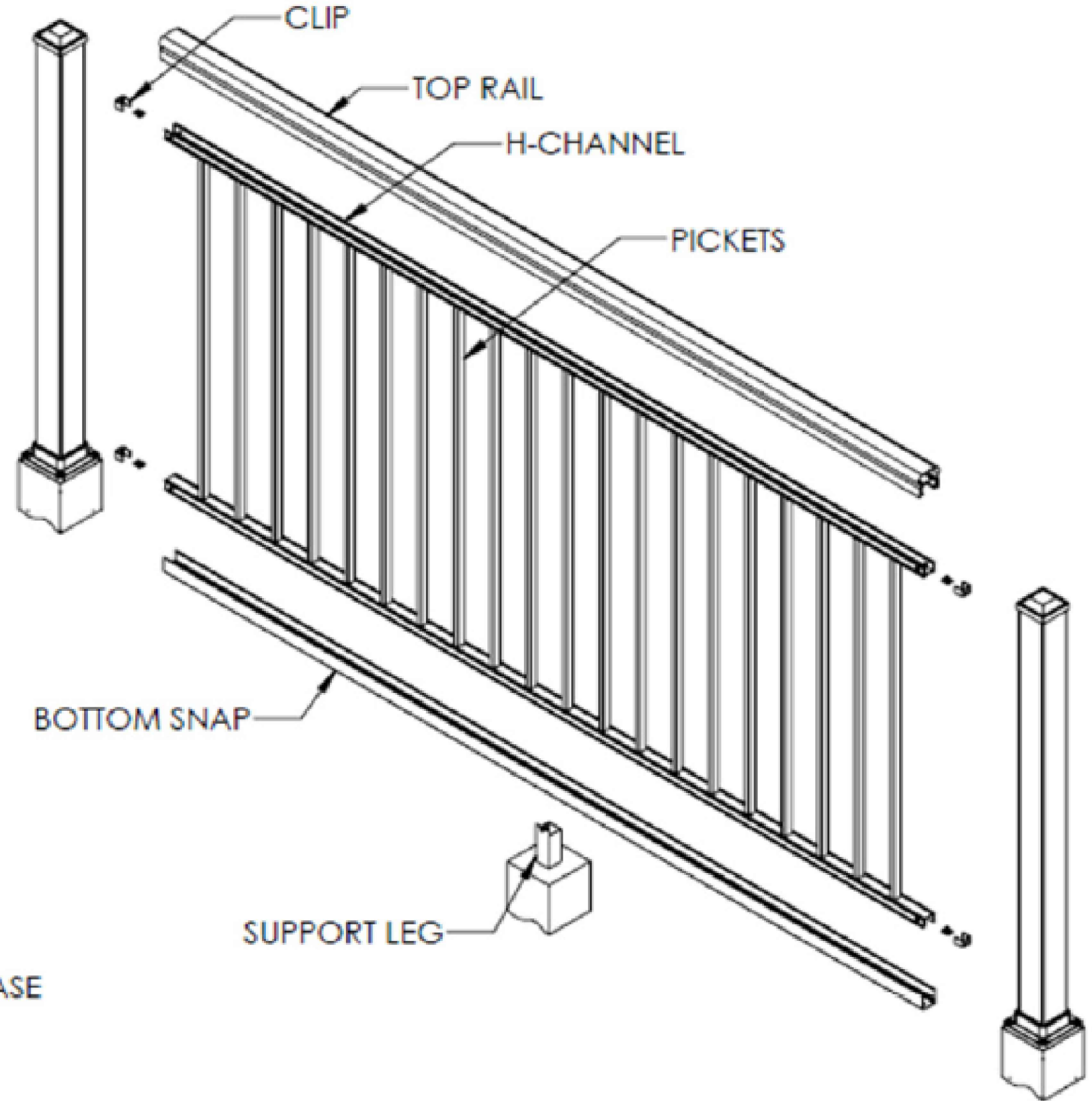
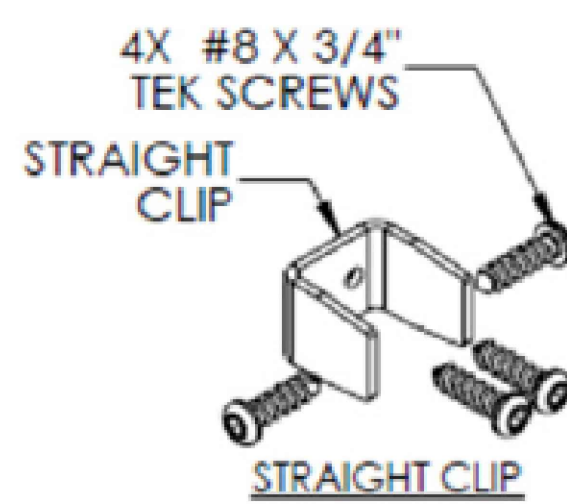
HARDIEPLANK LAP SIDING

COLOR & MATERIALS BOARD
3



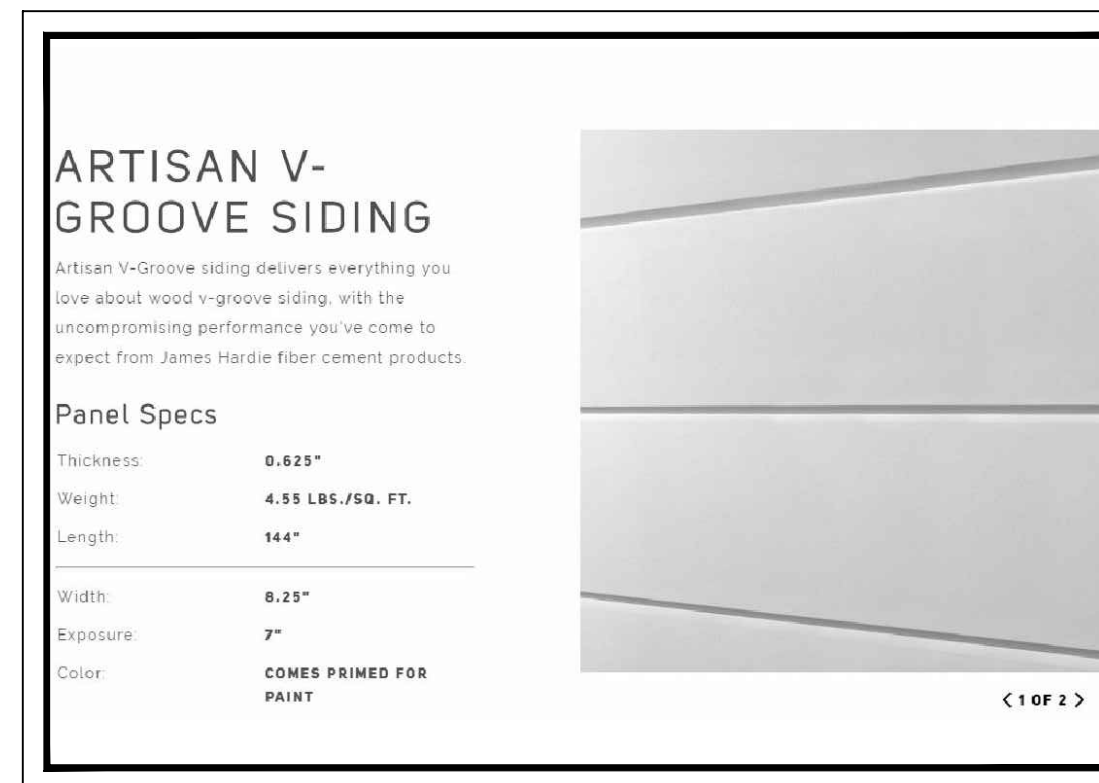
EL DORADO ARCHITECTURAL STONE VENEER WEATHER EDGE

COLOR & MATERIALS BOARD
5



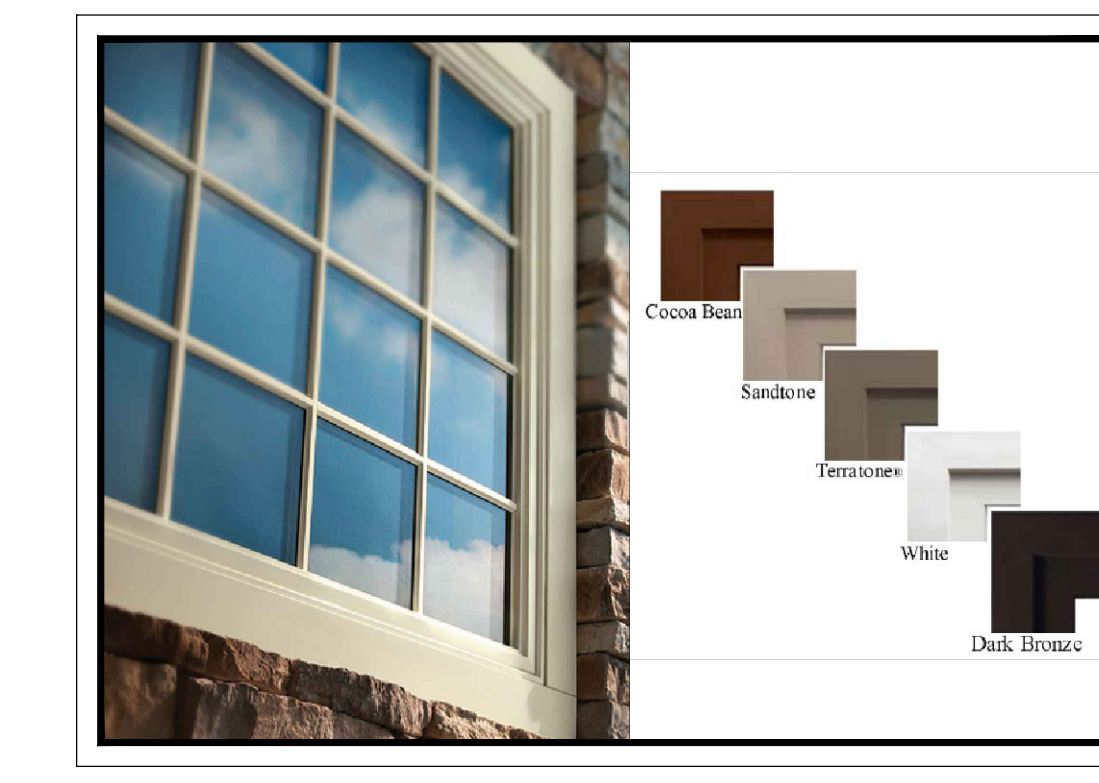
POST ASSEMBLY DETAIL

ALUMINUM RAILING



ARTISAN V GROOVE SIDING

COLOR & MATERIALS BOARD
8



ANDERSEN WINDOW & DOORS SERIES 100

COLOR & MATERIALS BOARD
6

LIGHTING SPECIFICATION

Dimensions			
Product Depth (in.)	10.5	Product Width (in.)	10.38
Product Height (in.)	9.88		
Details			
Actual Color Temperature (K)	3000	Lumens	880
Color Rendering Index (CRI)	80	Number of Lights	1 Light
Color Temperature	Bright White	Outdoor Lighting Features	Dark Sky/Weather Resistant
Compatible Bulb Type	LED	Package Quantity	1
Exterior Lighting Product Type	Outdoor Scones	Power Type	Hardwired
Fixture Color/Finish	Oil-Rubbed Bronze	Product Size	Medium
Fixture Material	Aluminum	Product Weight (lb.)	1.39lb
Glass/Lens Type	No Glass/Lens	Returnable	90-Day
Included	Hardware Included	Sconce Type	Barn Light
Light Bulb Type Included	Integrated LED	Voltage Type	Line Voltage
Light Direction	Down	Watt Equivalence	80
Warranty / Certifications			
Certifications and Listings	1-UL Listed, Energy Star	Manufacturer Warranty	5 year limited warranty



LOW WATTAGE WALL HANG LIGHTS

COLOR & MATERIALS BOARD
7

REVISIONS BY

KEMBCON ENGINEERS
CIVIL AND STRUCTURAL ENGINEERS
P.O. BOX 389
MILLBRAE, CA 94030
650.343.8310
engineers@kembcon.com

7/10/2019

- Virginia Ave. Moss Beach, CA -

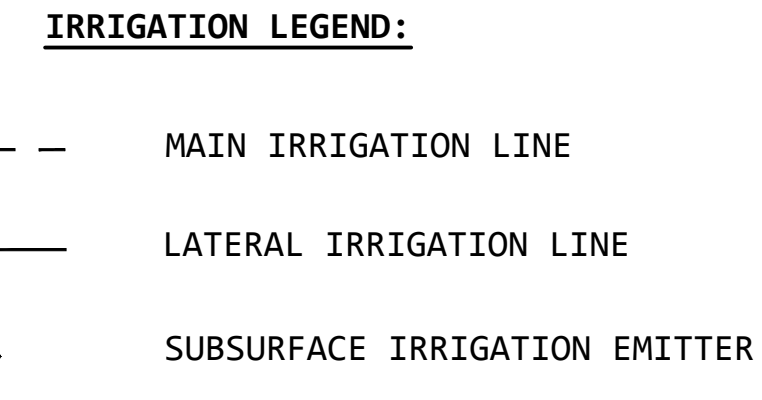
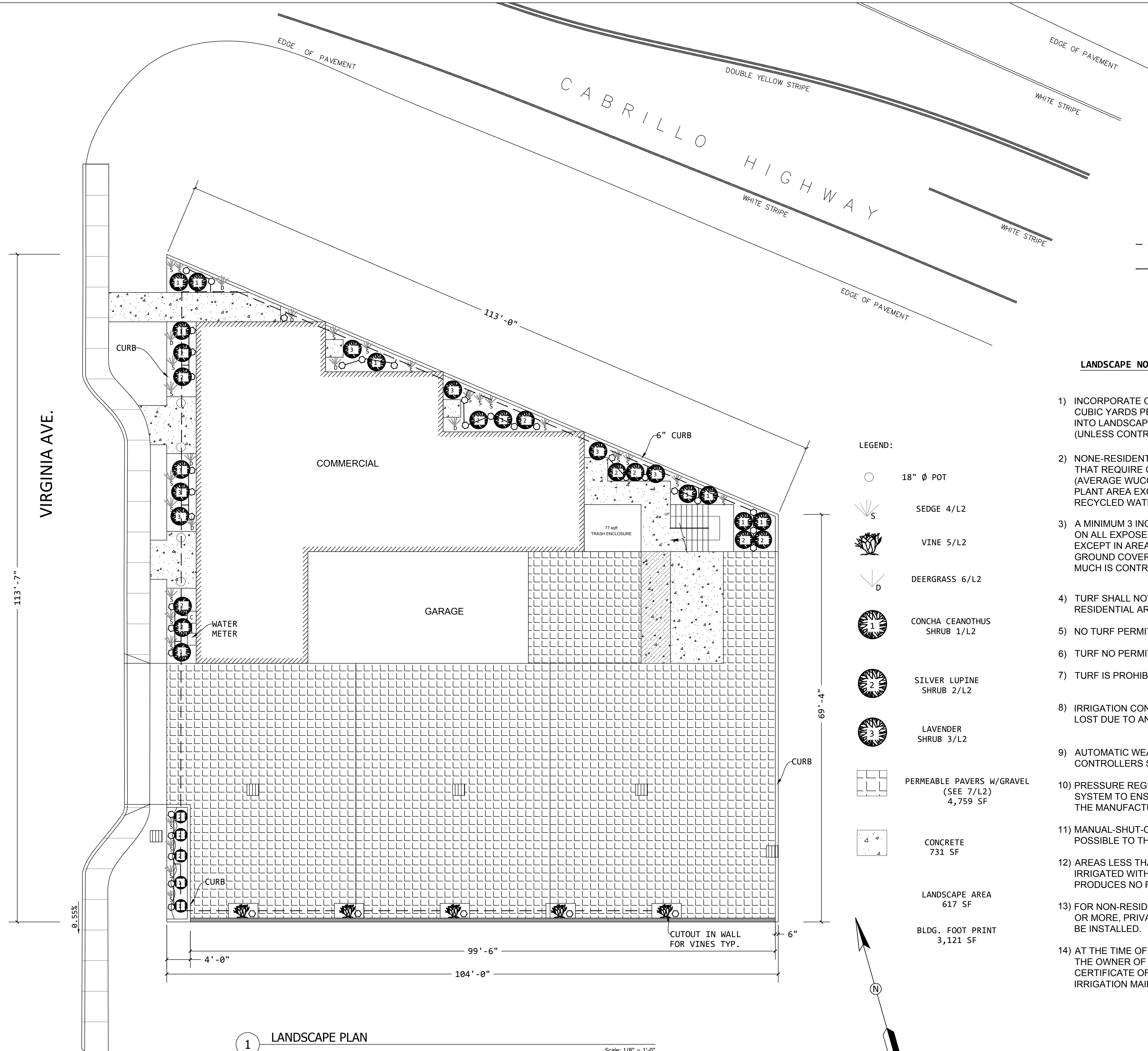
EXTERIOR FINISHES

DATE: 3/8/2018
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\\hpucad\DOCUMENTS\1\Virginia Ave. Moss Beach\ARCHITECTURAL\REV1\Virginia Ave. Moss Beach REVI-01.rvt

LAST SAVED BY: Donya



- LANDSCAPE NOTES:**
- 1) INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR (4) CUBIC YARDS PER 1,000 SQFT TO A DEPTH OF 6 INCHES INTO LANDSCAPE AREA (UNLESS CONTRA-INDICATED BY A SOIL TEST).
 - 2) NONE-RESIDENTIAL: INSTALL CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER (AVERAGE WUCOLS PLANT FACTOR 0.3) FOR 100% OF THE PLANT AREA EXCLUDING EDIBLES AND AREAS USING RECYCLED WATER.
 - 3) A MINIMUM 3 INCH LAYER OF MULCH SHOULD BE APPLIED ON ALL EXPOSED SOIL SURFACE OF PLANTING AREAS, EXCEPT IN AREAS OF TURF OR CREEPING OR ROOTING GROUND COVERS OR DIRECT SEEDING APPLICATIONS WHERE MUCH IS CONTRAINDICATED
 - 4) TURF SHALL NOT EXCEED 25% OF THE LANDSCAPE AREA IN RESIDENTIAL AREAS.
 - 5) NO TURF PERMITTED IN NON-RESIDENTIAL AREAS.
 - 6) TURF NO PERMITTED ON SLOPES GREATER THAN 25%.
 - 7) TURF IS PROHIBITED IN PARKWAYS LESS THAN 10 FEET WIDE.
 - 8) IRRIGATION CONTROLLER PROGRAMMING DATA WILL NOT BE LOST DUE TO AN INTERRUPTION IN THE PRIMARY POWER SOURCE.
 - 9) AUTOMATIC WEATHER-BASED OR SOIL-MOISTURE BASED IRRIGATION CONTROLLERS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM.
 - 10) PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
 - 11) MANUAL-SHUT-OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
 - 12) AREAS LESS THAN 10-FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.
 - 13) FOR NON-RESIDENTIAL PROJECTS WITH LANDSCAPE AREAS OF 1,000SQFT OR MORE, PRIVATE SUBMETER TO MEASURE LANDSCAPE WATER USE SHALL BE INSTALLED.
 - 14) AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

- LEGEND:**
- 18" Ø POT
 - S SEDGE 4/L2
 - V VINE 5/L2
 - D DEERGRASS 6/L2
 - 1 CONCHA CEANOTHUS SHRUB 1/L2
 - 2 SILVER LUPINE SHRUB 2/L2
 - 3 LAVENDER SHRUB 3/L2
 - PERMEABLE PAVERS W/GRAVEL (SEE 7/L2) 4,759 SF
 - CONCRETE 731 SF
 - LANDSCAPE AREA 617 SF
 - BLDG. FOOT PRINT 3,121 SF

REVISIONS	BY
KEMBCON ENGINEERS CIVIL AND STRUCTURAL ENGINEERS P.O. BOX 389 MILLBRAE, CA 94030 650.343.8310 engineers@kembcon.com	
LANDSCAPE PLAN - Virginia Ave. Moss Beach, CA -	
DATE: 3/8/2018 SCALE: AS SHOWN DRAWN: PAGE:	
L1.0	

1 LANDSCAPE PLAN
 Scale: 1/8" = 1'-0"



County of San Mateo - Planning and Building Department

ATTACHMENT D











COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT E

DEPARTMENT OF TRANSPORTATION

DISTRICT 4

OFFICE OF TRANSIT AND COMMUNITY PLANNING

P.O. BOX 23660, MS-10D

OAKLAND, CA 94623-0660

PHONE (510) 286-5528

FAX (510) 286-5559

TTY 711

www.dot.ca.gov



*Making Conservation
a California Way of Life.*

May 17, 2018

GTS # 04-SM-2018-00178

GTS ID: 10396

PM: SM – 1 – 35.174

Dennis Aguirre, Project Planner
San Mateo County
455 County Center, 2nd Floor
Redwood City, CA 94063

PLN2018-00097 Virginia Ave. and Highway 1 Mixed-Use Project – Application Referral

Dear Mr. Aguirre:

Thank you for including the California Department of Transportation (Caltrans) in the environmental review process for PLN2018-00097 Virginia Ave. and Highway 1 Mixed-Use Project. In tandem with the Metropolitan Transportation Commission's (MTC) Sustainable Communities Strategy (SCS), Caltrans' mission signals a modernization of our approach to evaluate and mitigate impacts to the State Transportation Network (STN). Caltrans' *Strategic Management Plan 2015-2020* aims to reduce Vehicle Miles Traveled (VMT) by tripling bicycle and doubling both pedestrian and transit travel by 2020. Our comments are based on the April 4, 2018 Planning Permit Application Referral.

Project Understanding

This application requests a Coastal Development Permit (CDP), Use Permit, Merger, and Certificate of Compliance/Type A for a new 5,405 square-foot (sq/ft) mixed-use building, consisting of 2,256 sq/ft of ground-floor commercial and 2,256 sq/ft of residential (three dwelling units) on the second floor. The project will include five covered parking spaces and 14 uncovered parking spaces. The project is located at the southwest corner of State Route (SR) 1 and Virginia Avenue in Moss Beach; access is proposed from Virginia Avenue. The site is presently a weed-covered, flat, treeless, triangular vacant lot; no trees are to be removed.

Clarification

Please show all applicable property and setback lines on the site plans, plans, and section views. Please also clarify if the new Concrete Mason Unit (CMU) wall will only be on the south property line.

Multimodal Planning

The *Caltrans District Four Bike Plan* (2018) proposes a HAWK beacon or Rectangular Rapid Flash Beacon (RRFB) at the SR 1/Virginia Avenue intersection. SamTrans bus routes 17 and 18 stop on Etheldore Street, approximately 1,000 feet from the project site. Route 17 operates on hourly headways and route 18 provides school-day only service; these bus stops are unimproved. Working with SamTrans to improve stop locations and reduce headway times would help facilitate transit access to the site. This project should be conditioned to contribute fair share fees to the improvements mentioned above. We encourage a sufficient allocation of fair share contributions toward multi-modal and regional transit improvements to fully mitigate cumulative impacts to regional transportation. We also strongly support measures to increase sustainable mode shares, thereby reducing VMT.

The project's primary and secondary effects on pedestrians, bicyclists, disabled travelers and transit users should be evaluated, including countermeasures and trade-offs resulting from mitigating VMT increases. Access for pedestrians and bicyclists to transit facilities must be maintained. These smart growth approaches are consistent with MTC's Regional Transportation Plan/Sustainable Community Strategies and would help meet Caltrans Strategic Management targets.

Vehicle Trip Reduction

From Caltrans' *Smart Mobility 2010: A Call to Action for the New Decade*, the project site is identified as **Place Type 5a: Rural Towns** where location efficiency factors, such as community design, are moderate to high and regional accessibility is low. Given the place type and size of the project, it should include a robust Transportation Demand Management (TDM) Program to reduce VMT and greenhouse gas emissions. The measures listed below will promote smart mobility and reduce regional VMT.

- Project design to encourage walking, bicycling and transit access;
- Transit subsidies for residents and employees on an ongoing basis;
- Charging stations and designated parking spaces for electric vehicles;
- Designated parking spaces for a car share program;
- Unbundled parking;
- Showers, changing rooms and clothing lockers for employees that commute via active transportation;
- Emergency Ride Home program;
- Employee transportation coordinator;
- Secured bicycle storage facilities;
- Fix-it bicycle repair station(s);
- Bicycle route mapping resources;
- Participation/Formation in/of a Transportation Management Association (TMA) in partnership with other developments in the area; and
- Aggressive trip reduction targets with Lead Agency monitoring and enforcement.

Transportation Demand Management programs should be documented with annual monitoring reports by an onsite TDM coordinator to demonstrate effectiveness. If the project does not achieve the VMT reduction goals, the reports should also include next steps to take in order to achieve those targets. Also, reducing parking supply can encourage active forms of transportation, reduce regional VMT, and lessen future transportation impacts on State facilities. These smart growth approaches are consistent with the MTC's Regional Transportation Plan/SCS goals and would meet Caltrans Strategic Management Plan sustainability goals.

For additional TDM options, please refer to the Federal Highway Administration's *Integrating Demand Management into the Transportation Planning Process: A Desk Reference* (Chapter 8). The reference is available online at:
<http://www.ops.fhwa.dot.gov/publications/fhwahop12035/fhwahop12035.pdf>.

Lead Agency

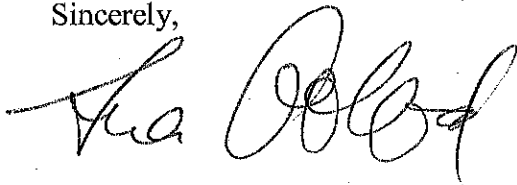
As the Lead Agency, the County of San Mateo is responsible for all project mitigation, including any needed improvements to the STN. The project's fair share contribution, financing, scheduling, implementation responsibilities and lead agency monitoring should be fully discussed for all proposed mitigation measures.

Encroachment Permit

Please be advised that any work or traffic control that encroaches onto the state ROW requires an encroachment permit that is issued by the Department. To apply, a completed encroachment permit application, environmental documentation, and five (5) sets of plans clearly indicating state ROW must be submitted to: Office of Permits, California DOT, District 4, P.O. Box 23660, Oakland, CA 94623-0660. Traffic-related mitigation measures should be incorporated into the construction plans during the encroachment permit process. See the website link below for more information: <http://www.dot.ca.gov/hq/traffops/developserv/permits/>.

Thank you again for including Caltrans in the environmental review process. Should you have any questions regarding this letter, please contact Jake Freedman at 510-286-5518 or jake.freedman@dot.ca.gov.

Sincerely,



for PATRICIA MAURICE
District Branch Chief
Local Development - Intergovernmental Review



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT F

Midcoast Community Council

*An elected Advisory Council to the San Mateo County Board of Supervisors
representing Montara, Moss Beach, El Granada, Princeton, and Miramar
P.O. Box 248, Moss Beach, CA 94038-0248 - www.MidcoastCommunityCouncil.org*

Dave Olson . **Claire Toutant** . **Lisa Ketcham** . **Dan Haggerty** . **Chris Johnson** . **Brandon Kwan** . **Barbra Mathewson**
Chair Vice-Chair Secretary Treasurer

Date: May 9, 2018

To: Dennis Aguirre, Project Planner

Cc: Diana Shu, DPW Road Operations Manager
Patricia Maurice, Caltrans Intergovernmental Review

From: Midcoast Community Council/ Dave Olson, Chair

Subject: **PLN2018-00097 – Moss Beach mixed-use 2-story building on SW corner Virginia/Hwy 1 consisting of 2256 s/f commercial on ground floor, 3 residential units on 2nd floor, and 19 parking spaces**

Thank you for the early referral for this project, which we are pleased to note, is compatible with neighborhood character and scale. MCC has the following requests:

Regarding the Caltrans ROW:

- Provide pedestrian facilities (sidewalk or formal trail) along the highway frontage, connecting to the adjacent sidewalk on Virginia. Ideally, formalized pedestrian access should also connect to the next side street, Vermont.
- Plant a few trees along the highway frontage between the pedestrian facility and the highway. This is a prime opportunity for tree canopy due to the wide shoulder area and absence of power lines along this block.
- Request that Caltrans prevent highway access and parking in the ROW west of the paved shoulder in this block, such as by providing asphalt curb where necessary to discourage access. Wide-open highway access, as has occurred in the two adjacent blocks, is a safety hazard for all highway users in this busy village context.

General comments:

- Avoid sidewalk duplication on Virginia. Replace proposed additional sidewalk next to the building with landscape area.
- Consider re-aligning the existing sidewalk with the location at the parking cutout in order to provide adequate width for street parking. Note that parking is not prohibited in the narrower street sections resulting in parked vehicles extending well into the travel lane. This is a particular hazard near the highway intersection next to the project.
- Provide taller more robust plant material at stairway/trash enclosure area.
- Provide bicycle-parking facilities for business patrons.

Thank you for your consideration.