

0.07 0 0.04 0.07 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:2,256

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650.363.4161 ■ FAX 650.363.4849

Application for
Design Review by the
County Coastside Design
Review Committee

Permit #: PLN 2017-00509
Other Permit #: _____

1. Basic Information

Applicant:

Name: Same
Address: _____
Zip: _____
Phone, W: _____ H: _____
Email: _____

Owner (if different from Applicant):

Name: Cesar Sanchez Contreras
Address: 352 Belleville BLVD
Half Moon Bay Zip: 94019
Phone, W: 650-823-1259
Email: CesarSanchezvc@gmail.com

Architect or Designer (if different from Applicant):

Name: Terry Armentrout, INC
Address: 18290 Ridgedale Dr Madera CA 93638
Phone, W: 559-479-1714 H: _____ Email: terry-armentrout@yahoo.com

2. Project Site Information

Project Location:

APN: 047-244-240
Address: Isabella Rd
El Granada CA Zip: 94018
Zoning: Single Family Residence
Parcel/lot size: 5,000 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe): _____

3. Project Description

Project:

- New Single Family Residence: 2,684 sq. ft
- Addition to Residence: _____ sq. ft
- Other: _____

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Describe Project:

new house

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	SEE ELEVATION'S		<input type="checkbox"/>
b. Trim			<input type="checkbox"/>
c. Windows			<input type="checkbox"/>
d. Doors			<input type="checkbox"/>
e. Roof			<input type="checkbox"/>
f. Chimneys			<input type="checkbox"/>
g. Decks & railings			<input type="checkbox"/>
h. Stairs			<input type="checkbox"/>
i. Retaining walls			<input type="checkbox"/>
j. Fences			<input type="checkbox"/>
k. Accessory buildings			<input type="checkbox"/>
l. Garage/Carport			<input type="checkbox"/>

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

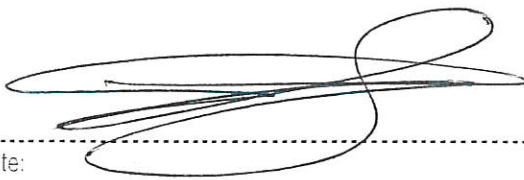
6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Cesar Sanchez Contreras

Owner:

Applicant:



01-24-2019

Date:

Date:

Certificate of Exemption or Exclusion from a Coastal Development Permit

Permanent Record
Microfilming Required

Permit #: PLN _____

Permit #: BLD _____

PLN 2017-00509

1. Basic Information

Owner
 Name: Cesar Sanchez Contreras
 Address: 352 Belleville Blvd
Half Wood Bay
CA Zip: 94019
 Phone, W: _____ H: 650-823-1259
 Email Address: CesarSanchezyc@Comcast.net

Applicant
 Name: _____
 Address: _____

 _____ Zip: _____
 Phone, W: _____ H: _____
 Email Address: _____

2. Project Information

Project Description:
New House
2,174 Sqft
406 Garage
106 Porch

Assessor's Parcel Number(s):
047-244-240

Existing water source:
 Utility connection
 Well _____

Proposed water source:
 Utility connection _____
 Well _____

Staking of well location and property lines are required.

Provide site plan depicting location and all trees.
 Will this require any grading or vegetation/tree removal? Yes No

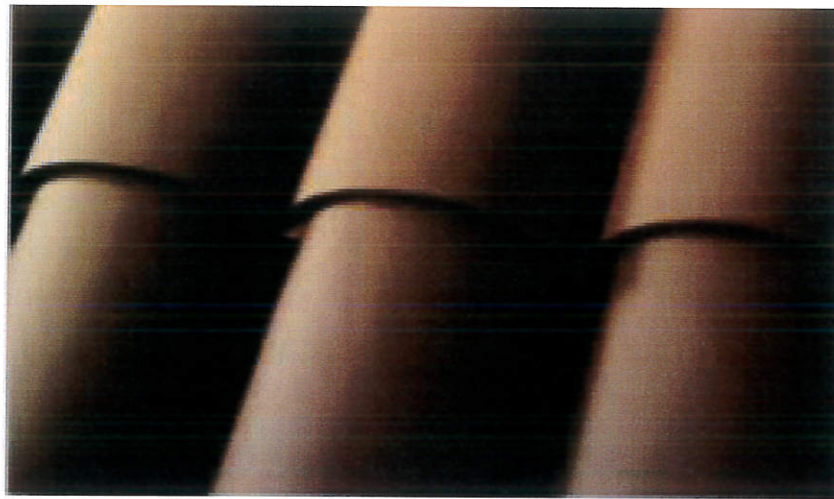
If Yes, additional permits may be required. Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.

3. Signatures

We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we hereby agree to carry out this project in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance.

Cesar Sanchez Contreras 10-24-18
 Owner Date Applicant Date

(Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)



CRRC ID: 0942-0161a / Ref: 0.29 / Emit: 0.84 / SRt: 28



CRRC

Old World #3

tops: 1UADU3114 / pans: 1UBDU6078



Rust
tops:



CRRC ID: 0942-0159a / Ref: .30 / Emit: .85 / SRt: 30






CRRC

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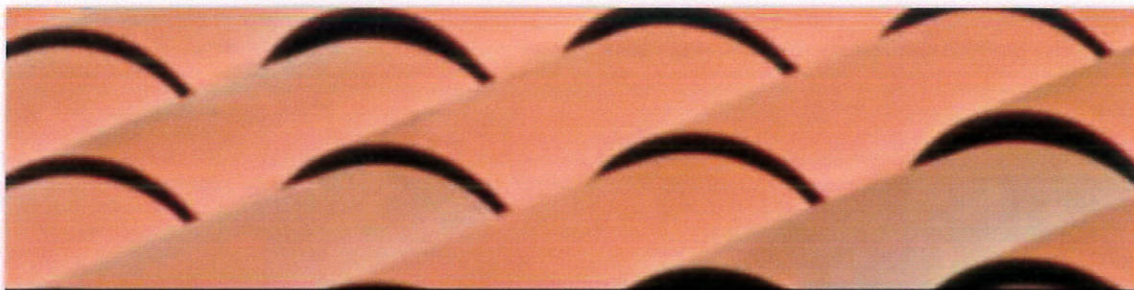
San Mateo County
Planning Division

PLN2017-00509

	18" x 13"	At 3" minimum headlap, 88 field tiles will cover approx. 100 square feet of roof area.	Approx: 590 lbs.	336	3.8	Approx: 2,300 lbs.		6.75" x 2.625"
NOTE: Select ClayLite meets Grade 1 standards per ASTM C1167.								
	18" x 13"	At 3" minimum headlap, 88 field tiles will cover approx. 100 square feet of roof area.	Approx: 590 lbs.	418	4.75	Approx: 2,900 lbs.		
NOTE: Select ClayMax meets Grade 1 standards per ASTM C1167.								

NOTE: Please call Customer Service at 800.669.8453 or login to myBoral at www.BoralRoof.com to confirm product quantities and availability before arriving at the plant for pick up. Select products are made-to-order and are available for pick up within approximately 2-3 weeks from the order date. These made-to-order products may require a minimum quantity, so please check with customer service before placing your order.

25



ABOUT BORAL ROOFING

Boral Roofing LLC is a subsidiary of Boral USA and is the country's largest premium provider of complete roofing and re-roofing solutions for architects as well as commercial and residential builders. Boral Roofing operates manufacturing plants throughout the US.

ABOUT BORAL NORTH AMERICA

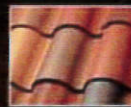
Headquartered in Roswell, Georgia, Boral North America is a leader in key construction materials and building products markets with operations across the USA, Canada and Mexico. In 2017 Boral acquired Headwaters Incorporated, expanding Boral's product offering and manufacturing and distribution footprint across North America. In construction materials, Boral has a national footprint and industry-leading position in the processing and distribution of fly ash – a by-product of coal combustion – as well as a Texas-based concrete block business, and Denver concrete and quarries operations.

In building products, Boral manufactures and supplies cladding, roof tiles, windows and other light building products for residential and commercial markets nationally. Boral's manufactured stone veneer includes leading brands Cultured Stone® by Boral®, Boral Versetta Stone®, Eldorado Stone, Dutch Quality Stone and StoneCraft. Boral's light building products portfolio includes Boral TruExterior® Siding & Trim – a pioneer of the innovative poly-ash category of exterior building products – as well as shutters, gable vents, mounting blocks and tool systems. In roofing, Boral is a leading manufacturer of clay and concrete roof tiles, and also produces composite polymer and stone-coated metal roof tiles.

Boral also has a 50% share of the Meridian Brick joint venture, a leading clay and concrete brick manufacturer which was formed with Forterra Brick in 2016.

www.BoralRoof.com

Design-A-Blend



Explore the Infinite Color Possibilities

Design-A-Blend is your starting point to explore the infinite color possibilities with US Tile® by Boral®. As you identify color combinations you are interested in, email your blends or give us a call and we will take it from there.

Visit www.BoralRoof.com to try it today!

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Corona, CALIFORNIA
Lathrop, CALIFORNIA
Stockton, CALIFORNIA
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Denver, COLORADO
Pompano Beach, FLORIDA
Lake Wales, FLORIDA

Okeechobee, FLORIDA
Atlanta, GEORGIA
Kapolei, HAWAII
Henderson, NEVADA
Fort Worth, TEXAS
Katy, TEXAS
Tacoma, WASHINGTON

Corporate Office

Boral Roofing
 200 Mansell Court East, Suite 310
 Roswell, GA 30076

Western Office

Boral Roofing
 7575 Irvine Center Drive, Ste. #100
 Irvine, CA 92618

Customer Service

800.669.TILE (8453)

Website



Download a QR Code reader app for your smart phone, then take a photo to visit our website www.BoralRoof.com



Code Approval: Complies with all building codes including but not limited to ICC ESR-1647. Some approvals are regional and only apply to locally produced products; please contact Boral Roofing before transporting product across state lines. Specifically, products used in the Miami Dade County region of Florida require special testing and recognition. All tiles are Class A fire rated.

Disclaimer: The printed colors shown in this brochure may vary from actual available tile colors. Before making a final selection, be sure to review actual tile samples and roof installations. Please contact your local sales office for further assistance. Inadvertent errors in this publication are subject to change without notice. No performance guarantee is offered or implied beyond that expressly indicated.

Installation: According to the Tile Roofing Institute loading guidelines, "To achieve a pleasant, random blend of color for your job, care should be taken upon loading to mix the tiles." (Source: 2015 Concrete and Clay Roof Tile Installation Manual). Please consult the Tile Roofing Institute (TRI) installation guides for application recommendations.

Technical Specifications

Profile	Size	Coverage	Installed Weight per Square	Pieces per Pallet	Squares per Pallet	Weight per Pallet	Birdstop	Size
 2-Piece Mission	18" x 7" - 8.5"	At 3" minimum headlap, 172 field tiles will cover approx. 100 square feet of roof area.	Approx. 1,000 lbs.	360	2.09	Approx. 2,150 lbs.		6.75" x 3.75"
NOTE: Select 2-Piece Mission meets Grade 1 standards per ASTM C1167.								
 2-Piece Monarch	18" x 5.25" - 6.75"	At 3" minimum headlap, 220 field tiles will cover approx. 100 square feet of roof area.	Approx. 1,070 lbs.	408	1.85	Approx. 2,050 lbs.		5" x 3"
 1-Piece "S" Tile	18" x 13"	At 3" minimum headlap, 88 field tiles will cover approx. 100 square feet of roof area.	Approx. 800 lbs.	252	2.86	Approx. 2,400 lbs.		6.75" x 2.625"
NOTE: 1-Piece "S" Tile is Class 3/Hail Rated product per FM4473 standards. Select 1-Piece "S" Tile meets Grade 1 standards per ASTM C1167.								
 Romano Pans	18" x 11"	At 3" minimum headlap, 74 field tiles will cover approx. 100 square feet of roof area.	Approx. 900 lbs.	420		Approx. 2,950 lbs.		
NOTE: Romano Pans meet Grade 1 standards per ASTM C1167.								
 ClayLite	18" x 13"	At 3" minimum headlap, 88 field tiles will cover approx. 100 square feet of roof area.	Approx. 590 lbs.	336	3.8	Approx. 2,300 lbs.		6.75" x 2.625"
NOTE: Select ClayLite meets Grade 1 standards per ASTM C1167.								
 ClayMax	18" x 13"	At 3" minimum headlap, 88 field tiles will cover approx. 100 square feet of roof area.	Approx. 580 lbs.	418	4.75	Approx. 2,900 lbs.		
NOTE: Select ClayMax meets Grade 1 standards per ASTM C1167.								

NOTE: Please call Customer Service at 800.669.8453 or login to myBoral at www.BoralRoof.com to confirm product quantities and availability before arriving at the plant for pick up. Select products are made-to-order and are available for pick up within approximately 2-3 weeks from the order date. These made-to-order products may require a minimum quantity, so please check with customer service before placing your order.





Sage Ridge 16" High Dark Sky Outdoor Wall Light - Style # 12674

★★★★☆ 10 Reviews | 2 Questions, 2 Answers

\$179.95

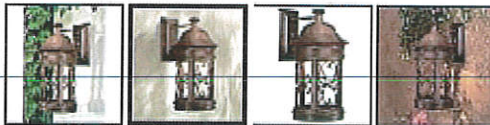
FREE SHIPPING & FREE RETURNS* | [Low Price Guarantee](#)
IN STOCK - [Ships In 1 to 2 Days](#)

1 [ADD TO CART](#) [SAVE](#)

[Check Store Availability](#)

Warm your home entry space with this Dark Sky compliant wall light from Minka.

[MORE DETAILS >](#)



MORE YOU MAY LIKE



\$179.95



\$149.99



\$149.99



\$89.99



\$169.99

PRODUCT DETAILS

Give your home an infusion of warm Mediterranean style with The Sage Ridge outdoor lighting collection from Minka. This wall mount light features a vintage rust finish and elegant scroll accents. The bulb is tucked up inside the lantern-like enclosure, making the design Dark Sky regulation compliant.

- 16" high x 8 1/2" wide. Backplate is 5" high x 4 3/4" wide. Extends 10 1/2" from the wall. Weighs 2.25 lbs.
- Uses one maximum 60 watt standard-medium base A-15 bulb (not included).
- A Dark Sky compliant, no-glass outdoor wall light design by Minka Lavery.
- Vintage rust finish. Metal construction.
- Wet location outdoor rated.

MINKA LAVERY

[Shop all Minka Lavery](#)

Check size & position before you buy! [Printable Life-Size Image](#)

NN 15

VAN DYKE BROWN SW 7041

fastia

RR 15

BITTERSWEET STEM SW 7536

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San Mateo County
Planning Division

PLN2017-00509

RR 04

MUSLIN SW 6133

Main Body

CITY NOTES

- DRIVEWAYS TO RESIDENTIAL GARAGES SHALL HAVE A MAXIMUM SLOPE OF TWELVE PERCENT (12%) FOR A MINIMUM DISTANCE OF TWENTY FEET (20') FROM THE GARAGE. NO PORTION OF THE DRIVEWAY SHALL EXCEED A GRADE OF EIGHTEEN PERCENT (18%).
- FINISH FLOOR ELEVATION TO BE A MINIMUM OF SIX INCHES (6") ABOVE THE CENTERLINE OF THE STREET OR PER CITY STANDARDS.
- LOT DRAINAGE: PROVIDE A 2% SLOPE AWAY FROM THE BUILDING FOR A MINIMUM OF FIVE FEET. NO ON-SITE WATER RETENTION. NO DRAINAGE TO ADJACENT PROPERTY. GRADE DIFFERENTIALS GREATER THAN 12 INCHES SHALL BE SUPPORTED BY AN APPROVED RETAINING WALL.
- SECURITY CODE ORDINANCE.
 - PEEP HOLE OR VISION PANEL IN MAIN ENTRY DOOR.
 - STEEL PLATE AT THE DEADBOLT STRIKER, SOLID SHIM 6" ABOVE AND BELOW WITH (2) #8 X 2" SCREWS.
 - DEADBOLT AT ALL EXTERIOR DOORS, HOUSE TO GARAGE AND GARAGE TO EXTERIOR.
 - WINDOWS TO MEET MINIMUM STANDARDS AS ESTABLISHED BY THE CBC STD.
- SMOKE DETECTORS: (SEE ELECTRICAL PLANS)
 - INSIDE ALL BEDROOMS. LOCATE ON THE ELECTRICAL PLAN.
 - IN HALLWAY AT FIRST BEDROOM.
 - WHERE CEILING HEIGHT EXCEEDS THAT OF THE ADJACENT HALL SERVING THE BEDROOMS BY 24" OR MORE.
 - SMOKE DETECTORS TO BE DIRECT WIRED I/OV WITH BATTERY BACKUP, THAT EMITS AN AUDIBLE SOUND WHEN BATTERIES ARE LOW, WIRED TOGETHER SO THAT WHEN ONE SOUNDS AN ALARM ALL WILL SOUND AN ALARM.
- WATER CLOSETS: INSTALL ONLY LOW FLOW, MAXIMUM 1.28 GALLONS PER FLUSH.
- FINGER JOINTED STUDS ARE NOT ALLOWED IN STRUCTURAL WALLS (BEARING OR SHEAR) WITHOUT ENGINEERING ANALYSIS OR ICC APPROVAL TO SUBSTANTIATE EQUIVALENCY.
- FLOUORESCENT FIXTURES
 - IN EACH ROOM WITH A WATER CLOSET AND THE KITCHEN, PROVIDE AT LEAST ONE FLOUORESCENT FIXTURE. IF MORE THAN ONE FIXTURE IS LOCATED IN THE ROOM, THE FLOUORESCENT MUST BE SWITCHED AT THE ENTRANCE. BATHROOM FLOUORESCENT FIXTURES MAY BE LOCATED IN ADJACENT ROOMS WITH COMPLIMENTARY PLUMBING FIXTURES.
 - FLOUORESCENT FIXTURE SWITCH IS TO BE THE FIRST SWITCH ENCOUNTERED.
 - INCANDESCENT AND FLOUORESCENT FIXTURES ARE NOT TO BE SWITCHED TOGETHER.
- INCANDESCENT LIGHTING FIXTURES RECESSED INTO INSULATED CEILINGS MUST BE APPROVED FOR ZERO-CLEARANCE INSULATION COVER (I.C.) BY U.L. OR OTHER TESTING LAB RECOGNIZED BY THE I.C.C.
- ATTIC ACCESS SHALL BE WEATHERSTRIPPED AND INSULATION EQUIVALENT TO THAT OF THE CEILING SHALL BE INSTALLED ON THE ACCESS PANEL.
- STREET ADDRESS NUMERALS MUST BE AT LEAST 3 INCHES HIGH WITH A 1/4 INCH STROKE MOUNTED ON A CONTRASTING BACKGROUND.
- INTERIOR WALL COVERINGS TO BE MINIMUM FLAMESPREAD CLASS III.
- THE MANUFACTURER'S CERTIFICATION OF GULIM BEAMS SHOWING SPECIFIC JOB NAME AND LOCATION MUST BE PROVIDED BEFORE FRAMING INSPECTION.
- AFTER INSTALLING HVAC EQUIPMENT AND WATER HEATING SYSTEMS, THE INSTALLER SHALL POST, IN A CONSPICUOUS LOCATION AT THE BUILDING SITE, AN "INSTALLATION CERTIFICATE" (C-F OR FORM), SIGNED BY THE INSTALLER, LISTING THE EQUIPMENT INSTALLED (MANUFACTURER, MODEL, AND EFFICIENCIES) AND THAT IT MEETS OR EXCEEDS THE REQUIREMENTS OF THE ENERGY DOCUMENTATION.

- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR.
- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
- TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA) CALL 1-800-642-2444.
- ANY UTILITIES REQUIRING RELOCATION SHALL BE THE RESPONSIBILITY AND AT THE EXPENSE OF THE DEVELOPER, CONTACT TRAFFIC ENGINEER FOR INFORMATION REGARDING REIMBURSEMENTS RELATIVE TO RELOCATING TRAFFIC SIGNAL FACILITIES, FIRE HYDRANTS WILL BE RELOCATED TO CITY FORCES, DEVELOPER IS RESPONSIBLE TO NOTIFY CITY WATER DIVISION TO ARRANGE PERMIT PROCESS AND COORDINATE WORK.
- SITE GRADING AND DRAINAGE
 - NO ON-SITE WATER RETENTION. NO DRAINAGE ONTO ADJACENT PROPERTIES.
 - DRAIN LOT TO STREET OR OTHER APPROVED DRAINAGE EASEMENT OR PONDING AREA.
 - OVERALL LOT DRAINAGE TO BE NOT LESS THAN 0.5%
 - TOP OF SLAB TO BE NOT LESS THAN 6" ABOVE THE BUILDING PAD. SLOPE EARTH AWAY FROM BUILDING PAD 2% FOR THE FIRST 5 FEET, EXCEPT AT A 5 FOOT SIDEWALK SETBACK WHERE SLOPE WILL BE 3 FEET TO A NATURAL DRAINAGE GUTTER.

General Notes

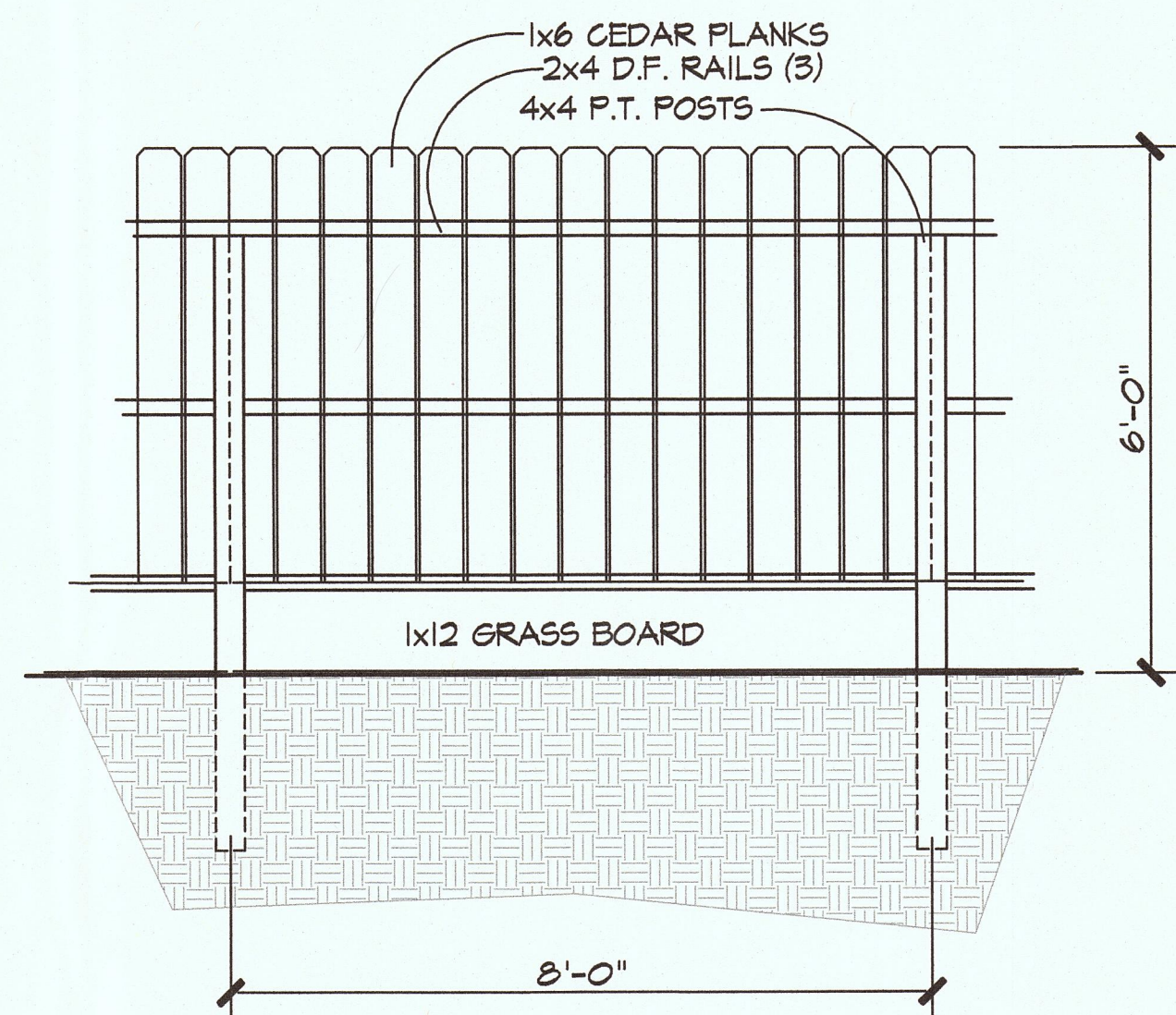
Job card req'd to be available for signature at job site.

Changes from the approved plans during construction other than 1) Cabinet changes when not being supported entirely by the roof structure, 2) Interior door and fireplace relocation shown on the approved plan, 3) A single non-bearing wall relocation when not creating an additional room, and 4) Interior nonstructural wall finishes; shall cause plan approval and construction to be suspended, a new plan check (for a new plan showing changes) will be submitted for review and approval through the normal plan check process.

Surface water to be drained away from building for at least 10 feet with a min. grade of 5% of the overall lot drainage slope must be maintained at 1% min. from rear to front with a min. slope of 1/2%.

The driveway approach within the road right of way shall be constructed to Local City standards prior to the Final Inspection of this structure by the Engineering Department. The applicant shall obtain an Encroachment Permit from the Road Department prior to the start of excavation within the road right of way.

This building design meets the design requirements set forth in section 1403(c) Title 24, CCR
TERRY ARMENTROUT



6'-0" HIGH WOOD FENCE DETAIL

NOTE:
LOT SHALL BE GRADED TO DRAIN AWAY FROM ALL FOUNDATIONS AT A SLOPE OF 5% WITHIN 10'-0" OF THE BUILDING.
IMPERVIOUS SURFACES WITHIN 10'-0" OF THE BUILDING SHALL SLOPE A MIN. OF 2% AWAY FROM BUILDING.
ALL SITE GRADING OUTSIDE OF THE BUILDING ENVELOPE IS REQUIRED TO BE A MIN. OF 0.5% DIRECTED TOWARDS THE STREET.

DESIGN CRITERIA	
CLIMATE ZONE	3
BUILDING HEIGHT	24'-8"
NUMBER OF STORIES	2
FLOOR & ROOF LIVE LOADS	FLOOR, 40 ROOF, 20
GROUND SNOW LOAD	ZERO
WIND EXPOSURE CATEGORIE	B / 85 MPH
DESIGN METHOD FOR WIND	ANALITICAL
SOIL SITE CLASS	CLASS D' - DEFAULT
GPS CO-ORDINATE FOR SITE:	
LATITUDE:	31.3024°
LONGITUDE:	-121.9125°
MAPPED SPECTRAL RESPONSE	S _{ms} = 1.500 S _{mf} = 0.900
SPECTRAL RESPONSE COEFF.	S _{ps} < 1.000 S _{pl} < 0.600
SPECTRAL RESPONSE ACCEL.	S _s = 1.500 S ₁ = 0.600
Fa	1.000 Fv
SEISMIC DESIGN CATEGORY	D
SITE ELEVATION	149' A.S.L.
SOIL DESIGN BEARING PRESS.	1500 PSF - DEFAULT
WATER PIPING MATERIALS	COPPER OR PEX
SEWER PIPING MATERIALS	SCHEDULE 40 ABS DWV
GAS PIPING MATERIALS	SCHEDULE 40 METALLIC
RESISTANCE TO LAT. FORCES	ANALITICAL

Building Data

BUILDING USE: SINGLE FAMILY RESIDENCE
OCCUPANCY CATEGORY: II
OCCUPANCY TYPE: R-3 / U
TYPE OF CONSTRUCTION: VB

Site Data

APN: 041-244-240
SITE ADD.: ISABELLA ROAD
EL GRANADA, CA. 94018

BUILDING AREAS

FIRST FLOOR AREA:	1129	S.F.
SECOND FLOOR AREA:	952-4045	S.F.
TOTAL LIVING AREA:	2081-2174	S.F.
GARAGE AREA:	471	S.F.
PORCH:	104	S.F.
TOTAL AREA:	2662-2755	S.F.
UN-COVERED PATIO:	244	S.F.

SHEET INDEX

1	SITE PLAN
2	LANDSCAPE PLAN
3	FLOOR PLAN
4	EXTERIOR ELEVATIONS
5	SECTIONS PLAN

Coverage - Floor Area Ratio

F.A.R. 2662 / 2218 = 1.20 FT.
SITE AREA: 5000 SQ. FT.
(45.5%) ± 3%

Coverage - Ground Floor Area

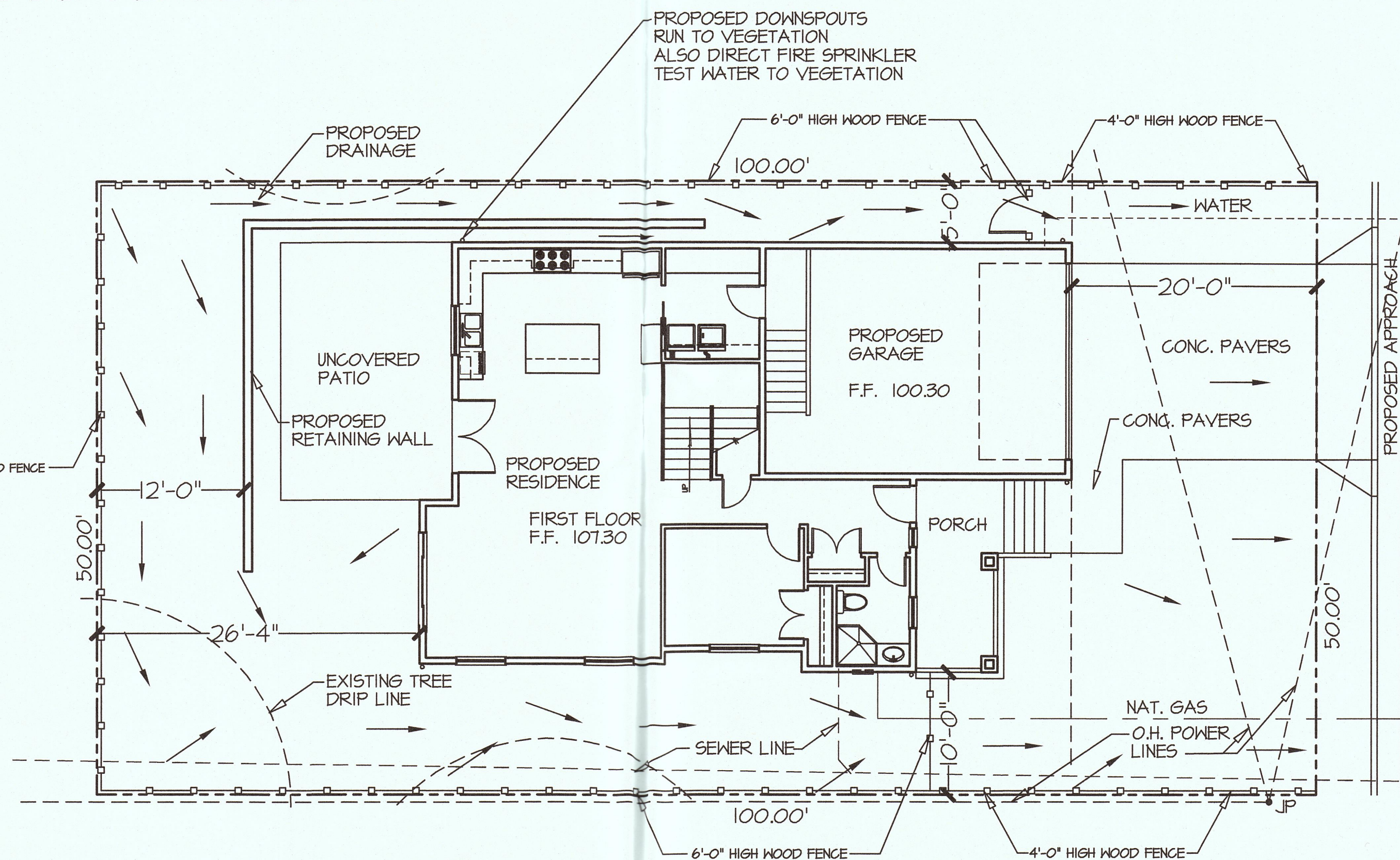
BUILDING AREA: 1710-1992 SQ. FT.
SITE AREA: 5000 SQ. FT.
(34.2%) (39.2%)

PLN2017-00509

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Planning and Building Department



NOTE:
DRAWINGS WERE DRAWN @ THE SCALE NOTED, YET AT THE TIME OF CREATING PDF'S AND PRINTING, SCALE MAY VARY.

CALIFORNIA GREEN BUILDING STANDARDS:

PROVIDE DOCUMENTATION TO THE BUILDING DEPT. SHOWING COMPLIANCE TO ITEMS NOTE BELOW.

- IMPLEMENT A PLAN TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION.
- DEVELOP A GRADING & DRAINAGE PLAN TO KEEP SURFACE WATER AWAY FROM BUILDINGS.
- CONTRACTOR TO SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN DIVERTING A MIN. OF 50% OF CONSTRUCTION WASTE GENERATED AT THE SITE TO RECYCLE OR SALVAGE.
- IDENTIFY THE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
- SPECIFY IF MATERIALS WILL BE SORTED ON SITE OR MIXED FOR TRANSPORTATION TO A DIVERSION FACILITY, AND IDENTIFY THE DIVERSION FACILITY WHERE THE MATERIAL COLLECTED WILL BE TAKEN.
- IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF WASTE GENERATED.
- SPECIFY THAT THE AMOUNT OF MATERIALS DIVERTED SHALL BE CALCULATED BY HEIGHT OR VOLUME.

NOTE:

ADDRESS NUMBERS SHALL BE DISPLAYED ON A BUILDING OR LAND IN SUCH A MANNER AS TO BE VISIBLE FROM THE STREET OR ROAD ON WHICH THE BUILDING OR LAND FRONTS. WHERE THE BUILDING IS LOCATED MORE THAN 50 FEET FROM THE MAIN ROADWAY, THE NUMBER SHALL BE DISPLAYED AT THE ENTRANCE OF THE DRIVEWAY AND BE READABLE FROM BOTH DIRECTIONS. THE SIZE OF LETTERS, NUMBERS, OR SYMBOLS FOR ADDRESSES SHALL BE A MIN. THREE INCH LETTER HEIGHT BUT SHALL NOT EXCEED TWELVE INCHES IN HEIGHT, THREE-EIGHTH INCH STROKE, REFLECTORIZED, AND CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN OR STRUCTURE ON WHICH IT IS DISPLAYED. ALL NUMBERS OR SIGNS SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER SO AS TO REMAIN READABLE.

THIS PROJECT TO HAVE AN AUTOMATIC FIRE-SUPPRESSION SYSTEM INSTALLED UNDER A SEPERATE FIRE-SPRINKLER-SYSTEM PERMIT, AND THAT SYSTEM SHALL BE IN COMPLIANCE WITH THE NFPA STANDARD 13D OF NFPA STANDARD 2013 EDITION WITH QUICK RESPONSE SPRINKLER HEADS, DESIGNS, SPECIFICATIONS AND DETAILS TO BE BY OTHERS - BY A SEPERATE PERMIT.

FIRE-SUPPRESSION SYSTEM TO BE A STAND ALONE SYSTEM.

PLANS PREPARED BY:
TERRY ARMENTROUT DRAFTING INC.
Terry & Irene ArmentROUT 19290 RIDGEDALE DRIVE
Madera, California 93696 (559) 474-1714
terry_armertROUT@yahOO.com

REVISIONS		
ITEM	DATE	COMMENTS

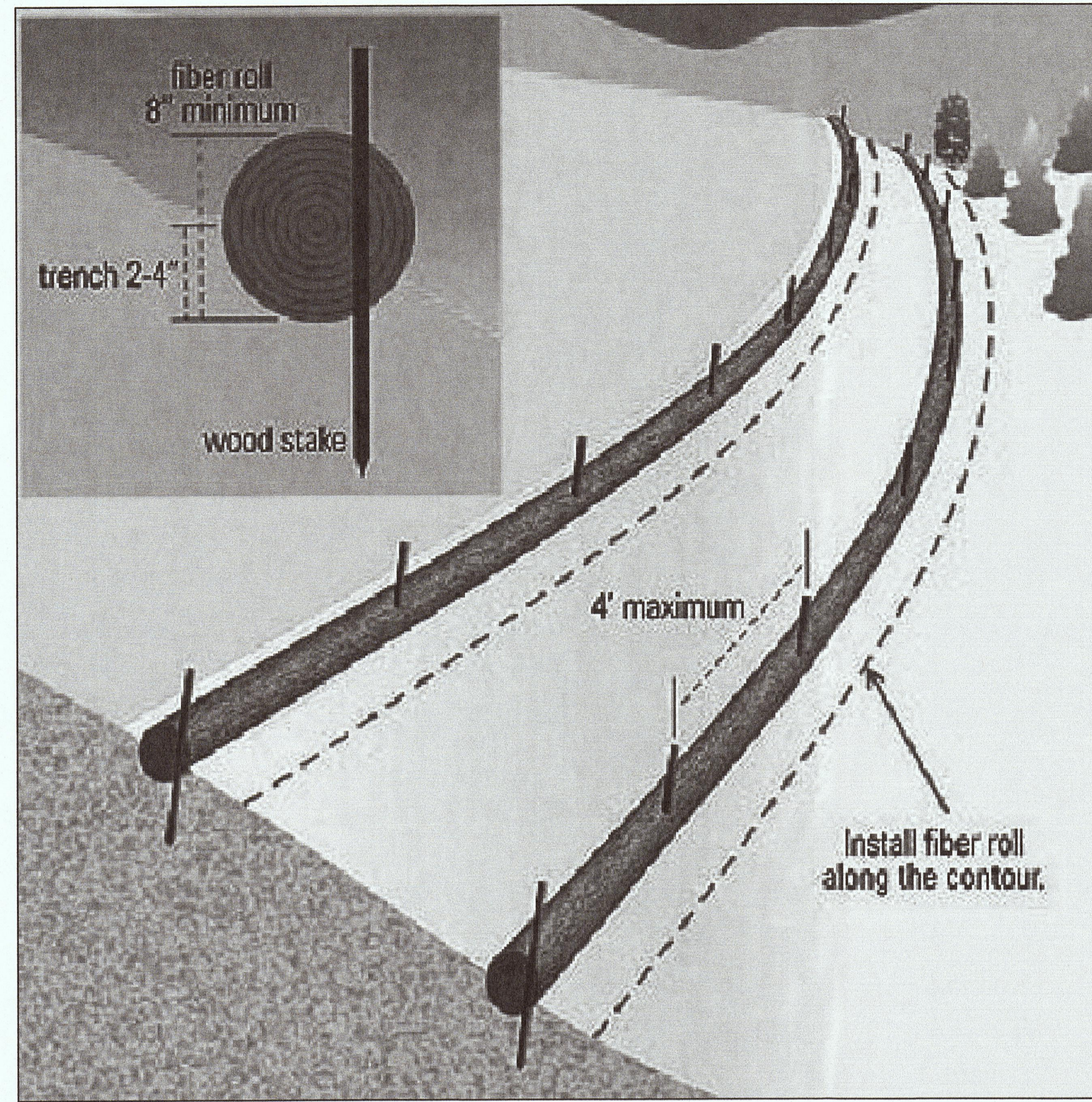
CESAR SANCHEZ
P.O. BOX 1919
EL GRANADA, CA. 94018 (650) 823-1294
PROJECT SITE: ISABELLA ROAD, EL GRANADA, CA. 94018

PLANS FOR:

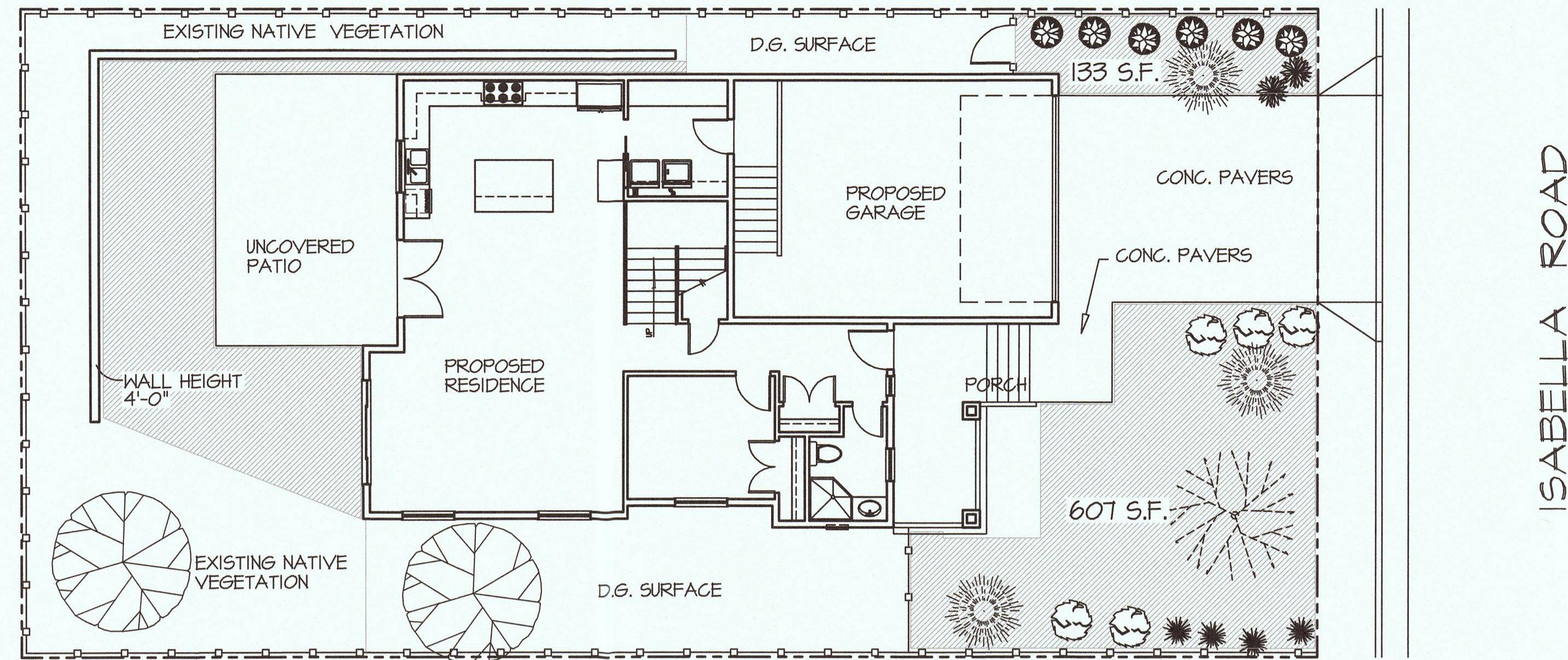
DRAWN BY:
T. ARMENTROUT
CHECKED BY:
DATE:
4 / 2019
SCALE:
1/8"=1'-0"
JOB NO.
ISABELLA ROAD
SHEET

1
OF 5 SHEETS

SITE PLAN



EROSION CONTROL MEASURES AS NEEDED



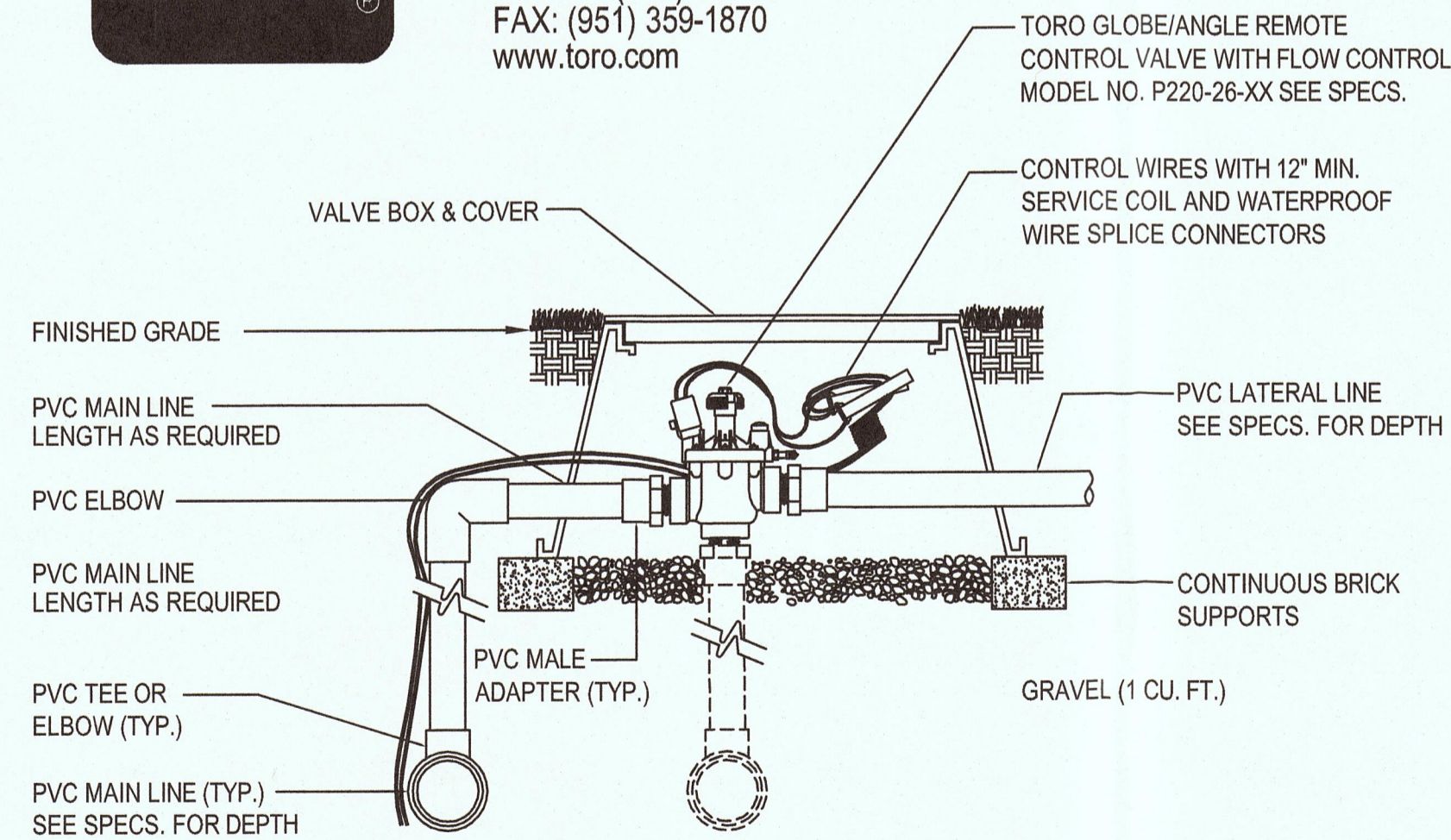
LANDSCAPE PLAN

LANDSCAPING SCHEDULE

- JACARANDA MIMOSIFOLIA 15 GAL. (1) TREE
- FRASER'S PHOTINIA 15 GAL. (3) TREE'S
- EXISTING TREE (2) TREE'S
- GAZANIAS - AZTEC & YELLOW 1 GAL. - (2) PLANTS PLANTED @ 2'-0" o.c. TYP.
- RAPHIOLLEPIS RAPH BALLARINA 5 GAL. (6) PLANTS PLANTED @ 3'-0" o.c. TYP.
- HUMUS - SPREAD
- NANDINA DWARF 1 GAL. PLANTED @ 2'-0" o.c. TYP. (4) PLANTS
- LOROPETALUM 5 GAL. CHINESE PURPLE PLANTED @ 3'-0" o.c. TYP. (3) PLANTS



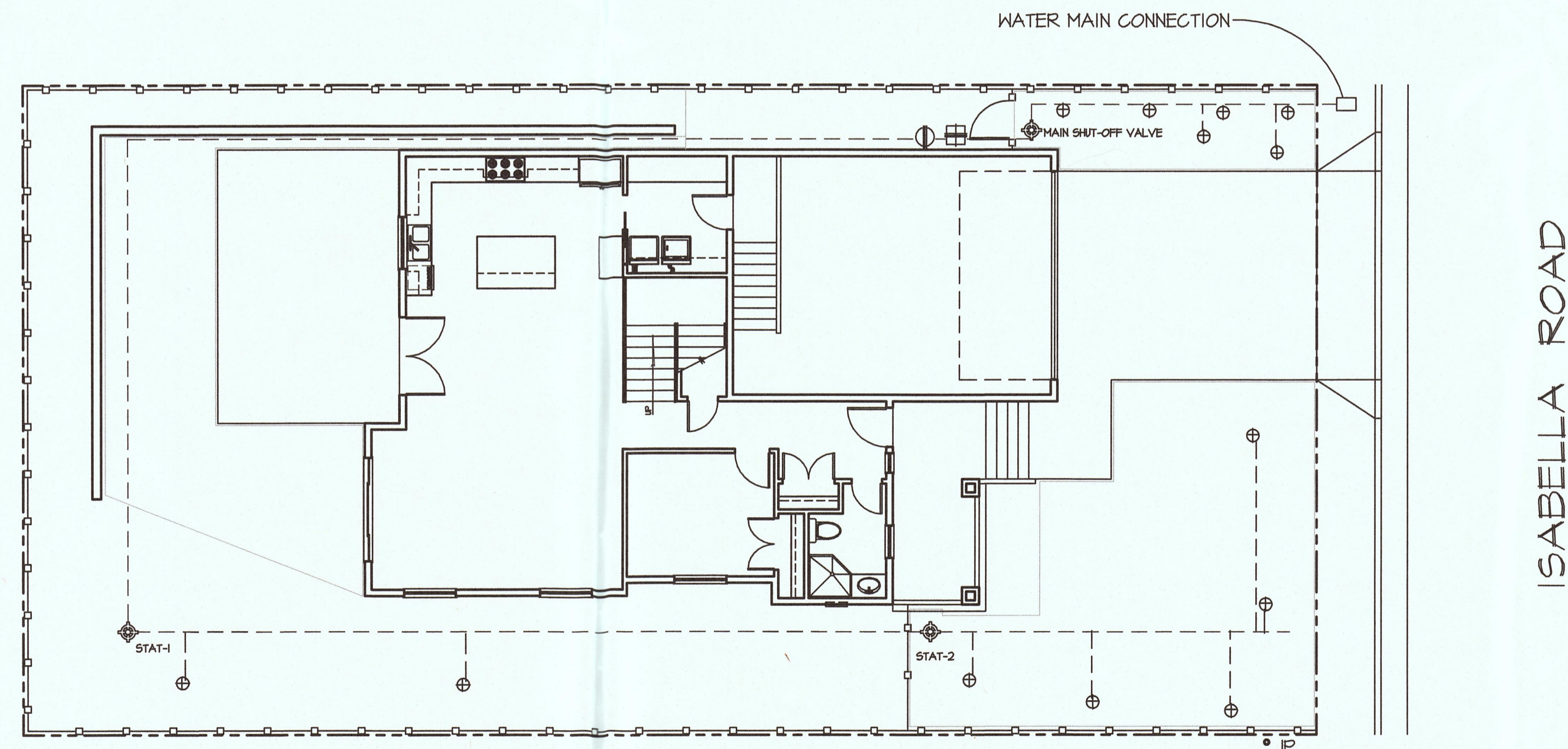
TORO-IRRIGATION DIVISION
5825 JASMINE STREET
RIVERSIDE, CA 92504
TOLL FREE: 1-877-345-8676
PHONE: (951) 785-3152
FAX: (951) 359-1870
www.toro.com



SECTION/ELEVATION
NOT TO SCALE

- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.
 3. SEE PLANS, LEGEND AND SPECIFICATIONS FOR ADDITIONAL INSTALLATION NOTES.
 4. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info REFERENCE NUMBER 065-044.

VALVES: P-220 SERIES
1" & 1-1/2" PLASTIC VALVE, ELECTRIC



IRRIGATION PLAN

NOTE:
DRAWINGS WERE DRAWN @ THE SCALE NOTED, YET AT THE TIME OF CREATING PDF'S AND PRINTING, SCALE MAY VARY.

LEGEND

- 825Y 1 1/4 FEBCO VAC BREAKER
- RD 1200 EXT IRRITROL CONTROLLER
- 220 SERIES TORO ELECTRIC VALVE
- 514-20 TORO BUBBLER

IRRIGATION CONTRACTOR TO FIELD VERIFY LOCATIONS OF ALL EMITTERS. INSTALL (4) PER TREE, (2) PER SHRUB & (1) PER GROUND COVER.

LANDSCAPE PLAN

PLANS PREPARED BY:
TERRY ARMENTROUT DRAFTING INC.
Terry & Irene Armentrout 18290 RIDGEDALE DRIVE
Madera, California 93638 (559) 474-1114
terry_armentrout@jsh100.com

REVISIONS	
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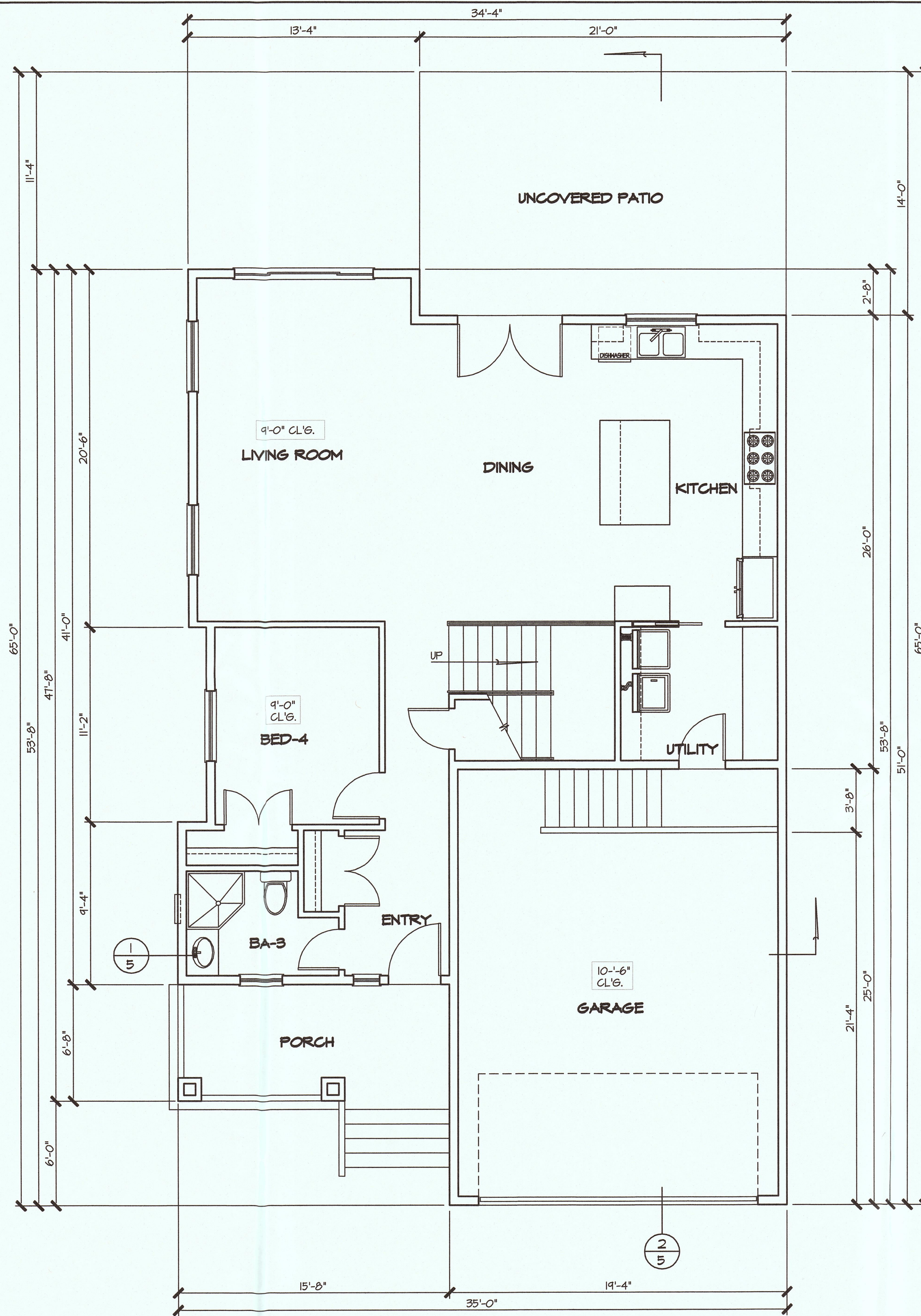
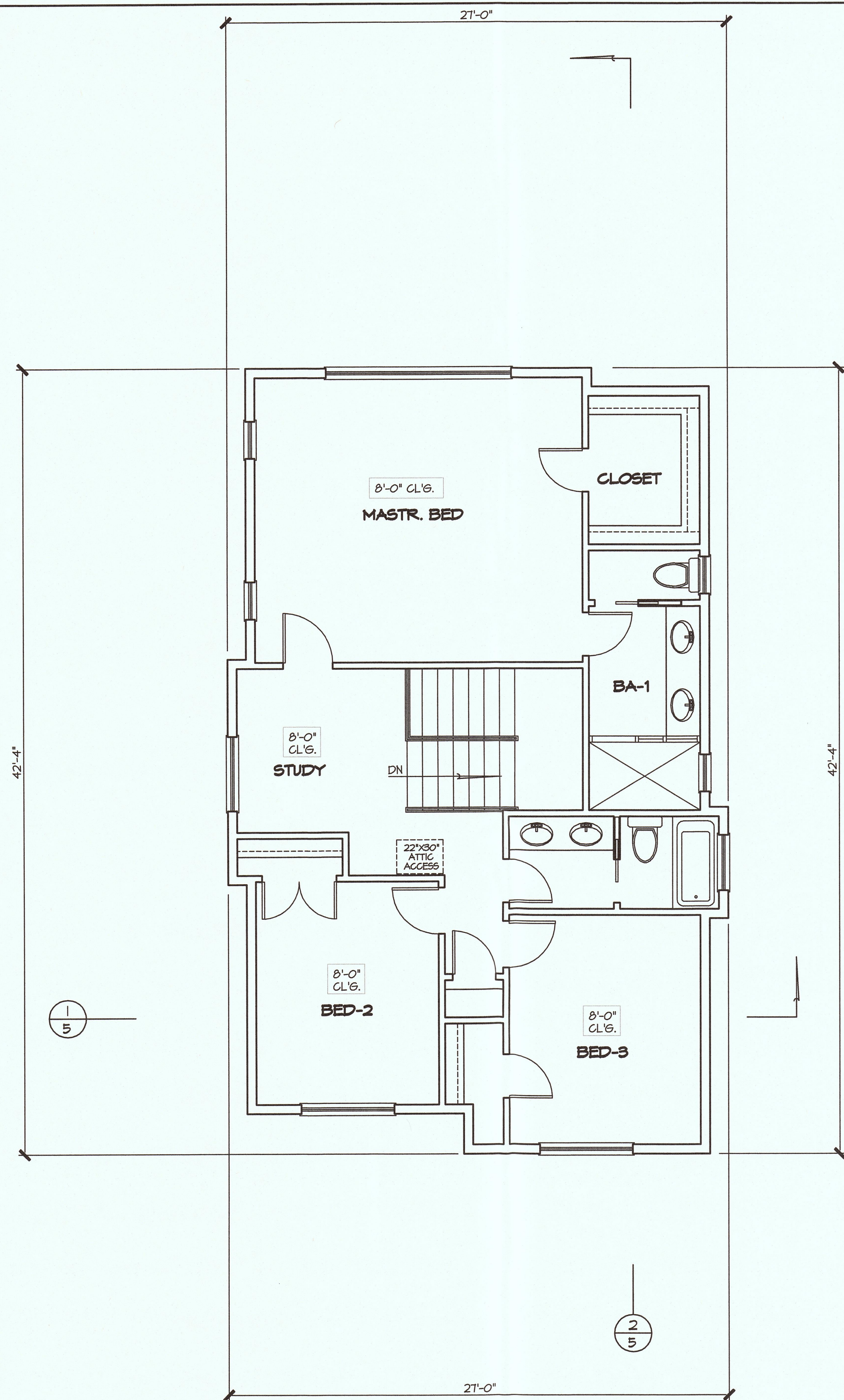
CESAR SANCHEZ
P.O. BOX 1918
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PROJECT SITE: ISABELLA ROAD, EL GRANADA, CA. 94018

PLANS FOR:

DRAWN BY	T. ARMENTROUT
CHECKED BY	
DATE	2 / 2019
SCALE	1/8"=1'-0"
JOB NO.	ISABELLA ROAD
SHEET	

2

OF 5 SHEETS



WALL LEGEND

- NEW 2"x4" FRAMED WALL @ INTERIOR
- NEW 2"x6" FRAMED WALL @ EXTERIOR
- NEW CONC. RETAINING WALL

BUILDING AREAS

FIRST FLOOR AREA:	1129	S.F.	
SECOND FLOOR AREA:	952	1045	S.F.
TOTAL LIVING AREA:	2081	2174	S.F.
GARAGE AREA:	471	S.F.	
PORCH:	104	S.F.	
TOTAL AREA:	2662	2755	S.F.
UNCOVERED PATIO:	294	S.F.	

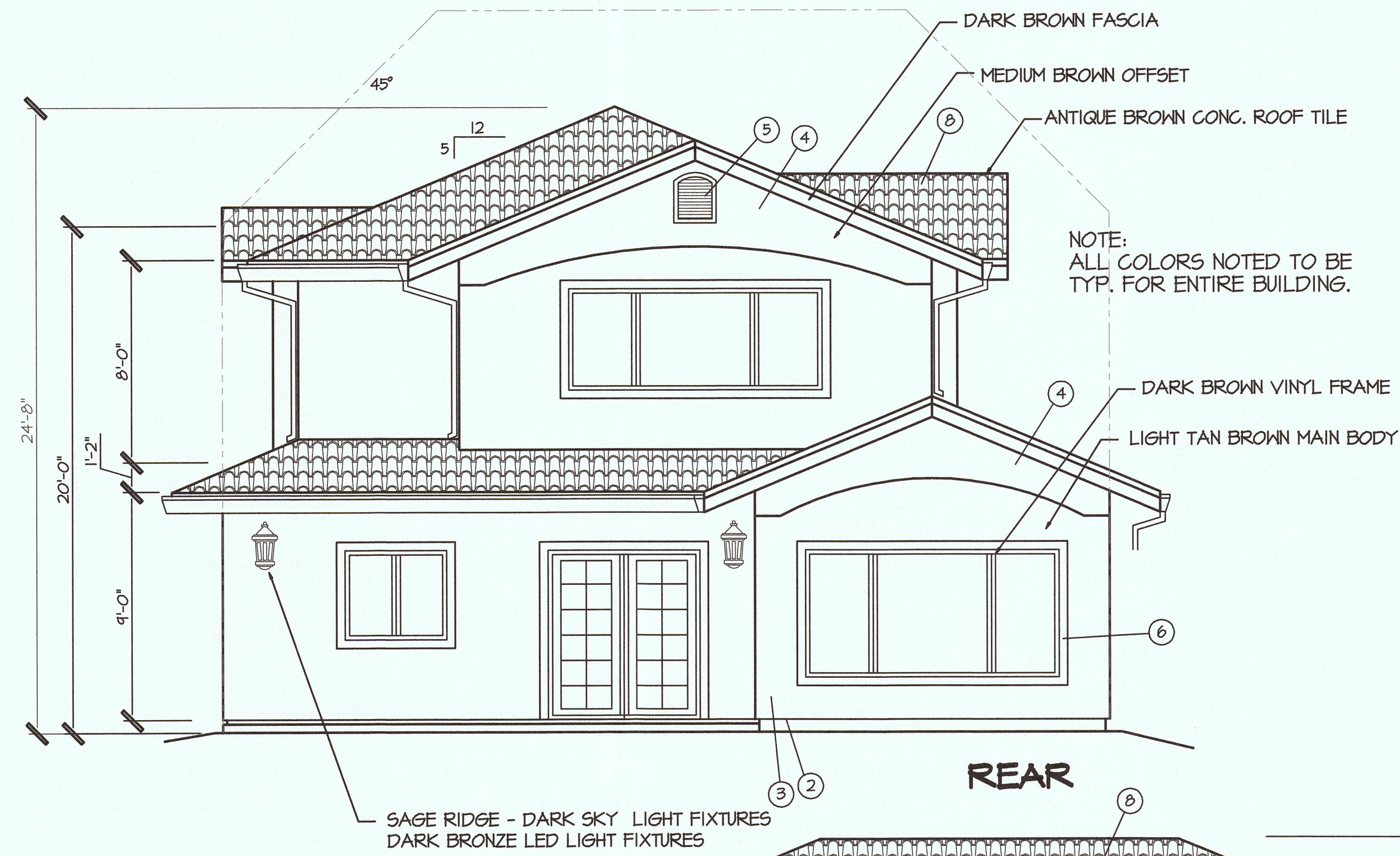
PLANS PREPARED BY:
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 terry.armentROUT@yahoo.com

REVISIONS

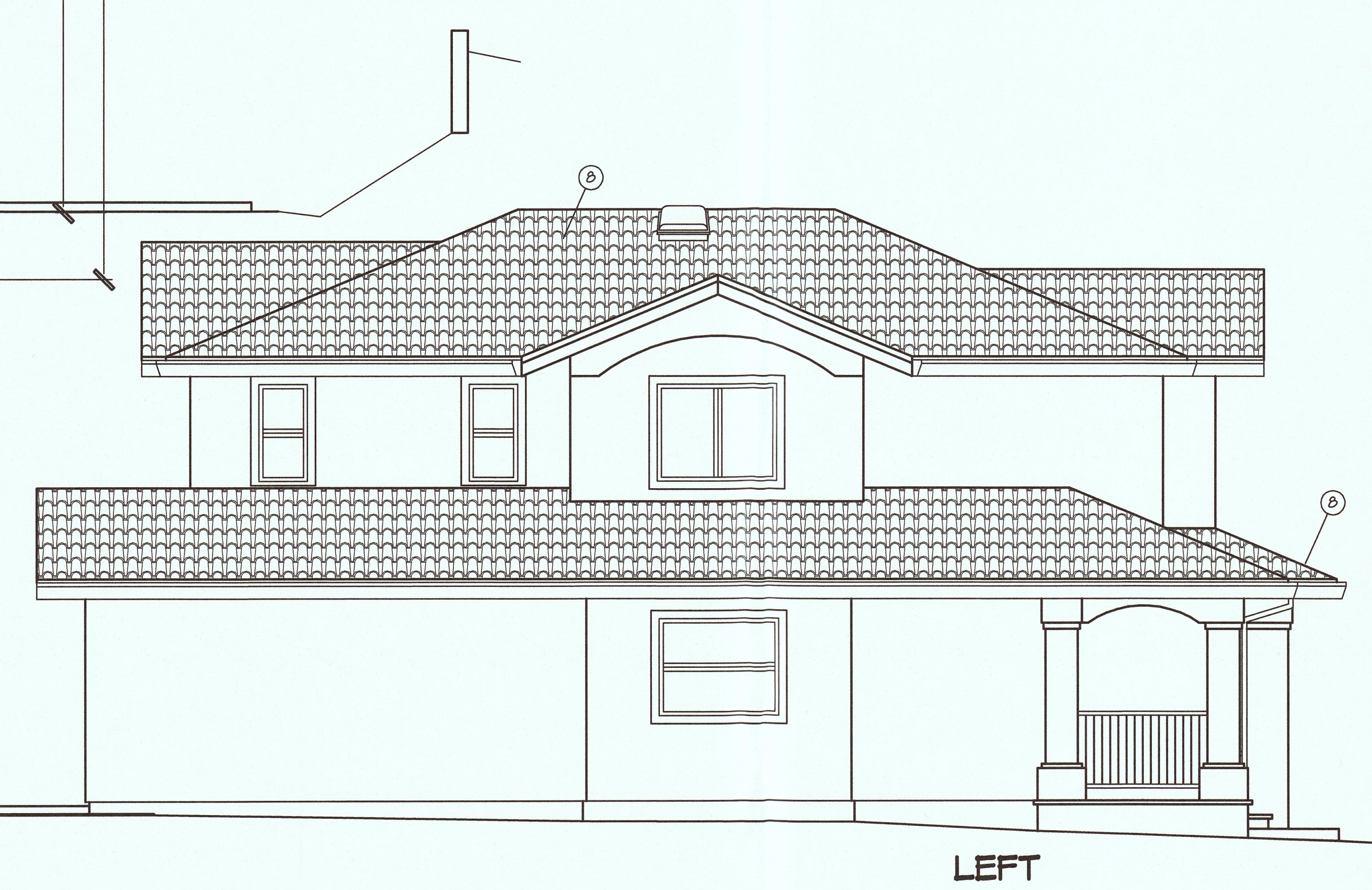
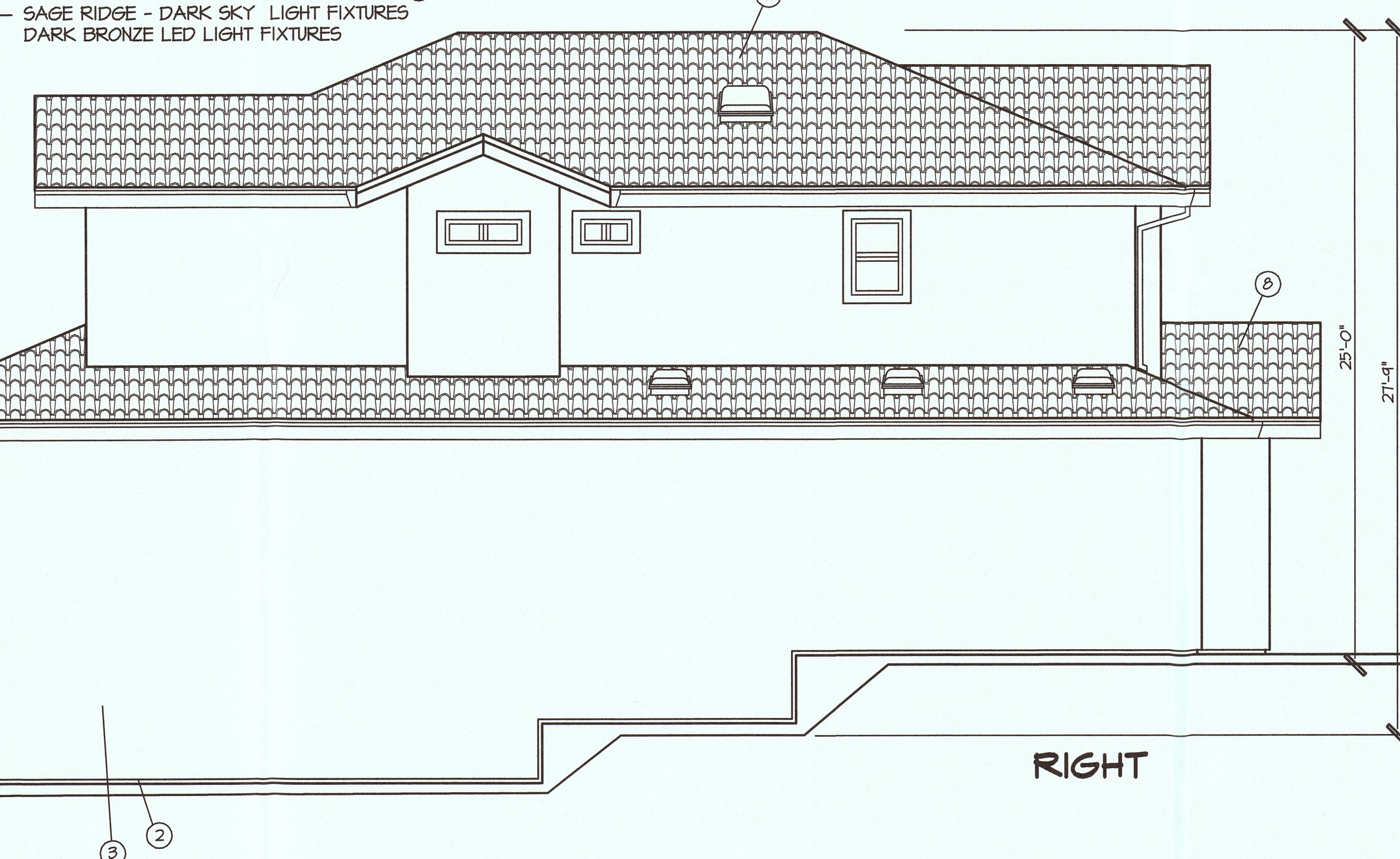
ITEM	DATE	COMMENTS

CESAR SANCHEZ
 P.O. BOX 1313
 EL GRANADA, CA. 94018 (650) 823-1251
 PROJECT SITE: ISABELLA ROAD, EL GRANADA, CA. 94018

PLANS FOR:
 DRAWN BY
 T. ARMENTROUT
 CHECKED BY
 DATE
 2 / 2019
 SCALE
 1/4"=1'
 JOB NO.
 ISABELLA ROAD
 SHEET



- ELEVATION NOTES**
- 2x fascia with shingle molding (or) per owner spec's.
 - Provide a weep screed @ foundation plate on all ext. walls, per CRC w/(2) layers, type 'D' paper.
 - 7/8" stucco exterior (3 coat) per CRC.
 - Handle-Plank siding w/appr. building paper.
 - Gable vent.
 - Stucco molding.
 - Stucco all eaves and lids.
 - Concrete tile roofing.
 - Flash & counterflash @ roof/wall intersections (typ.).
- Roof covering to conform to the standards of 2016 CRC, chapter 9.
 Roof covering to be installed in accordance w/manuf. instructions & CRC chapter 9.
 All nails to be galv. or copper coated.
 The installer shall provide certification of the roof covering classification to building dept. before the work can be finalized.
 Classification 'C' roof material req'd. min.



LEFT ELEVATIONS PLAN

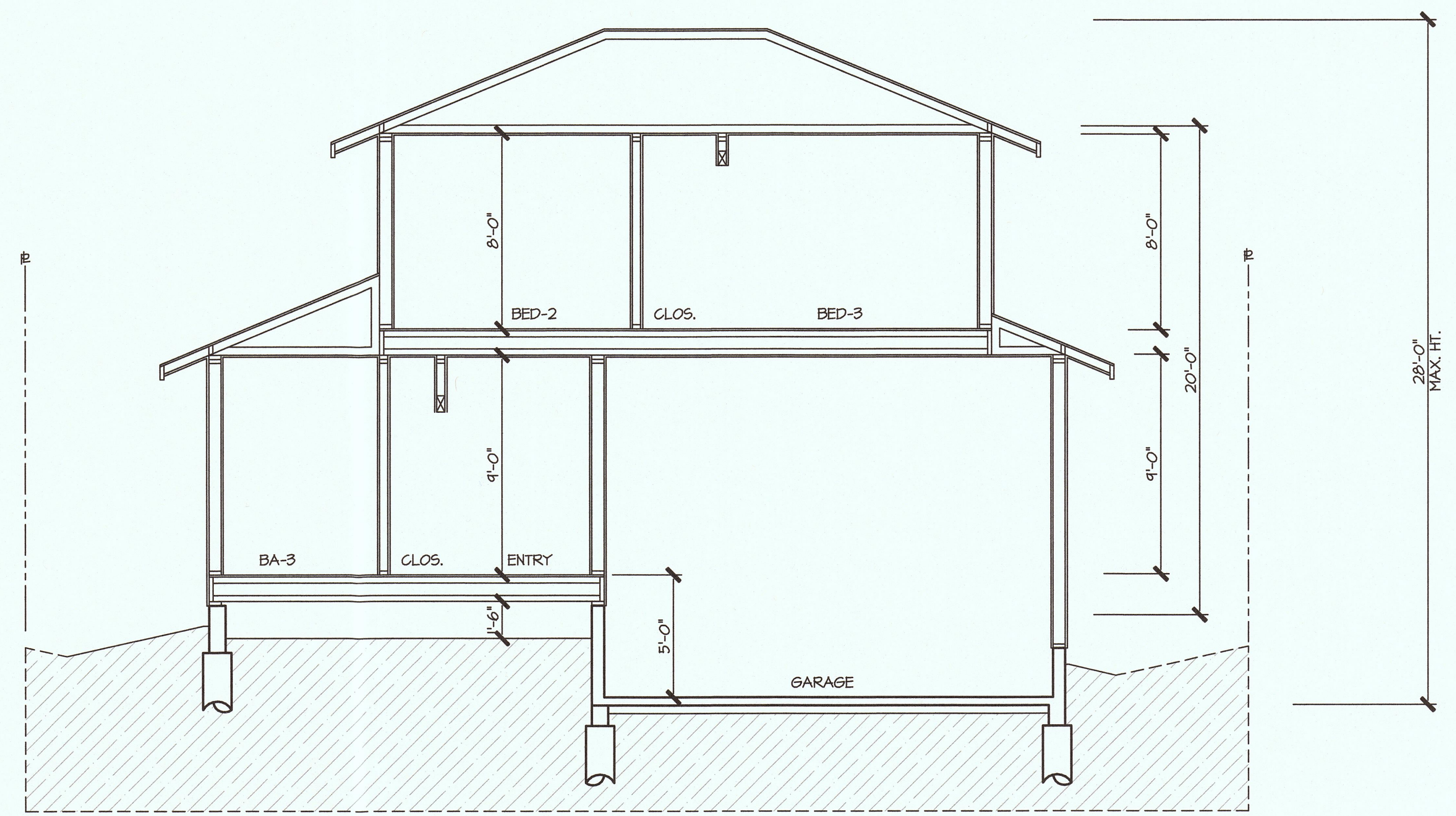
PLANS PREPARED BY:
TERRY ARMENTROUT DRAFTING INC.
 Terry & Irene ArmentROUT 18290 RIDGEDALE DRIVE
 Madera, California 93636 (559) 474-1714
 terry.armentROUT@jst100.com

REVISIONS		
ITEM	DATE	COMMENTS

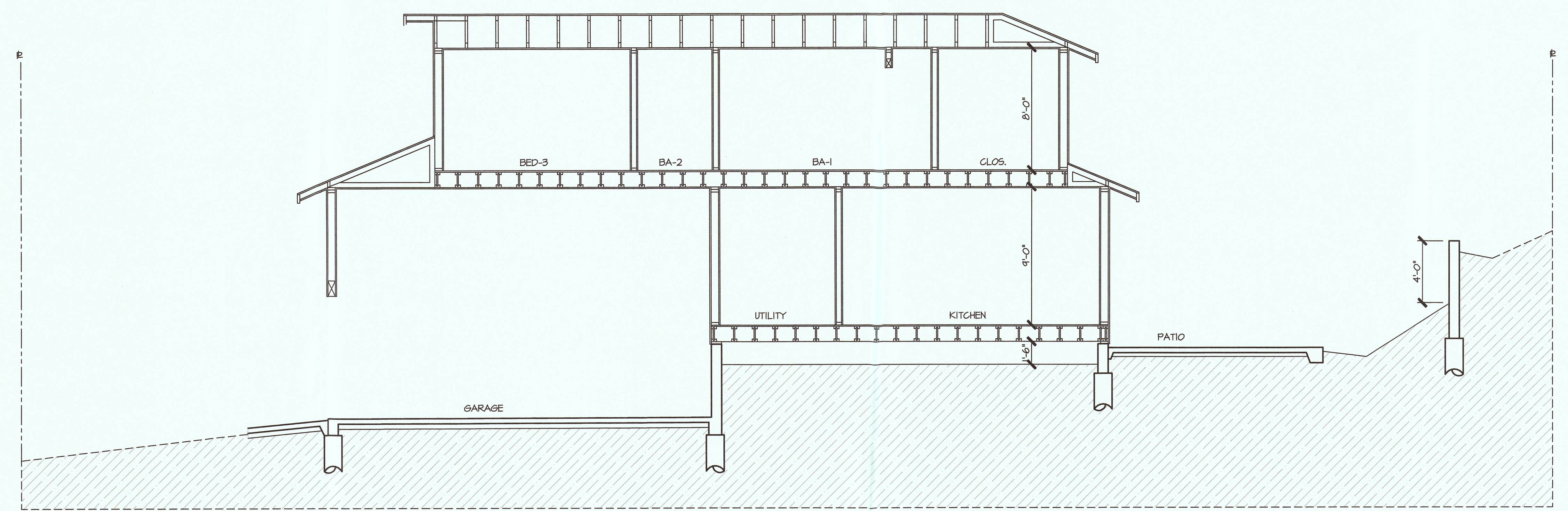
CESAR SANCHEZ
 P.O. BOX 1919
 EL GRANADA, CA. 94018 (650) 823-1254
 PROJECT SITE: ISABELLA ROAD, EL GRANADA, CA. 94018

PLANS FOR:

DRAWN BY T. ARMENTROUT
CHECKED BY
DATE 2 / 2019
SCALE 1/4"=1'
JOB NO. ISABELLA ROAD
SHEET



1
5 NORTH / SOUTH BUILDING SECTION



2
5 EAST / WEST BUILDING SECTION

SECTIONS PLAN

PLANS PREPARED BY:
TERRY ARMENTROUT DRAFTING INC.
 Terry & Irene ArmentROUT 18290 RIDGEDALE DRIVE
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 terry.armentROUT@tjhdoo.com

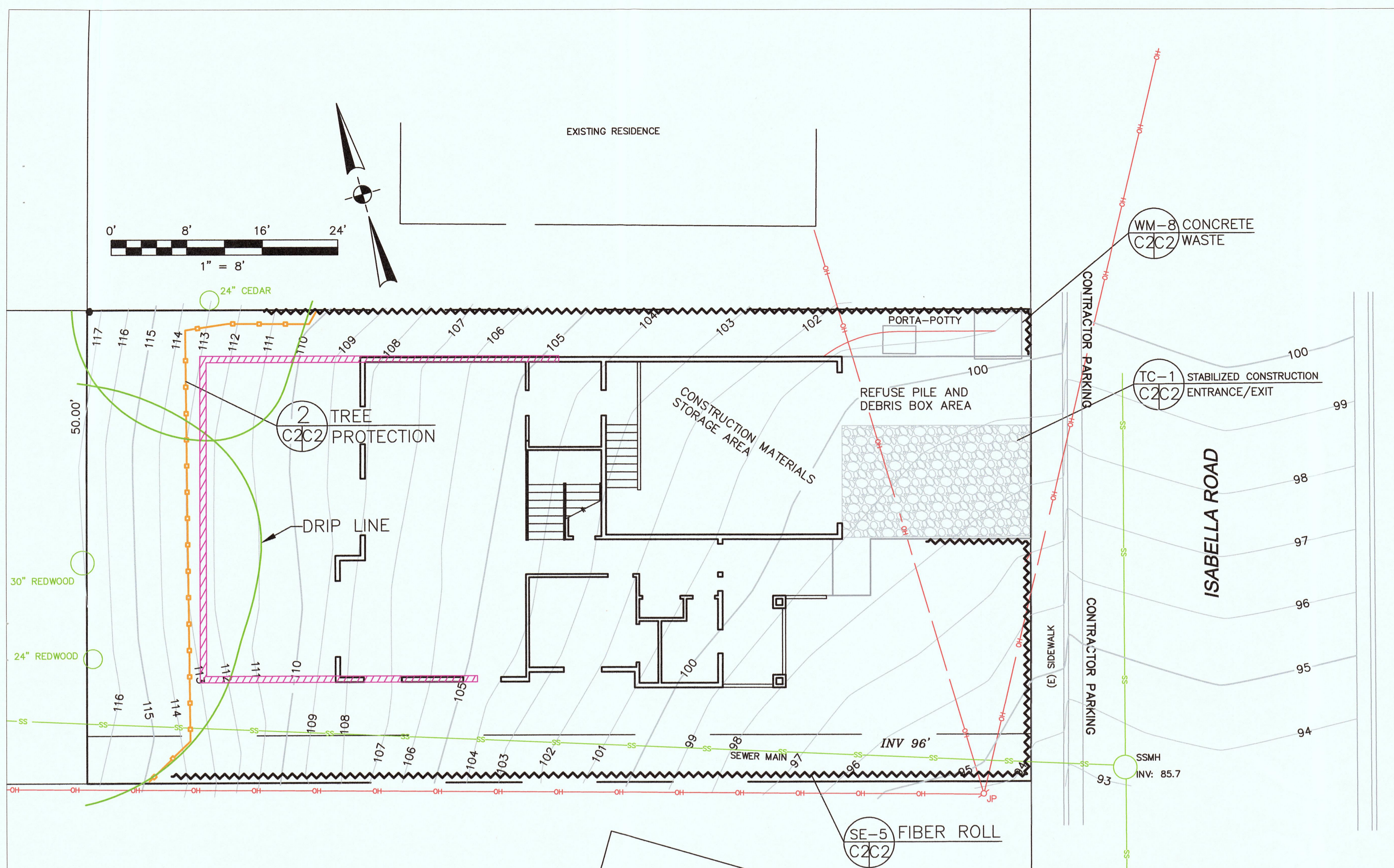
REVISIONS		
ITEM	DATE	COMMENTS

CESAR SANCHEZ
 P.O. BOX 1313
 EL GRANADA, CA. 94018 (650) 823-1254
 PROJECT SITE: ISABELLA ROAD, EL GRANADA, CA. 94018

PLANS FOR:

DRAWN BY
 T. ARMENTROUT
 CHECKED BY

DATE
 2 / 2019
 SCALE
 1/4"=1'
 JOB NO.
 ISABELLA ROAD
 SHEET



EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

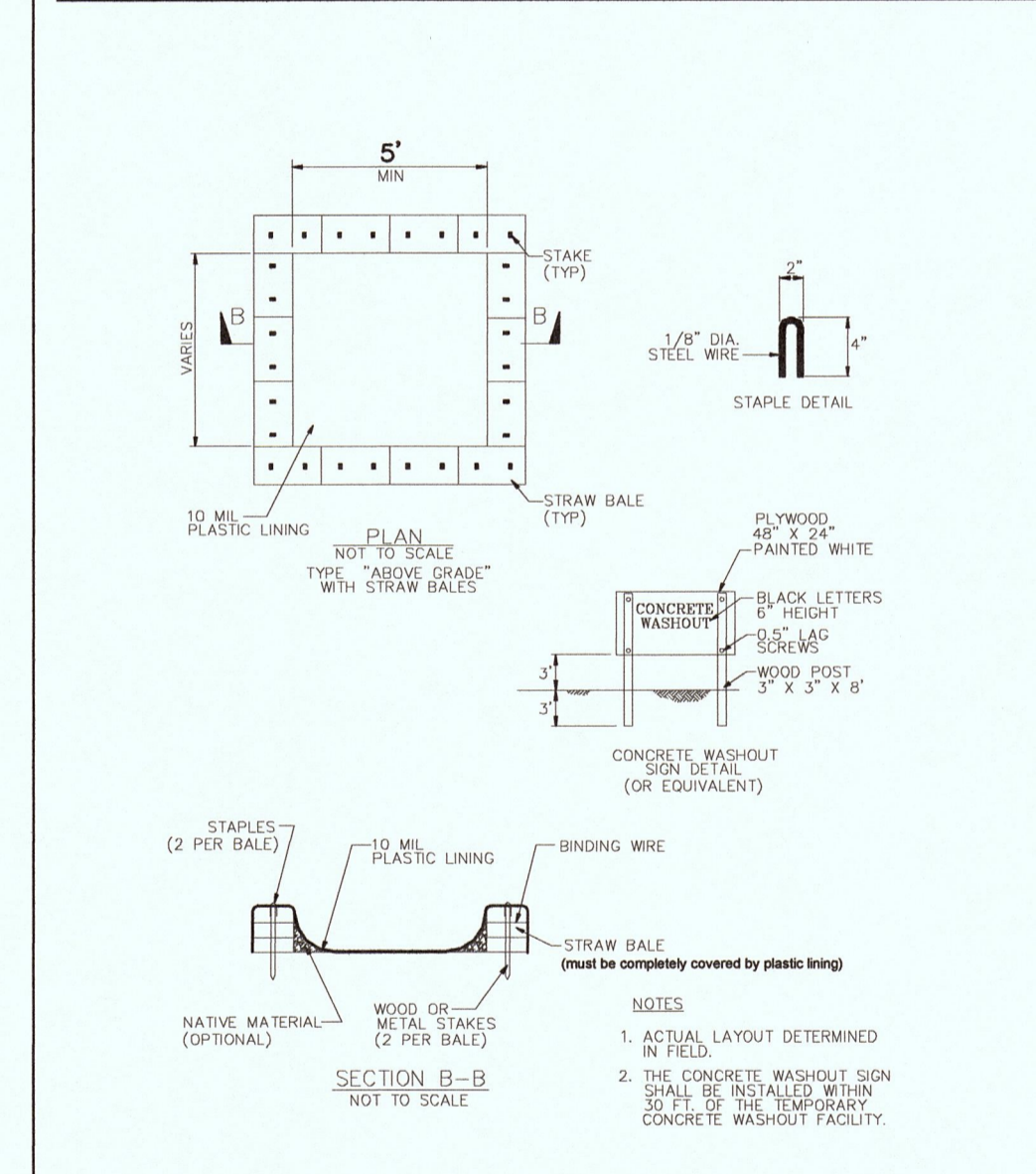
NAME: CESAR SANCHEZ
 TITLE/QUALIFICATION: OWNER
 PHONE: 650-823-1259
 E-MAIL: CESARSANCHEZ@GMAIL.COM

- USE OF PLASTIC SHEETING BETWEEN OCTOBER 1st AND APRIL 30th IS NOT ACCEPTABLE. UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
- THE TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, EXCAVATING, OR GRUBBING IS STARTED.

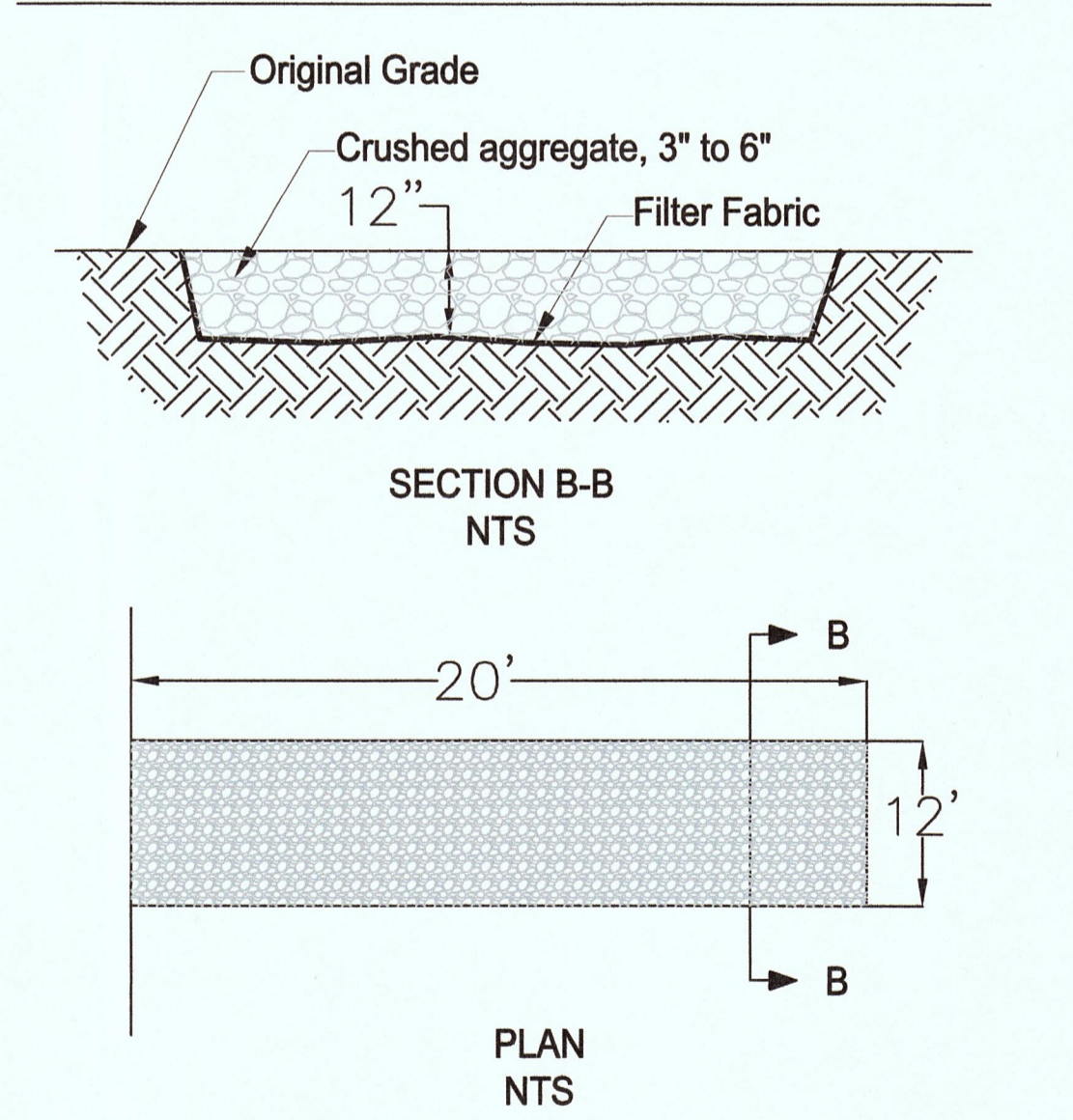
GENERAL EROSION AND SEDIMENT CONTROL NOTES

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site

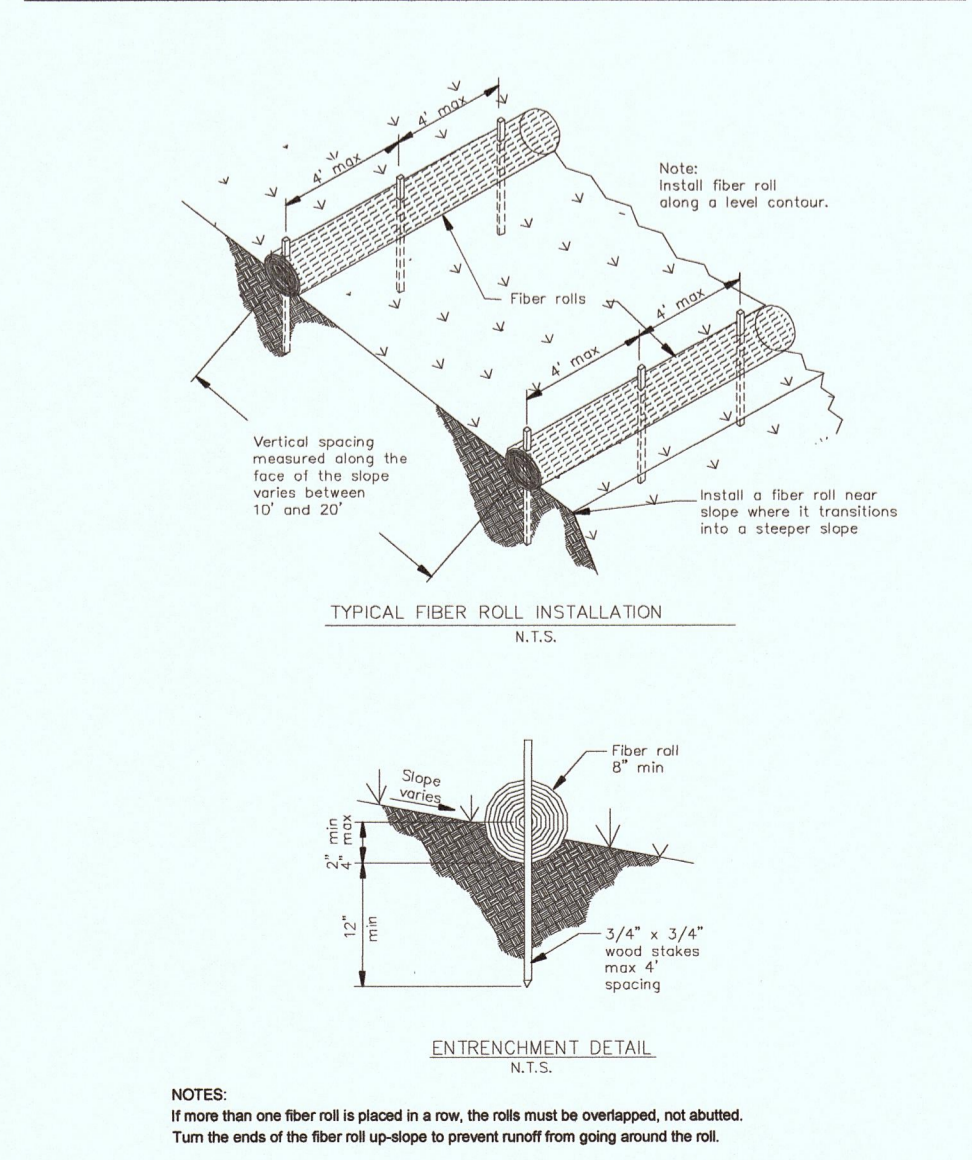
CONCRETE WASTE MANAGEMENT WM-8



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1

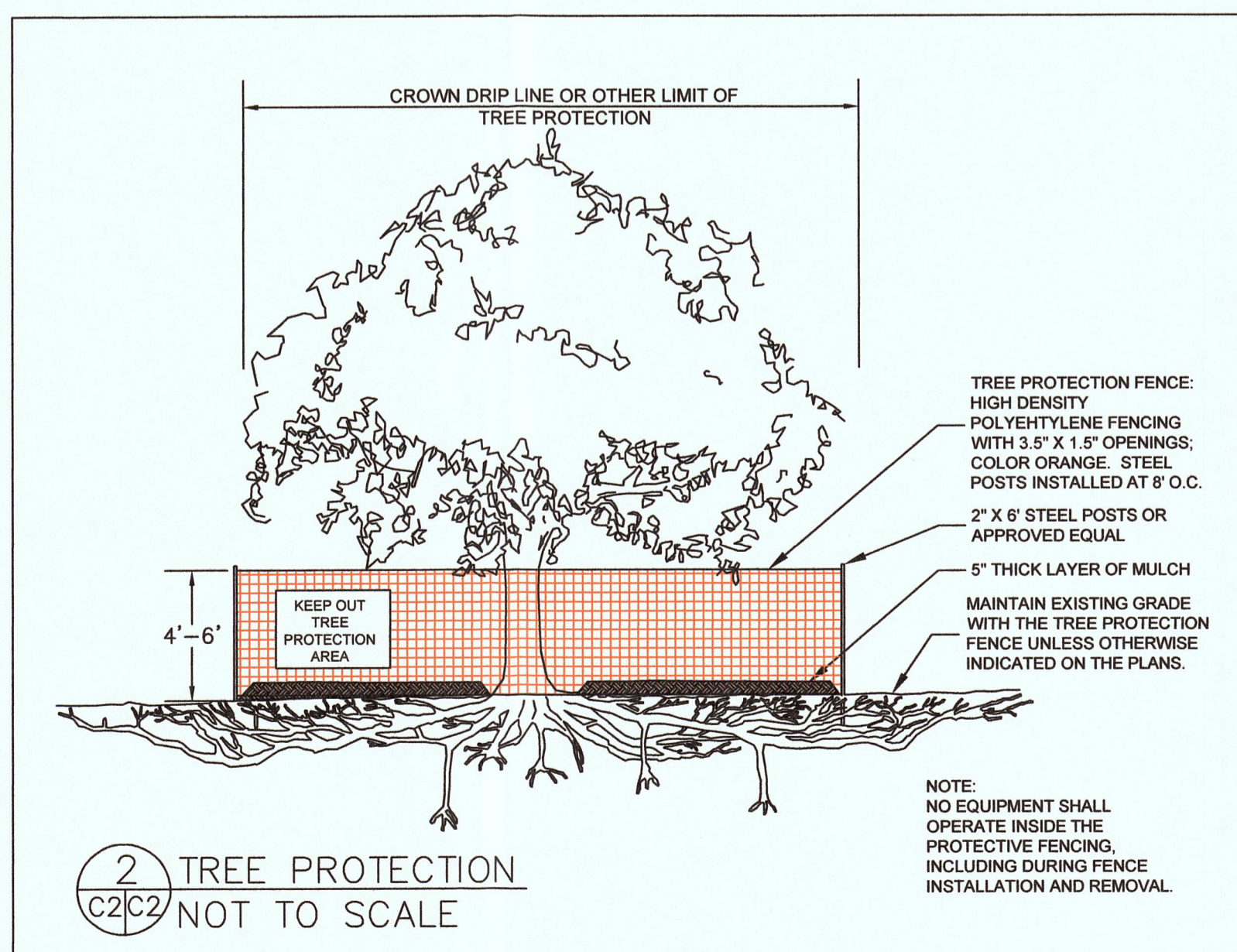


FIBER ROLLS SE-5



TREE PROTECTION NOTES

1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



EROSION CONTROL NOTES

- FIBER ROLL INSTALL AT LOCATIONS SHOWN. AFIX AS SHOWN IN DETAIL SE-5
1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
 2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
 3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
 4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
 5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
 6. ROCKED CONSTRUCTION ENTRANCE SHALL BE 20 FEET LONG BY 12 FEET WIDE AND CONFORM TO THE FOLLOWING:
 - A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 6 INCH STONE.
 - B. PAD SHALL BE NOT LESS THAN 12" THICK.
 - C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 - D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
 7. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE)



Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3590 FAX 728-3593

DATE: 4-15-19	DRAWN BY: CMK
CHECKED BY: AZG	REV. DATE:
REV. DATE:	REV. DATE:
REV. DATE:	REV. DATE:

EROSION CONTROL PLAN
 ISABELLA ROAD,
 EL GRANADA
 APN 047-244-240

SHEET C-2