

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: February 28, 2018

TO: Planning Commission

FROM: Planning Staff

SUBJECT: EXECUTIVE SUMMARY: Consideration of a Coastal Development Permit, Design Review, and Certificate of Compliance Type B to allow construction of a new single-family residence and a detached garage on an undeveloped parcel, located on San Carlos Avenue in the unincorporated El Granada area of San Mateo County. This project is appealable to the California Coastal Commission.

County File Number: PLN 2017-00098 (Ridgway)

PROPOSAL

The applicant proposes to legalize the subject parcel and construct a new 1,927 sq. ft. single-family residence and 416 sq. ft. detached two-car garage on an undeveloped 4,800 sq. ft. parcel, located on San Carlos Avenue in unincorporated El Granada. The single-family-residence will include three bedrooms, three bathrooms, a covered front porch, a second level deck above the covered porch, and a rear patio. A new driveway with an 18% slope is proposed along the right side yard for access to the garage. Two hundred thirty-five (235) cubic yards (c.y.) of grading (195 c.y. of cut and 40 c.y. of fill) and minor vegetation removal are proposed. No trees will be removed.

RECOMMENDATION

That the Planning Commission approve the Coastal Development Permit, Design Review, and Certificate of Compliance Type B, County File Number PLN 2017-00098, by making the required findings and conditions of approval as listed in Attachment A.

SUMMARY

Setting: The subject parcel is generally surrounded by single-family residential development and is located approximately 140 feet from the Montecito Avenue drainage and riparian corridor. A paved road (San Carlos Avenue) and surrounding residential development are located between the subject parcel and the Montecito Avenue drainage and riparian corridor.

General Plan and Local Coastal Program Compliance: The proposed project complies with all applicable General Plan policies regarding Visual Resources, Urban Land Use, and Water Supply and Wastewater. The proposed residence will be in an urban neighborhood designated for that specific land use and will connect to existing water and wastewater infrastructure. Although the subject parcel is near the Montecito Avenue drainage and riparian corridor, a paved road (San Carlos Avenue) and surrounding residential development are located between the corridor and the subject parcel. With the exception of the Montecito Avenue drainage and riparian corridor, the subject parcel is not located near any other coastal resources and does not contain sensitive habitat or trees. Therefore, the project will not have any substantial adverse impacts on coastal resources.

The project also meets the Local Coastal Program (LCP) Policies for Locating and Planning New Development and Visual Resources. The subject parcel will not have substantial adverse impacts on coastal resources as it is not in close proximity to coastal resources regulated by the LCP. The Coastside Design Review Committee (CDRC) recommended approval of this project on October 12, 2017, having determined it is in compliance with applicable Design Review Standards. The proposed residence also complies with the guidelines established in LCP Policy 8.13a (*Special Design Guidelines for Coastal Communities*) by utilizing colors and materials that blend with the surrounding area, and enhancing facade articulation to be compatible in scale to residences in the neighborhood.

Certificate of Compliance: The subject parcel was initially created through a 1908 subdivision. The subject parcel continued to be conveyed together with other parcels until October 7, 1976. As required by both the County Subdivision Ordinance and LCP Policy 1.29 (*Legalizing Parcels*), a Certificate of Compliance (Type B) is required to legalize the subject parcel. Section 7134.2.c(a) of the County Subdivision Regulations states that the Community Development Director may impose “any conditions which would have been applicable at the time the applicant acquired his or her interest in the property, and which had been established at the time of the Map Act or the County Subdivision Regulations.” The sanitary, water distribution, and energy infrastructure necessary to support the proposed single-family residence currently exist within the road right-of-way in this developed and improved area of El Granada.

Zoning and Design Review Compliance: The project complies with all R-1/S-17 Zoning Regulations as they relate to setbacks, lot coverage, height, and parking requirements. As previously stated, the project was found to be in compliance with all Design Review Standards pursuant to the CDRC’s recommendation.

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**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: February 28, 2018

TO: Planning Commission

FROM: Planning Staff

SUBJECT: Consideration of a Coastal Development Permit, Design Review, and Certificate of Compliance Type B, pursuant to Sections 6328.4 and 6565.3 of the County Zoning Regulations and Section 7134.2 of the County Subdivision Regulations, respectively, to allow construction of a new single-family residence and a detached garage on an undeveloped parcel, located on San Carlos Avenue in the unincorporated El Granada area of San Mateo County. This project is appealable to the California Coastal Commission.

County File Number: PLN 2017-00098 (Ridgway)

PROPOSAL

The applicant proposes to legalize the subject parcel and construct a new 1,927 sq. ft. single-family residence and 416 sq. ft. detached two-car garage on an undeveloped 4,800 sq. ft. parcel, located on San Carlos Avenue in unincorporated El Granada. The single-family residence will include three bedrooms, three bathrooms, a covered front porch, second level deck above the covered porch, and a rear patio. A new driveway with an 18% slope is proposed along the right side yard for access to the garage. Two hundred thirty-five (235) cubic yards (c.y.) of grading (195 c.y. of cut and 40 c.y. of fill) and minor vegetation removal are proposed. No trees will be removed.

RECOMMENDATION

That the Planning Commission approve the Coastal Development Permit, Design Review, and Certificate of Compliance Type B, County File Number PLN 2017-00098, by making the required findings and conditions of approval as listed in Attachment A.

BACKGROUND

Report Prepared By: Carmelisa Morales, Project Planner, Telephone 650/363-1873

Applicant: Chris Ridgway

Owner: Fengliang Xue, Bin Li, Xin Xu

Location: San Carlos Avenue, El Granada

APN: 047-111-270

Parcel Size: 4,800 sq. ft.

Parcel Legality: The subject parcel comprises Lot 11, Block 76, on that certain map entitled "Plat of Subdivision No. 7 of Granada, San Mateo County, California," recorded in the Office of the Recorder of the County of San Mateo, State of California, on June 7, 1909 in Book 6 of Maps at Page 64 (see Attachment E). The subject parcel was determined to be conveyed separately from adjacent parcels around it on October 7, 1976. A Certificate of Compliance (Type B) is required to legalize the parcel.

Existing Zoning: R-1/S-17/DR/CD (Single-Family Residential/S-17 Combining District with 5,000 sq. ft. minimum parcel size/Design Review District/Coastal Development District)

General Plan Designation: Medium Density Urban Residential (6.1 to 8.7 dwelling units/net acre)

Local Coastal Plan Designation: Medium Density Residential

Sphere-of-Influence: City of Half Moon Bay

Existing Land Use: Undeveloped Parcel

Water Supply: Municipal water service is provided by Coastside County Water District

Sewage Disposal: Municipal sewer service is provided by Granada Community Services District

Flood Zone: The project site is located in Flood Zone X as defined by FEMA (Community Panel Number 06081C0138F, dated August 2, 2017), which is an area with minimal potential for flooding.

Environmental Evaluation: Categorically exempt under provisions of Class 3, Section 15303(a) of the California Environmental Quality Act (CEQA) Guidelines, for construction of a single-family residence in an urban residential zone and associated development including legalization of the parcel.

Setting: The project site is on a vacant parcel located northwest of the intersection of San Carlos Avenue, Escalona Avenue, and Paloma Avenue in a residential neighborhood in El Granada, an unincorporated community in San Mateo County. The parcel is surrounded by single-family residential development with the exception of a vacant parcel located immediately southeast. The parcel is located approximately 140 feet from the Montecito Avenue drainage and riparian corridor

which is also designated as a “damaged riparian habitat” area as shown in the Local Coastal Program Mid-Coast Sensitive Habitats Map (see Attachment F). A paved road (San Carlos Avenue) and surrounding residential development are located between the subject parcel and the Montecito Avenue drainage and riparian corridor. The parcel has a slight slope from northeast to southwest, ascending toward the rear of the parcel. The rear right corner of the parcel contains dense vegetative brush. There are no trees on the subject parcel.

Chronology:

<u>Date</u>	<u>Action</u>
March 10, 2017	- Application for Coastal Development Permit, Design Review, and Certificate of Compliance Type B, the subject of this application, submitted.
August 24, 2017	- Application deemed completed.
October 12, 2017	- Coastside Design Review Committee meeting.
February 28, 2018	- Planning Commission public hearing.

DISCUSSION

A. KEY ISSUES

1. Conformance with the General Plan

Upon review of the applicable provisions of the General Plan, staff has determined that the project complies with all General Plan Policies, including the following:

Visual Resources Policies

Policy 4.15 (*Appearance of New Development*) regulates development to promote and enhance good design, site relationships, and other aesthetic considerations. Policy 4.16 (*Supplemental Design Guidelines for Communities*) also encourages the County to have supplemental site and architectural design guidelines for communities to reflect local conditions, characteristics, and design objectives that are flexible enough to allow individual creativity. The proposed single-family residence will be in El Granada, one of the County’s Design Review Districts. The project was reviewed under and found to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast by the Coastside Design Review Committee at their regular

meeting on October 12, 2017. The project's compliance with the applicable design review standards is discussed further in Section 3.b of this report.

Urban Land Use Policies

Policy 8.30 (*Infilling*) encourages the infilling of urban areas where infrastructure and services are available. The subject parcel is zoned for single-family residential development and adjoins residential development to the northwest and northeast. The Coastside County Water District (CCWD) and the Granada Community Services District (GCSD) have confirmed that water and sewer services are available for this project.

Water Supply and Wastewater Policies

Water Supply Policy 10.10 (*Water Suppliers in Urban Areas*) and Wastewater Policy 11.5 (*Wastewater Management in Urban Areas*) require consideration of water systems as the preferred method of water supply and sewerage systems as the appropriate method of wastewater management in urban areas. CCWD and GCSD are the respective water and sewer service providers for this urban area. Both districts have confirmed that their service connections are available for this site.

2. Conformance with the Local Coastal Program

Although the project is located within the single-family residence categorical exclusion zone, a Coastal Development Permit is required pursuant to Section 6328.4 of the County Zoning Regulations for the issuance of the required Certificate of Compliance (CoC) Type B. Staff has determined that the CoC complies with applicable Local Coastal Program (LCP) Policies, elaborated as follows:

a. Locating and Planning New Development Component

LCP Policy 1.29 (*Legalizing Parcels*) states that when issuing a Certificate of Compliance (CoC) Type B to legalize parcels pursuant to Section 66499.35(b) of the California Government Code wherein parcels were illegally created without government review and approval, a Coastal Development Permit is required. LCP Policy 1.30d (*Coastal Development Permit Standards of Review for Legalizing Parcels*) states that, for undeveloped parcels created before the Coastal Act of 1976, a Coastal Development Permit may be granted to legalize the parcel if the parcel configuration will not have any substantial adverse impacts on coastal resources. Although the subject parcel is near the Montecito Avenue drainage and riparian corridor, a paved road (San Carlos Avenue) and surrounding residential development are located between the corridor and the

subject parcel. Additionally, the subject parcel is located within an urban area zoned for single-family residential development, and does not contain sensitive habitat or trees. Therefore, the configuration of the subject parcel will not have any substantial adverse impacts on coastal resources.

LCP Policy 1.23 (*Timing of New Housing Development in the Midcoast*) limits the maximum number of new dwelling units built in the urban Midcoast to 40 units per calendar year so that roads, public services and facilities, and community infrastructure are not overburdened by impacts of new residential development. Staff anticipates that the building permits to be issued for the 2018 calendar year will not exceed this limit, based on estimates of current applications for building permits for this calendar year and those received in 2017.

b. Visual Resources Component

LCP Policy 8.12a (*General Regulations*) applies the Design Review Zoning District to urbanized areas of the Coastal Zone, which include El Granada. The project is, therefore, subject to Section 6565.20 of the Zoning Regulations. As mentioned in Section A.1 of this report, the Coastside Design Review Committee (CDRC) considered this project at the regularly scheduled CDRC meeting on October 12, 2017, and determined it to be in compliance with applicable Design Review Standards, and recommended approval. Compliance is further discussed in Section 3.b of this report.

LCP Policy 8.13a (*Special Design Guidelines for Coastal Communities*) establishes design guidelines for Montara, Moss Beach, El Granada, and Miramar. The proposed home complies with these guidelines as follows:

- (1) The project requires minimal grading and does not significantly alter the existing topography. The Planning and Building Department's Geotechnical Section has reviewed and approved the project, and the Department of Public Works has reviewed and conditionally approved the project, including the grading work involved.
- (2) The proposed residence uses materials and colors with a natural appearance such as Hardie-Plank lap siding and non-reflective, composition roof shingles that will blend with the vegetative cover of the site and surrounding area.

- (3) The proposed residence uses gable roofs and non-reflective, composition roof shingles (as cited above) as the primary roof material. The proposed roof design is compatible in style, shape, and materials with the house itself and with the surrounding neighborhood.
- (4) The proposed design of the house features the Coastal Craftsman style that complements the coastal, semi-rural character of the area.
- (5) The proposed design of the house respects the scale of the neighborhood through enhanced facade articulation bringing the proposed structure to a scale compatible with the residences in the neighborhood.

3. Conformance with the Zoning Regulations

a. Conformance with the S-17 District Development Standards

The proposal complies with the property’s R-1/S-17/DR/CD (Single-Family Residential District/S-17 Combining District/Design Review District/Coastal Development District) Zoning Designation, as outlined in the tables below:

	S-17 Development Standards	Proposed
Minimum Building Site Area	5,000 sq. ft.	4,800 sq. ft. ¹ (existing)
Minimum Building Site Width	50 ft.	60 ft.
Maximum Building Site Coverage	1,680 sq. ft. (35%)	1,674 sq. ft. (34%)
Maximum Floor Area	2,352 sq. ft. (49%)	2,343 sq. ft. (48%)
Minimum Front Setback	20 ft.	20 ft.
Minimum Rear Setback	20 ft.	20 ft.
Minimum Right Side Setback	5 ft.	18 ft.
Minimum Left Side Setback	5 ft.	5 ft.
Minimum Combined Side Yard	15 ft.	18 ft.
Maximum Building Height	28 ft.	27 ft.
Minimum Covered Parking	2 spaces	2 spaces
Daylight Plane or Facade Articulation	Daylight Plane	Complies
<p>¹ Pursuant to Section 6133.3 (Development of Non-Conforming Parcels), development of an unimproved non-conforming parcel may occur without the issuance of a use permit when the actual non-conforming parcel size is equal to or greater than 3,500 sq. ft. where the required minimum parcel size is 5,000 sq. ft. The subject parcel complies with this criteria.</p>		

Detached Accessory Building Development Standards²		
	Required	Proposed
Maximum Accessory Building Coverage of Rear Yard ³	720 sq. ft. (30% of Rear Yard)	416 sq. ft. (17% of Rear Yard)
Maximum Accessory Building Floor Area	1,000 sq. ft.	416 sq. ft.
Maximum Plate Height	10 ft.	8 ft.
Minimum Front Yard Setback	40 ft.	57 ft.
Minimum Left Side Yard Setback	3 ft.	36 ft.
Minimum Right Side Yard Setback	3 ft.	3 ft.
Minimum Rear Yard Setback	3 ft.	3 ft.
Maximum Accessory Building Height	19 ft.	15 ft.
² Regulated under Sections 6410 and 6411 of the San Mateo County Zoning Regulations. ³ Rear yard of parcel is 2,400 square feet.		

The proposed two-story single-family residence and detached two-car garage meet the zoning district height standards, and include a design, scale, and size compatible with other residences located in the vicinity. The proposed overall lot coverage is 34% (1,674 sq. ft.) of the total lot size, where 35% (1,680 sq. ft.) is the maximum allowed. The total overall floor area proposed is 48% (2,343 sq. ft.) of total lot size, where 49% (2,352 sq. ft.) is the maximum allowed. The detached garage complies with Section 6410 of the County Zoning Regulations regarding development standards for one-story detached accessory buildings in residentially zoned districts. Furthermore, the detached garage will also allow the proposed residential use to comply with the two covered parking spaces requirement in Section 6119 (*Parking Spaces Required*) of the County Zoning Regulations.

b. Conformance with the Design Review Standards

The project was reviewed by the Coastside Design Review Committee on October 12, 2017. They reviewed the design and found it to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast under Section 6565.20 of the San Mateo County Zoning Regulations (see Attachment D), specifically elaborated as follows:

- (1) As proposed and conditioned, the proposed design of the house minimizes the amount and size of windows on the left and right elevations of the second floor to minimize and mitigate direct views into neighboring houses. The rooftop deck at the front elevation avoids direct views into neighboring houses, is accessed by interior means, and is integrated into the roof

design. Condition No. 7.a. requires that the applicant ensure the size of the window trim for all the windows match the proportions of the window trims in the rendering and not in the elevations.

- (2) The proposed design of the house respects the scale of the neighborhood through building dimensions, shape, form, and facade articulation, as well as architectural details such as the front porch and rooftop deck that are proportional and complementary to other homes in the neighborhood.
- (3) The proposed setbacks for the first and second stories and projecting and recessing architectural details such as the front and rear decks, the bay window, and bump out on the first floor serve to visually break up the appearance of building walls.
- (4) As proposed and conditioned, the proposed design of the house features the Coastal Craftsman style that complements the coastal, semi-rural character of the area. Condition No. 7.a. requires that the brick fascia continue around the front elevation to both the left and right elevations, extending back on the right elevation to the end of the porch and extending back on the left elevation to the first inside corner.
- (5) The proposed design of the house includes a strong primary roof form with some secondary roof forms at the first story to reduce mass and scale. The shed roof form of the secondary roof forms are compatible in style and slope (7:12) with the primary roof form.
- (6) The proposed roof design is compatible in style, shape, and materials with the house itself and with the surrounding neighborhood.
- (7) The proposed design of the house uses a number of exterior materials and colors that reduce the appearance of bulk, add visual interest, and are consistent with the neighborhood and architectural style of the house.
- (8) As proposed and conditioned, the proposed finished landscape plan is compatible with and enhances the design of the house, and complements other homes and vegetation in the surrounding neighborhood. The proposed landscaping is drought-tolerant and features native and non-invasive plant species. Condition Nos. 7.h. and 7.i. require the installation of a Redwood good-neighbor fence with a maximum 6-ft. height at

the right and rear property lines and the use of a taller shrub for the planter adjacent to the right side of the house.

- (9) Regarding the proposed garage, Condition No. 7.c. requires that the applicant submit a specification sheet for the garage door and details for the drywell and concrete swale for the garage. Condition Nos. 7.f. and 7.g. require the use of flagstone pavers for the entire front walkway and front patio area and the installation of a concrete border around the driveway from the property line to the garage with three interior concrete borders perpendicular to the long axis of the driveway, thereby, dividing the driveway into four spaces. Within these spaces, use permeable pavers. From the last perpendicular border to the garage, use asphalt. Additionally, the Coastside Design Review Committee recommends the use of flagstone pavers set on sand for the rear patio.
- (10) As proposed and conditioned, the proposed design includes lighting that is architecturally integrated with the house's design, style, materials, and colors. The exterior lighting is designed stay confined to the site. The proposed "dark sky" lighting fixtures would minimize nighttime light pollution. Condition No. 8.e. requires the following for lighting: (1) at the front elevation at the front porch, replace the two exterior Dark Sky light fixtures with two recessed can lights; (2) at the right elevation at the rooftop deck, remove the exterior Dark Sky light fixture at the window; (3) at the rear elevation at the first floor, add an exterior Dark Sky light fixture at the door connected to the kitchen, and; (4) at the rear elevation at the second level, remove the exterior Dark Sky light fixture to the left of the sliding glass doors.

4. Conformance with the Subdivision Regulations

A conditional Certificate of Compliance (CoC) Type B is required to legalize the subject parcel under the provisions of the County and State subdivision laws in effect at the time of creation. This process is required before or concurrent with the approval of any new development.

The subject parcel's legality must be confirmed because it is an undeveloped parcel of an antiquated subdivision. In this case, the subject parcel comprises of Lot 11, Block 76, on that certain map entitled "Plat of Subdivision No. 7 of Granada, San Mateo County, California," recorded in the Office of the Recorder of the County of San Mateo, State of California, on June 7, 1909 in Book 6 of Maps at Page 64. Section 7134 of the County Subdivision Regulations allows for either a CoC (Type A) or CoC (Type B)

to resolve and confirm a parcel's legality. To qualify for a CoC (Type A) (pursuant to Section 7134.1), it must be confirmed that the subject parcel was first conveyed separately from any surrounding parcels prior to the County's adoption of its first Subdivision Ordinance in July 1945. Otherwise, if such conveyance is determined to have occurred after that date, a CoC (Type B), pursuant to Section 7134.2, shall be required, as is the case with this application.

While the submitted chain of title confirms that the subject parcel was part of the cited "Plat of Subdivision No. 7 of Granada, San Mateo County, California," recorded in 1909 (see Attachment E), the subject parcel continued to be conveyed together with other parcels until October 7, 1976. Only at that time was the subject parcel conveyed separately from adjacent parcels around it, thus requiring the CoC (Type B). Section 7134.2.c allows for the approval and recordation of a CoC subject to a public hearing, and allows for the placement of conditions to ensure that development on the parcel complies with public health and safety standards.

Regarding conditions of approval, Section 7134.2.c(a) of the County Subdivision Regulations states that the Community Development Director may impose "any conditions which would have been applicable at the time the applicant acquired his or her interest in the property, and which had been established at the time of the Map Act or the County Subdivision Regulations." The sanitary, water distribution, and energy infrastructure necessary to support the proposed single-family residence currently exist within the road right-of-way in this developed and improved area of El Granada.

B. REVIEW BY THE MIDCOAST COMMUNITY COUNCIL

The Midcoast Community Council (MCC) indicated that they had no comments regarding this project in an email dated March 22, 2017. The MCC has been notified of the Planning Commission's review of this project.

C. REVIEW BY THE CALIFORNIA COASTAL COMMISSION

The California Coastal Commission (CCC) did not forward a response to staff's referral for this project. The CCC has been notified of the Planning Commission's review of this project. Also, as the final decision on the CDP is appealable to the CCC, they will be duly notified of the County's final decision, which will initiate their appeal period.

D. ENVIRONMENTAL REVIEW

This project is categorically exempt pursuant to Section 15303, Class 3, of the California Environmental Quality Act (CEQA) Guidelines related to the construction of a single-family residence in a residential zone and associated development including legalization of the parcel.

E. REVIEWING AGENCIES

Building Inspection Section
Coastside County Water District
Coastside Fire Protection District
Department of Public Works
Geotechnical Section
Granada Community Services District

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map
- C. Project Plans
- D. Coastside Design Review Committee Decision Letter, dated October 31, 2017
- E. Copy of Subdivision Map titled "Plat of Subdivision No. 7 of Granada, San Mateo County, California", dated June 7, 1909
- F. Local Coastal Program Mid-Coast Sensitive Habitats Map

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County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2017-00098 Hearing Date: February 28, 2018

Prepared By: Carmelisa Morales
Project Planner

For Adoption By: Planning Commission

RECOMMENDED FINDINGS

Regarding the Environmental Review, Find:

1. That the proposed project is categorically exempt pursuant to Section 15303, Class 3, of the California Environmental Quality Act Guidelines related to construction of a single-family residence in a residential zone and associated development including legalization of the parcel.

Regarding the Certificate of Compliance, Find:

2. That the processing of the Certificate of Compliance (CoC) (Type B) is in full conformance with the County Subdivision Regulations Section 7134 (*Legalization of Parcels; Certificate of Compliance*), particularly Sections 7134.2(a), (b), and (c). The subject parcel comprises of Lot 11, Block 76, on that certain map entitled "Plat of Subdivision No. 7 of Granada, San Mateo County, California," recorded in the Office of the Recorder of the County of San Mateo, State of California, on June 7, 1909 in Book 6 of Maps at Page 64. The subject parcel was determined to be conveyed separately from adjacent parcels around it on October 7, 1976 thus requiring the CoC (Type B). The processing of the CoC (Type B) is in full conformance with Section 7134 of the County Subdivision Regulations and will be subject to conditions of approval to ensure that the development on the parcel complies with public health and safety standards. The sanitary, water distribution, and energy infrastructure necessary to support the proposed single-family residence currently exist within the road right-of-way in this developed and improved area of El Granada.
3. That the processing of the Conditional CoC (Type B) is in full conformance with Government Code Section 66499 et seq.

Regarding the Coastal Development Permit, Find:

4. That the project, as described in the application and accompanying materials required by Section 6328.7 and as conditioned in accordance with Section 6328.14, conforms with the plans, policies, requirements, and standards of the San Mateo County Local Coastal Program. The plans and materials have been reviewed against the application requirements of Section 6328.7 of the Zoning Regulations, and the project has been conditioned to minimize impacts to the location of new development and visual resources in accordance with the components of the Local Coastal Program. The project was also recommended for approval by the Coastside Design Review Committee (CDRC) on October 12, 2017 in which the CDRC determined that it is in compliance with all applicable Design Review Standards.
5. Where the project is located between the nearest public road and the sea, that the project is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Section 30200 of the Public Resources Code). The project is not located between a public road and the sea, and will not interfere with the public's right-of-access to the sea.
6. That the project conforms to specific findings required by policies of the San Mateo County Local Coastal Program. Although the subject parcel is near the Montecito Avenue drainage and riparian corridor, a paved road (San Carlos Avenue) and surrounding residential development are located between the corridor and the subject parcel. Additionally, the subject parcel is located within an urban area zoned for single-family residential development, and does not contain sensitive habitat or trees. Therefore, the project will not have any substantial adverse impacts on coastal resources.
7. That the number of building permits for construction of single-family residences other than for affordable housing issued in the calendar year does not exceed the limitations of Policies 1.22 and 1.23 as stated in Section 6328.19. Staff anticipates that the building permits to be issued for the 2018 calendar year will not exceed this limit, based on estimates of current applications for building permits for this calendar year and those received in 2017.

Regarding the Design Review, Find:

8. The project has been reviewed under and found to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast under Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:
 - a. As proposed and conditioned, the proposed design of the house minimizes the amount and size of windows on the left and right elevations of the second floor to minimize and mitigate direct views into neighboring houses.

The rooftop deck at the front elevation avoids direct views into neighboring houses, is accessed by interior means, and is integrated into the roof design. Condition No. 7.b. requires that the applicant ensure the size of the window trim for all windows match the proportions of the window trims in the rendering and not in the elevations.

- b. The proposed design of the house respects the scale of the neighborhood through building dimensions, shape, form, and facade articulation, as well as architectural details such as the front porch and rooftop deck that are proportional and complementary to other homes in the neighborhood.
- c. The proposed setbacks for the first and second stories and projecting and recessing architectural details such as the front and rear decks, the bay window, and bump out on the first floor serve to visually break up the appearance of building walls.
- d. As proposed and conditioned, the proposed design of the house features the Coastal Craftsman style that complements the coastal, semi-rural character of the area. Condition No. 7.a. requires that the brick fascia continue around the front elevation to both the left and right elevations, extending back on the right elevation to the end of the porch and extending back on the left elevation to the first inside corner.
- e. The proposed design of the house includes a strong primary roof form with some secondary roof forms at the first story to reduce mass and scale. The shed roof form of the secondary roof forms are compatible in style and slope (7:12) with the primary roof form.
- f. The proposed roof design is compatible in style, shape, and materials with the house itself and with the surrounding neighborhood.
- g. The proposed design of the house uses a number of exterior materials and colors that reduce the appearance of bulk, add visual interest, and are consistent with the neighborhood and architectural style of the house.
- h. As proposed and conditioned, the proposed finished landscape plan is compatible with and enhances the design of the house, and complements other homes and vegetation in the surrounding neighborhood. The proposed landscaping is drought-tolerant and features native and non-invasive plant species. Condition Nos. 7.h. and 7.i. require the installation of a Redwood good-neighbor fence with a maximum 6-ft. height at the right and rear property lines and the use of a taller shrub for the planter adjacent to the right side of the house.
- i. Regarding the proposed garage, Condition No. 7.c. requires that the applicant submit a specification sheet for the garage door and details for the

drywell and concrete swale for the garage. Condition Nos. 7.f. and 7.g. require the use of flagstone pavers for the entire front walkway and front patio area and the installation of a concrete border around the driveway from the property line to the garage with three interior concrete borders perpendicular to the long axis of the driveway, thereby, dividing the driveway into four spaces. Within these spaces, use permeable pavers. From the last perpendicular border to the garage, use asphalt. Additionally, the Coastside Design Review Committee recommends the use of flagstone pavers set on sand for the rear patio.

- j. As proposed and conditioned, the proposed design includes lighting that is architecturally integrated with the house's design, style, materials, and colors. The exterior lighting is designed and located to direct light and glare away from neighbors and stay confined to the site. The proposed "Dark Sky" lighting fixtures would minimize nighttime light pollution. Condition No. 7.e. requires the following for lighting: (1) at the front elevation at the front porch, replace the two exterior Dark Sky light fixtures with two recessed can lights; (2) at the right elevation at the rooftop deck, remove the exterior Dark Sky light fixture at the window; (3) at the rear elevation at the first floor, add an exterior Dark Sky light fixture at the door connected to the kitchen, and; (4) at the rear elevation at the second level, remove the exterior Dark Sky light fixture to the left of the sliding glass doors.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. The project shall be constructed in compliance with the plans approved and reviewed by the Coastside Design Review Committee on October 12, 2017. Any changes or revisions to the approved plans shall be submitted to the Design Review Officer for review and approval prior to implementation. Minor adjustments to the project may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Design Review Officer may refer consideration of the revisions to the Coastside Design Review Committee, with applicable fees to be paid.
2. The Certificate of Compliance (Type B) required to establish the legality of the existing parcel, APN 047-111-270, which shall represent Lot 11, Block 76, as one single legal parcel, shall be recorded prior to the issuance of any other permits related to any development on this property.
3. The applicant is advised that prior to recordation of the Certificate of Compliance description, the owner/applicant shall provide the project planner with a check to cover the current fee charged by the Recorder's Office. The project planner who records the Certificate of Compliance will confirm the amount prior to recordation.

4. The Coastal Development and Design Review Permit final approval shall be valid for five (5) years from the date of approval, in which time a building permit shall be issued and a completed inspection (to the satisfaction of the Building Inspector) shall have occurred within 180 days of its issuance. The design review approval may be extended by one 1-year increment with submittal of an application for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.
5. The applicant shall include the approval letter on the top pages of the building plans.
6. At the building permit stage, a boundary survey will be required.
7. The applicant shall indicate the following on plans submitted for a building permit, as stipulated by the Coastside Design Review Committee.
 - a. Continue the brick fascia around the front elevation to both the left and right elevations, extending back on the right elevation to the end of the porch and extending back on the left elevation to the first inside corner.
 - b. Ensure that the size of the window trim for all windows matches the proportions of the window trims in the rendering and not in the elevations.
 - c. Provide a specification sheet for the garage door.
 - d. Include details for the drywell and concrete swale for the garage.
 - e. Lighting:
 - (1) At the front elevation at the front porch, replace the two exterior Dark Sky light fixtures with two recessed can lights.
 - (2) At the right elevation at the rooftop deck, remove the exterior Dark Sky light fixture at the window.
 - (3) At the rear elevation at the first floor, add an exterior Dark Sky light fixture at the door connected to the kitchen.
 - (4) At the rear elevation at the second level, remove the exterior Dark Sky light fixture to the left of the sliding glass doors.
 - f. Use flagstone pavers for the entire front walkway and front patio area.
 - g. Install a concrete border around the driveway from the property line to the garage with three interior concrete borders perpendicular to the long axis of the driveway, thereby, dividing the driveway into four spaces. Within these

spaces, use permeable pavers. From the last perpendicular border to the garage, use asphalt.

- h. Install a Redwood good-neighbor fence with a maximum 6-ft. height at the right and rear property lines.
 - i. Use a taller shrub for the planter adjacent to the right side of the house.
 - j. The Coastside Design Review Committee recommends the use of flagstone pavers set on sand for the rear patio.
8. The applicant shall provide “finished floor elevation verification” to certify that the structure is actually constructed at the height shown on the submitted plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point in the vicinity of the construction site.
- a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
 - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
 - c. Prior to the County Planning Department approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
 - d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
 - e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.

- f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
9. A survey verification letter will be required during the construction phase of this project. Once the building permit has been issued and the forms have been set, the surveyor of record shall field measure the setback dimensions of the set forms from applicable property lines and compose a survey verification letter, with stamp and signature, of the field measurements to be submitted to the Planning and Building Department for review and approval.
10. Projects subject to Provision C.3.i (individual single-family home projects that create and/or replace 2,500 square feet or more of impervious surface, and other projects that create and/or replace at least 2,500 square feet of impervious surface but are not C.3 Regulated Projects) shall implement at least one of the six site design measures listed below:
 - a. Direct roof runoff into cisterns or rain barrels and use rainwater for irrigation or other non-potable use.
 - b. Direct roof runoff onto vegetated areas.
 - c. Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas.
 - d. Direct runoff from driveways and/or uncovered parking lots onto vegetated areas.
 - e. Construct sidewalks, walkways, and/or patios with permeable surfaces.
 - f. Construct bike lanes, driveways, and/or uncovered parking lots with permeable surfaces.
11. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program “General Construction and Site Supervision Guidelines” including, but not limited to, the following:
 - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
 - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.

- c. Performing clearing and earth-moving activities only during dry weather.
 - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
 - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges, to storm drains and watercourses.
 - g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
 - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
 - j. Limiting construction access routes and stabilization of designated access points.
 - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
 - m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
 - n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
12. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site. A separate

tree protection plan may also be required as part of the building permit. Species and size of trees shall be indicated on the plan (size shall be measured by diameter at breast height (dbh) method).

13. Once approved, erosion and sediment control measures of the erosion control plan shall be installed prior to beginning any work and maintained throughout the term of the grading permit and building permit as confirmed by the County through a pre-site inspection if project initiation occurs immediately prior to or during the wet season. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
14. An Erosion Control and/or Tree Protection Inspection may be required prior to the issuance of a building permit for grading, construction, and demolition purposes, as the project requires tree protection of significant tree(s). Once all review agencies have approved your Building Permit, you will be notified that an approved job copy of the Erosion Control and/or Tree Protection Plan is ready for pick-up at the Planning counter of the Planning and Building Department. Once the Erosion Control and/or Tree Protection measures have been installed per the approved plans, please contact Jeremiah Pons, Building/Erosion Control Inspector, at 650/599-1592 or jpons@smcgov.org, to schedule a pre-site inspection. A \$144 inspection fee will be assessed for the Building Permit for the inspection. If the initial pre-site inspection is not approved, an additional inspection fee will be assessed for each required re-inspection until the job site passes the Pre-Site Inspection, or as determined by the Building Inspection Section.
15. All new power and telephone utility lines from the street or nearest existing utility pole to the main dwelling and/or any other structure on the property shall be placed underground.
16. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Department of Public Works, and the Coastside Fire Protection District.
17. No site disturbance shall occur, including any grading, until a building permit has been issued.
18. To reduce the impact of construction activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.

- b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
 - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on San Carlos Avenue. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on San Carlos Avenue. There shall be no storage of construction vehicles in the public right-of-way.
19. The exterior color samples submitted to the Coastside Design Review Committee are approved. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.
20. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo Ordinance Code Section 4.88.360).
21. Installation of the approved landscape plan is required prior to final building inspection.
22. The landscape plan shall comply with the Water Efficient Landscape Ordinance (WELO):
- a. At the building permit application stage, the project shall demonstrate compliance with the Water Efficient Landscape Ordinance (WELO) and provide the required forms. WELO applies to new landscape projects equal to or greater than 500 sq. ft. A prescriptive checklist is available as a compliance option for projects under 2,500 sq. ft. WELO also applies to rehabilitated landscape projects equal to or greater than 2,500 sq. ft.

The following restrictions apply to projects using the prescriptive checklist:

- (1) Compost: Project must incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test).
- (2) Plant Water Use (Residential): Install climate adapted plants that require occasional, little, or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water.

- (3) Mulch: A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers.
- (4) Turf: Total turf area shall not exceed 25% of the landscape area. Turf is not allowed in non-residential projects. Turf (if utilized) is limited to slopes not exceeding 25% and is not used in parkways less than 10 feet in width. Turf, if utilized in parkways, is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff.
- (5) Irrigation System: The property shall certify that Irrigation controllers use evapotranspiration or soil moisture data and utilize a rain sensor; Irrigation controller programming data will not be lost due to an interruption in the primary power source; and Areas less than 10 feet in any direction utilize sub-surface irrigation or other technology that prevents overspray or runoff.

Coastside County Water District

23. The project will be required to comply with Coastside County Water District's (District) Indoor Water Use Efficiency Ordinance which includes regulations on water metering and water use efficiency specifications for plumbing fixtures and appliances. The District will perform inspections to verify compliance with all District regulations during and after construction.
24. No passive purge systems are to be installed on fire protection services. Fire protection services are authorized for the sole purpose of fire protection. There shall be no cross connections, and approved backflow protection is required.
25. Before issuance of a building permit, the District will need to evaluate a complete set of building plans to determine if the water service capability availability is adequate for this development and complies with all District regulations.

Coastside Fire Protection District

26. As per the California Building Code (CBC), the State Fire Marshal Regulations, and the Coastside Fire Protection District (CFPD) Ordinance 2016-01, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and reconditioned sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final inspection.

27. Smoke alarms/detectors are to be hardwired, interconnected, or equipped with battery backup. Smoke alarms shall be installed per the manufacturer's instruction and National Fire Protection Association (NFPA) 72.
28. Escape or rescue windows shall have a minimum net clear openable area of 5.7 sq. ft. 5.0 sq. ft. is allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor.
29. Identify rescue windows in each bedroom and verify that they meet all requirements. Include in building plans.
30. Occupancy Separation: Per the 2016 CBC, Section 406.1.4, a one-hour occupancy separation wall shall be installed with a solid core, 20-minute fire rated, self-closing door assembly with smoke gasket between the garage and the residence. All electrical boxes installed in rated walls shall be metal or protected. Plans at the building permit application stage shall include listing and construction details. Inspections will occur throughout construction and prior to Fire's final approval of the building permit.
31. Address Numbers: Per the CFPDC 2016-01, building identification shall be conspicuously posted and visible from the street. Temporary address numbers shall be posted prior to combustibles being placed on-site. The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 3/4-inch stroke. Such letters/numerals shall be internally illuminated and facing the direction of access. Finished height of bottom of address light unit shall be greater than or equal to 6 feet from finished grade. When the building is served by a long driveway or is otherwise obscured, a 6-inch by 18-inch green reflective metal sign with 3-inch reflective numbers/letters similar to Hy-Ko 911 or equivalent shall be placed at the entrance from the nearest public roadway. See CFPDC for standard sign.
32. Roof Covering: Per the CFPDC 2016-01, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
33. Vegetation Management: Per the CFPDC 2016-01, the 2016 California Fire Code (CFC), and the Public Resources Code (PRC) 4291:
 - a. A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. In the State Responsible Area (SRA), the fuel break is 100 feet or to the property line.

- b. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 to 10 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.
 - c. Remove that portion of any existing tree, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure.
34. Fire Access Roads: The applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The County Department of Public Works, the CFPD Ordinance 2016-01, and the CFC shall set road standards. Fire Department access shall be to within 150 ft. of all exterior portions of the facility and all portions of the exterior walls of the first story of the buildings as measured by an approved access route around the exterior of the building or facility. Access shall be a minimum of 20 ft. wide asphalt and able to support a fire apparatus weighing 75,000 lbs. Where a fire hydrant is located in the access, a minimum of 26 ft. is required for a minimum of 20 ft. on each side of the hydrant. This access shall be provided from a publicly maintained road to the property. Grades over 15% shall be paved and no grade shall be over 20%.
- a. Per the 2016 CFC, dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Half Moon Bay Fire District specifications. All dead-end roadways shall be terminated by a turnaround bulb of not less than 96 feet in diameter.
 - b. Per the 2007 CFC, Section Appendix D, road width shall not be less than 20 feet.
 - c. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained during construction.
 - d. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction.
 - e. If the road width does not allow parking on the street (20-ft. road) and on-street parking is desired, an additional improved area shall be developed for that use.
35. Fire Hydrant: Per the 2016 CFC, Appendices B and C, a fire district approved fire hydrant (Clow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. Per the 2016 CFC, Appendix B, the hydrant must produce a minimum fire flow of 1,000 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details. The applicant shall provide documentation including hydrant location, main size, and fire flow report at the

building permit application stage. Inspection required prior to Fire's final approval of the building permit or before combustibles are brought on-site.

36. Automatic Fire Sprinkler System: As per San Mateo County Building Standards and CFPD Ordinance 2016-01, the applicant is required to install an approved automatic fire sprinkler system meeting the requirements of NFPA-13D throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. All areas that are accessible for storage purposes shall be equipped with fire sprinklers including closets and bathrooms. The only exception is small linen closets less than 24 square feet with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Department. A building permit will not be issued until plans are received, reviewed, and approved. Upon submission of the plans, the County will forward a complete set to the Coastside Fire Protection District for review. Fees shall be paid prior to plan review.
37. Exterior Bell and Interior Horn/Strobe: are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener, are to be wired into a separate circuit breaker at the main electrical panel and labeled.
38. Add note to the title page that the building will be protected by an automatic fire sprinkler system.
39. All fire conditions and requirements must be incorporated into your building plans prior to building permit issuance. It is your responsibility to notify your contractor, architect, and engineer of these requirements.
40. Contact the Fire Marshal's Office at 650/726-5213 to schedule a Final Inspection prior to occupancy and Final Inspection by a Building Inspector. Allow for a minimum of 72-hour notice to the Fire Department.

Department of Public Works

41. Prior to the issuance of the building permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Department of Public Works for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works for review and approval.

42. Prior to the issuance of the building permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access from the nearest publicly maintained roadway to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20%) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
43. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. The applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
44. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No. 3277.

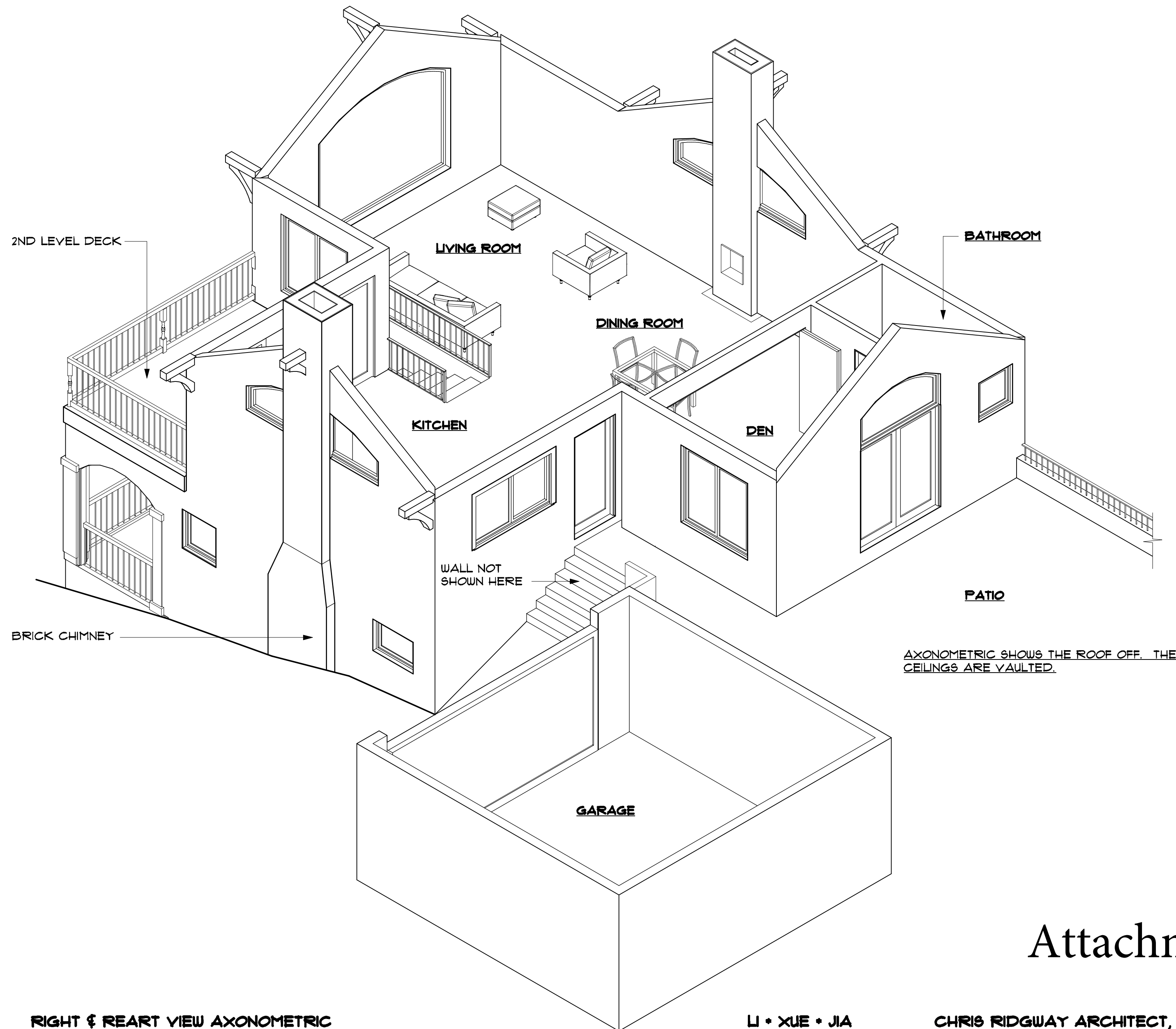
Granada Community Services District

45. The applicant must obtain a sewer connection permit to connect the project onto the District's wastewater facilities.
46. The District currently has sufficient sewer capacity to serve conforming parcels with the LCP buildout limits, however, since the project is proposed on a non-conforming parcel, the applicant must first obtain a Sewer Permit Variance. All projects requiring a Variance must be considered by the District Board of Directors for approval before a sewer permit may be obtained. Please contact the Granada Community Services District office for additional information on applying for a Sewer Permit Variance if applicable.

CJM:jlh – CJMCC0033_WJU.DOCX



Attachment B



2ND LEVEL DECK

LIVING ROOM

DINING ROOM

KITCHEN

DEN

BATHROOM

WALL NOT SHOWN HERE

PATIO

BRICK CHIMNEY

GARAGE

AXONOMETRIC SHOWS THE ROOF OFF. THE CEILINGS ARE VAULTED.

Attachment C

ROOF
Composition Shingles by GAF
Timberline in Charcoal



2123-70

ice mist

FACIA, TRIM RAILING & WINDOW
Benjamin Moore 2123-70 "Ice Mist"



HardiePlank Lap Siding Select
Cedar Painted Benjamin Moore
#837 "Sheer Romance"



sheer romance 837

ROOF @ BAY
Copper or composite shingles to match roof

COLOR BOARD
March 8, 2017



BRICKS
Manufactured by H. C. Muddox
Brick veneer on chimney. Use L bricks at corner.
Full Brick on stairs and wainscot.
Use "Old Sacramento blend" on both types of brick.

LI, XUE & JIA RESIDENCE

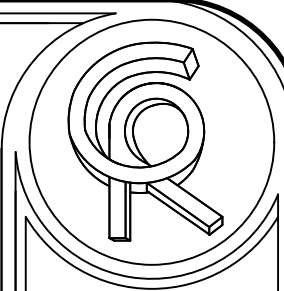
CHRIS RIDGWAY ARCHITECT

Attachment C

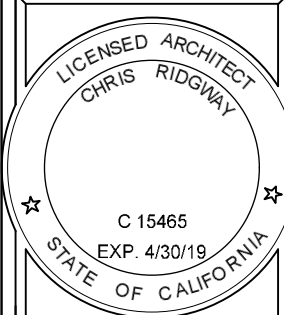


NEW RESIDENCE FOR
BIN LI
NICK XUE &
JAMES JIA

CHRIS
RIDGWAY
ARCHITECT
650-622-6301



CHRIS RIDGWAY ARCHITECT, INC.
 610 POPLAR STREET, HALF MOON BAY, CA 94019
 PH: 650.622.6901 WEB SITE: CRARCHITECT.NET
 EMAIL: CRARCHITECT@COASTSIDE.NET



A.P.N. 041-111-210

NEW RESIDENCE FOR:
LI - XUE - JIA
 ADDRESS: SAN CARLOS AVE., EL GRANADA, CA

JOB #
1608

SCALE
A9 NOTED

DATE
03/08/11

SHEET

A1.1

SITE COVERAGE	AREA INCLUDED IN		SQUARE FOOTAGE	PLANNING DEPARTMENT: 5MCO PLANNER WHO GAVE THE INFORMATION: CAMILLE LEUNG ZONING: R-1 / S-11 A.P.N. # 041-111-210
	FLOOR AREA			
X	X		959	FIRST FLOOR NOT INCLUDING GARAGE
X	X		416	GARAGE
X			16	PORCH

X	X	223	2ND FLOOR OVER NOT OVER 1ST FLOOR BELOW
	X	745	2ND FLOOR OVER 1ST FLOOR BELOW
			2ND STORY BALCONY

1,614	OUR SITE COVERAGE
35%	PERCENTAGE OF SITE COVERAGE
4,000	LOT SIZE
1,600	MAXIMUM SITE COVERAGE ALLOWED
6	UNDER THE MAX SQUARE FEET

2,343	OUR TOTAL FLOOR AREA
*	* PERCENTAGE OF FLOOR AREA ALLOWED
4,000	LOT SIZE - SUBSTANDARD
2,352	MAXIMUM FLOOR AREA ALLOWED
9	UNDER THE MAX SQUARE FEET

- $0.53 - \lfloor (5,000 - \text{PARCEL SIZE}) \times 0.0002 \rfloor \times \text{PARCEL SIZE}$
- $0.53 - \lfloor (5,000 - 4,000) \times 0.0002 \rfloor \times 4,000$
- $0.53 - \lfloor (200 \times 0.0002) \times 4,000 \rfloor = 0.53 - .04 = .49$
 $.49 \times 4000 = 2,352 \text{ SQ. FT. ALLOWED}$

UNDERGROUND ELECTRICAL SERVICE SHALL BE PROVIDED IN ALL NEW CONSTRUCTION, ADDITIONS OF MORE THAN 25% OF THE (E) FLOOR AREAS & REMODELS WHERE THE ESTIMATED COST OF CONSTRUCTION IS 50% OR MORE OF THE ACCESSED VALUATION OF THE BUILDING. UNDERGROUND SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE FIRE CO. ELECTRIC & GAS REQUIREMENTS, SECT. 5, ELECTRIC SERVICE UNDERGROUND (ORD. C-14-101 PART), 2010 ORD. 1-08 2(PART), 2008) PER MUNICIPAL CODE SECT. 14.04.010 (A).

SPECIAL INSPECTION REQUIRED FOR CONCRETE DRILLED PIERS AND CONCRETE COMPRESSIVE STRENGTH GREATER THAN 2500 PSI, EPOXY HOLDDOWN ANCHORS, STRUCTURAL STEEL & WELDING AND SHEAR WALLS WITH NAILING SPACED 4" OR LESS.

CLEANOUTS IN BUILDING SEWERS SHALL BE PROVIDED IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES OF THE CITY/COUNTY. ALL CLEANOUTS SHALL BE MAINTAINED WATERTIGHT.

LIST OF DRAWINGS
FOR DESIGN REVIEW

A1.0	COLOR BOARD AND AXONOMETRIC
A1.1	TITLE PAGE AND SITE PLAN
A1.2	GENERAL NOTES
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	ROOF PLAN

A3.1	ELEVATIONS
A3.2	ELEVATIONS & SECTION A-A

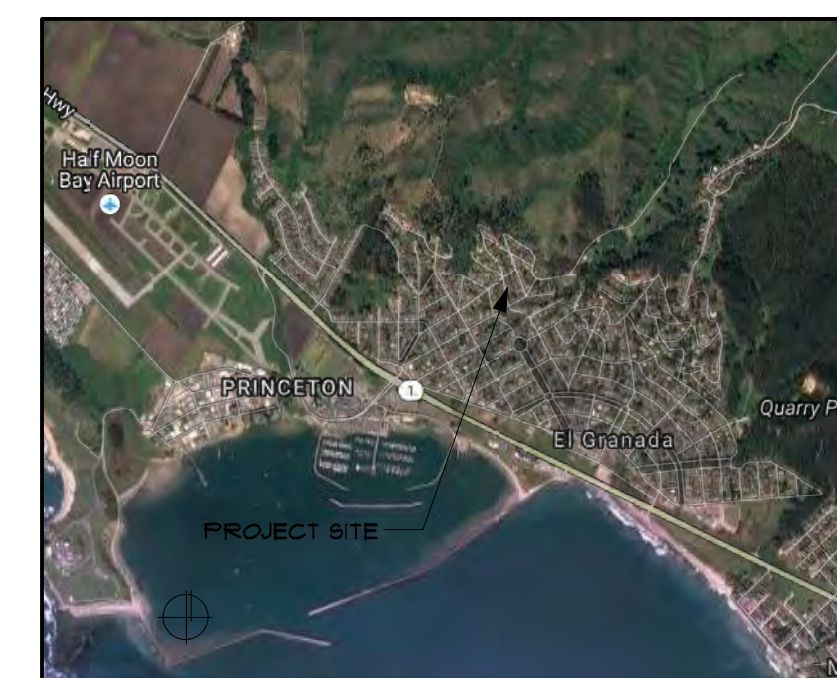
SU-1	SURVEY
L91	LANDSCAPE PLAN
L92	LANDSCAPE DETAILS
C-1	GRADING PLAN
C-2	EROSION CONTROL PLAN

ALL CONSTRUCTION SHALL CONFORM TO:
 2016 CALIFORNIA RESIDENTIAL CODE
 2016 CALIFORNIA BUILDING CODE
 2016 CALIFORNIA MECHANICAL CODE
 2016 CALIFORNIA PLUMBING CODE
 2016 CALIFORNIA FIRE CODE
 2016 CALIFORNIA ELECTRICAL CODE
 2016 CALIFORNIA ENERGY CODE
 2016 CALIFORNIA GREEN BUILDING CODE STANDARDS

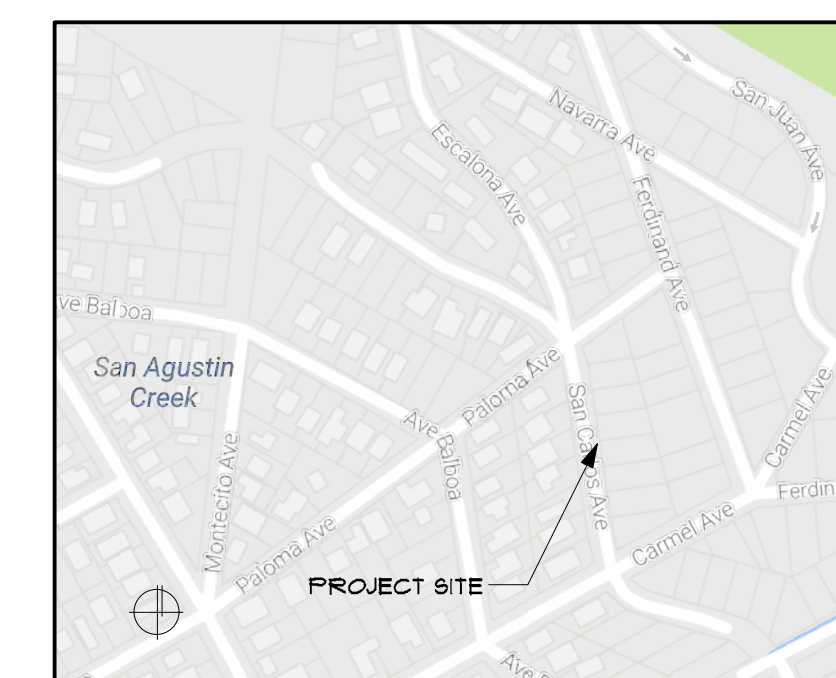
OCCUPANCY GROUP: R3-U
 TYPE OF CONSTRUCTION: TYPE V-B
 SCOPE OF WORK: NEW RESIDENCE

PROJECT WILL REQUIRE AN AUTOMATIC FIRE SPRINKLER SYSTEM. CONTRACTOR MUST HAVE A C-16 LICENSE TO INSTALL DESIGN. FIRE HYDRANT COMPLIANCE MUST BE CHECKED

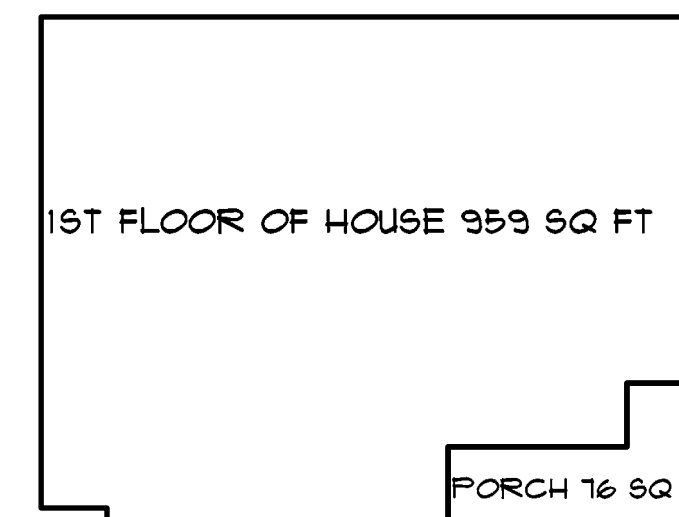
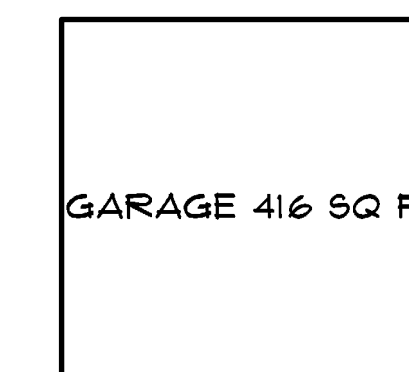
Attachment C



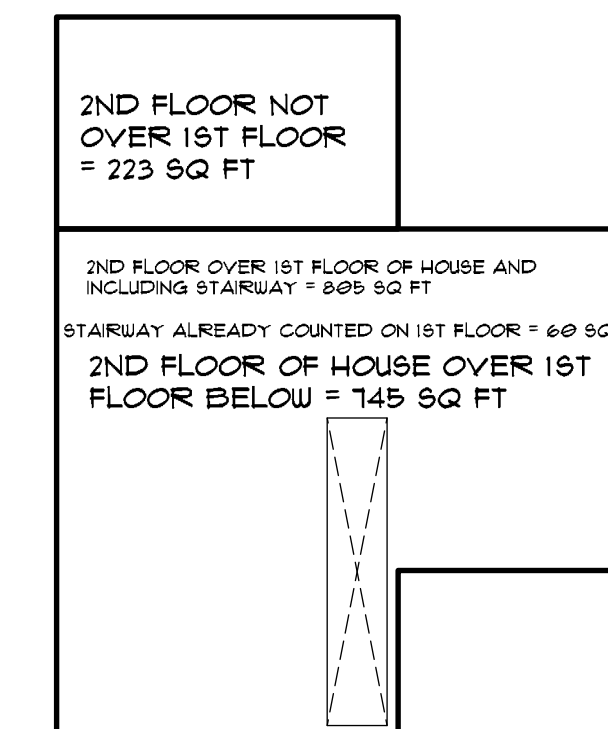
VICINITY MAP



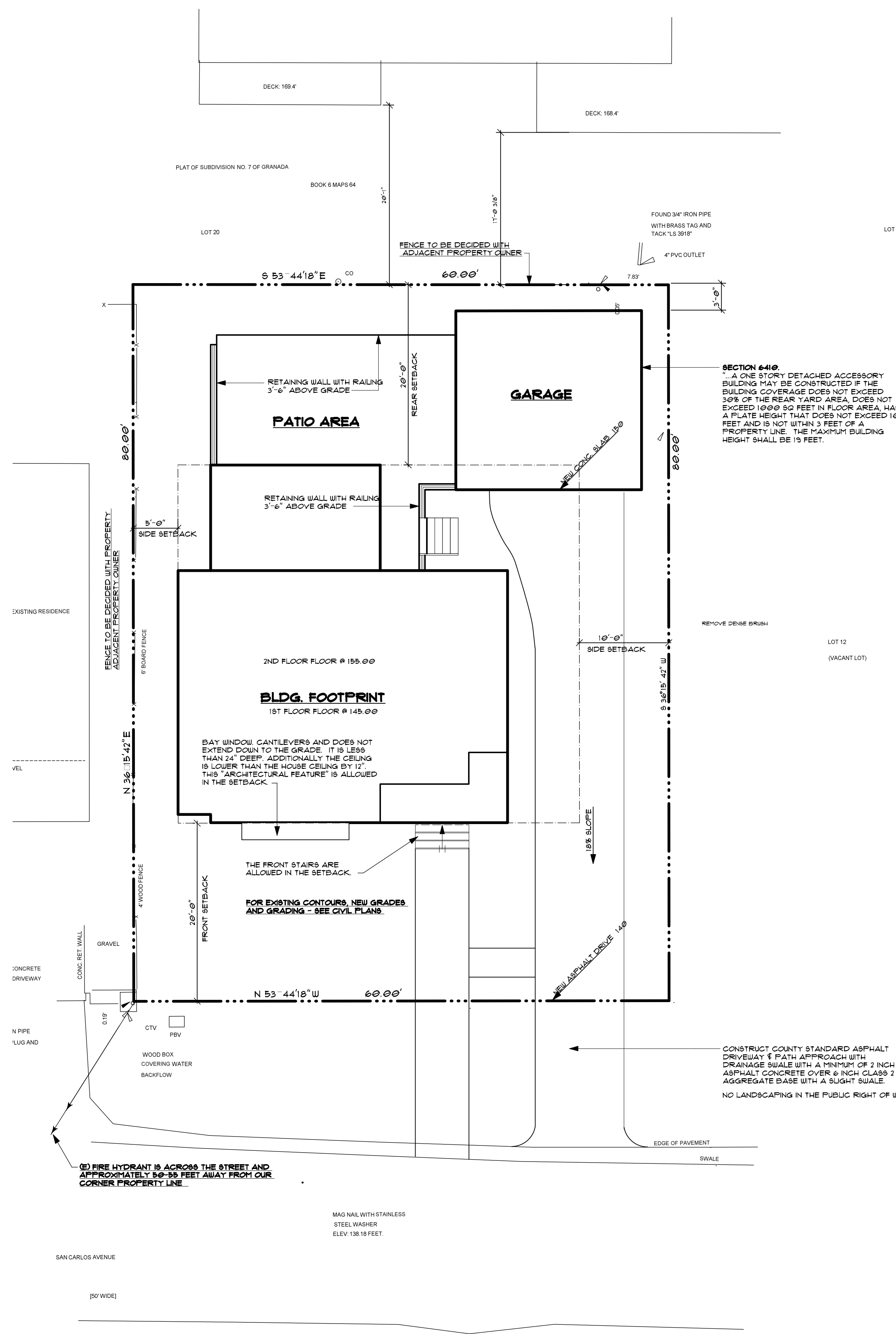
LOCATION MAP



1ST SQ. FT. PLAN



2ND FLOOR SQ. FT. PLAN



SECTION 6410
 A ONE STORY DETACHED ACCESSORY BUILDING MAY BE CONSTRUCTED IF THE BUILDING COVERAGE DOES NOT EXCEED 30% OF THE REAR YARD AREA, DOES NOT EXCEED 1000 SQ FEET IN FLOOR AREA, HAS A PLATE HEIGHT THAT DOES NOT EXCEED 10 FEET AND IS NOT WITHIN 3 FEET OF A PROPERTY LINE. THE MAXIMUM BUILDING HEIGHT SHALL BE 15 FEET.

REMOVE DENSE BRUSH
 LOT 12 (VACANT LOT)

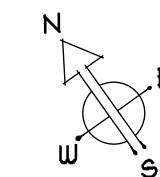
CONSTRUCT COUNTY STANDARD ASPHALT DRIVEWAY & PATH APPROACH WITH DRAINAGE SWALE WITH A MINIMUM OF 2 INCH ASPHALT CONCRETE OVER 6 INCH CLASS 2 AGGREGATE BASE WITH A SLIGHT SWALE
 NO LANDSCAPING IN THE PUBLIC RIGHT OF WAY

SEE SHEET A1.2 FOR OTHER PERTINENT NOTES RELATING TO THE CONSTRUCTION OPERATION PLAN (C.O.P.)

- PARKING AREA:** CONSTRUCTION PERSONNEL WILL PARK IN THE DRIVEWAY AREAS AND NOT IN THE STREET.
- SANITARY FACILITIES:** LOCATED ON THE SOUTH-WEST SIDE END OF THE PROPERTY.
- CLEAN-UP AREA:** LOCATED ON THE SOUTH-WEST SIDE END OF THE PROPERTY NEXT TO THE SANITARY FACILITIES.
- CONSTRUCTION MATERIALS STORAGE:** LOCATED ON THE NORTH SIDE END OF THE PROPERTY.

TRUCK TRAFFIC ISSUES: EXISTING PAVED DRIVEWAYS TO BE MAINTAINED DURING CONSTRUCTION. AN ON SITE MANAGER SHALL ENSURE THAT NO CONSTRUCTION VEHICLES SHALL IMPEDED THROUGH TRAFFIC ALONG THE RIGHT OF WAY ON SAN CARLOS AVENUE. ALL CONSTRUCTION VEHICLES SHALL BE PARKED ON SITE OUTSIDE OF THE PUBLIC RIGHT. THERE SHALL BE NO STORAGE OF CONSTRUCTION VEHICLES IN THE PUBLIC RIGHT OF WAY.

SITE PLAN
SCALE: 1/8" = 1'-0"



ABBREVIATIONS

A.B.	ANCHOR BOLT	LAV.	LAVATORY
A.B.M.	AGGREGATE BASE MATERIALS	L.H.	LEFT HAND
ACOUS.	ACOUS TIC	L.K.R.	LOCKER
A/C	AIR CONDITIONING	L.P.	LOW POINT
A.C.	ASPHALTIC CONCRETE	L.T.	LIGHT
A.D.	ACCESS DOOR	LTUW.	LIGHTWEIGHT
ADJ.	ADJUSTABLE		
A.F.B.	AUTOMATIC FIRE SPRINKLER	M.W.	MICRO-WAVE
AGGR.	AGGREGATE	MED.	MEDIUM
ALT.	ALTERNATE	MAX.	MAXIMUM
ALUM.	ALUMINUM	M.C.	MEDICINE CABINET
ANOD.	ANODIZED	M.D.F.	MEDIUM DENSITY FIBER BD.
A.P.	ACCESS PANEL	MECH.	MECHANICAL
ARCH.	ARCHITECTURAL	MEMB.	MEMBRANE
ASPH.	ASPHALT	MFR.	MANUFACTURER
A.T.	ASH TRAY	M.H.	MANHOLE
L	ANGLE	MIN.	MINIMUM
#	AT	MNTD.	MOUNTED
\$	AND	M.S.	MACHINE SCREW
		MTL.	METAL
		MULL.	MULLION
BD.	BOARD		
BK&PL	BACKSLASH	(N)	NEW
BLDG.	BUILDING	N	NORTH
BUC.	BLOCK	N.C.	NOT IN CONCRETE
BK&G.	BLOCKING	NOM.	NOMINAL
B.M.	BEAM	N.T.S.	NOT TO SCALE
B.O.J.	BOTTOM OF JOISTS	#	NUMBER
BOT.	BOTTOM		
BS&D.	BASEBOARD		
B.U.	BUILT-UP	O/	OVER
B.U.R.	BUILT-UP ROOF	O.B.	OBSCURE
		O.C.	ON CENTER
CABT.	CABINET	O.C.D.	OUTSIDE DIAMETER
G.B.	CATCH BASIN	O.F.S.	OUTSIDE FACE OF STUD
CBO.	CULKBOARD	O.H.	OVER HEAD
CEM.	CEMENT	O.P.	OFFAGE
CER.	CERAMIC	OPNG.	OPENING
C.G.	COVER GUARD	OFF.	OFFSITE
C.I.	CAST IRON		
C.J.	CEILING JOIST	P.A.	PUBLIC ADDRESS
CLG.	CEILING	P.D.F.	POWER DRIVEN FASTENER
CLR.	CLEAR	P.G.	PAINT GRADE
CLD.	CLOSED	P.H.	PLUMBERS HEAD
CMU.	CONG. MASONRY UNIT	P.H.C.	PUBLIC AND HOUSE PHONE
CNTR.	COUNTERTOP	P.I.V.	PISTON INDICATOR VALVE
COL.	COLUMN	PL.	PLATE
COMP.	COMPOSITION	P/L	PROPERTY LINE
CONC.	CONCRETE	PLAS.	PLASTER
CONSTR.	CONSTRUCTION	PLAS. LAM.	PLASTIC LAMINATE
CONTR.	CONTRACTOR	PLYUD.	PLYWOOD
C/T	COOKTOP	POL.	POLISHED
GT.	GOATS	PR.	PAIR
CUST.	CUSTODIAN	PRC&ST.	PRECAST
C.W.	COLD WATER	P.S.F.	POUNDS PER SQUARE FOOT
CH.	CHANNEL	P.S.I.	POUNDS PER SQUARE INCH
C.I.	CENTERLINE	PBL.	PARALLEL BEAM
		PR.	PRESSURE TREATED
		P.P.	PAPER TOWEL DISPENSER
		P.T.D.	PARTITION
D	DRYER		
DET.	DETAIL	R.	RISE
Ds	DARK SKY LIGHT	R.A.	RETURN AIR
D.F.	DOUGLAS FIR	RAD.	RADIUS
D/G	DIAPHRAGM OR ROUND	R.C.P.	REFLECTED CEILING PLAN
DIA.	DIAMETER	R.D.	ROOF DRAIN
DIH.	DIMENSION	REC.	RECESSED
DISP.	GARBAGE DISPOSAL	REF.	REFERENCE
DN.	DOWN	REF.	REFRIGERATOR
DEM'OD.	DEMOLISHED	REINF.	REINFORCED/ING
DR	DOOR	REQ'D.	REQUIRED
D.S.	DOWNSPOUT	RH.	RIGHT HAND
D/W	DISHWASHER	R.H.	ROUND HEAD
DWG.	DRAWING	R.M.	ROOM
		R.R.	ROOF Rafter
(E)	EXISTING	R.W.L.	RAIN WATER LEADER
E.A.	EACH		
ELEV.	ELEVATION	S.B.	SOB BLOCKING
E.J.	EXPANSION JOINT	S.C.	SOLID CORE
E.Q.	EQUAL	S.C.D.	SEAT COVER DISPENSER
E.S.	EXPANSION SHIELD	S.D.	SMOKE DETECTOR
EXH.	EXHAUST	SECT.	SECTION
EXT.	EXTERIOR	S.G.	SAFETY GLAZE
F.A.	FIRE ALARM	SHR.	SHEAR
F.L.B.	FLAT BAR	SHUR.	SHOWER
FBRGL.	FIBERGLASS	SK.	SKIN
F.D.	FLOOR DRAIN	SIM.	SIMILAR
FDN.	FOUNDATION	S.M.	SHEET METAL
F.E.	FIRE EXTINGUISHER	S.M.S.	SHEET METAL SCREWS
FINSH FLOOR	FINISH FLOOR	S.N.D.	SANITARY NAPKIN DISPOSAL
F.G.	FINISH GRADE	S.N.V.	SANITARY NAPKIN VENDOR
F.H.	FLAT HEAD	S.O.V.	SHUT OFF VALVE
F.H.C.	FIRE HOSE CABINET	S.P.D.	SOAP DISPENSER
FIN FLR.	FINISH FLOOR	SPEC'S.	SPECIFICATIONS
F.J.	FLOOR JOIST	SQ.	SQUARE
FLOD.	FLOORING	S.S.	SERVICE SINK
FLR.	FLOOR	STL.	STEEL
FLUOR.	FLUORESCENT	STD.	STANDARD
F.O.	FINSHOFFING	STOR.	STORAGE
F.O.C.	FACE OF CONCRETE	STRUC.	STRUCTURAL
F.O.S.	FACE OF STUD/STEEL	ST.S.	SELF TAPPING SCREW
FR.	FRAME	ST. STL.	STAINLESS STEEL
F.R.P.	FIBER GLASS	SUSP.	SUSPENDED
		SYM.	SYMMETRICAL
FT.	FOOT OR FEET	T	TREAD
FTG.	FOOTING	T.B.	TOWEL BAR
		T.B.	TOP & BOTTOM
GA.	GAUGE	TIC	TRASH COMPACTOR
GALV.	GALVANIZED	T.D.	TOWEL DISPENSER
G.B.	GREEN BOARD	T.D.L.	TRUE-DIVIDED LIGHTS
G.C.	GENERAL CONTRACTOR	T.O.D.	TOWEL DISPENSER & DISP.
G.F.I.	GROUND FAULT INTERRUPTER	TELE	TELEPHONE
G.I.	GALVANIZED IRON	TEMP.	TEMPERED GLASS
GL.	GLASS	T & G.	TONGUE & GROOVE
GL.B.	GLULAM BEAM	THK.	THICK
GND.	GROUND	T.K.	TOE KICK
G.S.M.	GALVANIZED SHEET METAL	T.O.C.	TOP OF CURB
G.V.	GATE VALVE	T.O.P.	TOP OF PAVEMENT
GYP BD.	GYP SUM BOARD	T.O.FL.	TOP OF FLATE
		T.O.S.	TOP OF SLAB
		T.O.STL.	TOP OF STEEL
		T.P.D.	TOWEL PAPER DISPENSER
H.B.	HOSE BIBB	TYP.	TYPICAL
H.C.	HOLLOW CORE		
HCAP.	HANDICAP	U.O.N.	UNLESS OTHERWISE NOTED
HDBD.	HARDBOARD	UR.	URNAL
HDR.	HEADER		
K.P.	KICKPLATE	V.C.T.	VINYL COMPOSITION TILE
HWDU.	HARDWOOD	VERT.	VERTICAL
HWDUE.	HARDWARE	V.G.D.P.	VERTICAL GRAIN DOUGLAS FIR
H.M.	HOLLOW METAL	V.N.	VINYL
HORIZ.	HORIZONTAL	V.T.R.	VENTILATION THRU ROOF
H.P.	HIGH POINT	V.H.F.	VINYL WALL FABRIC
H.R.C.	HOSE REEL CABINET		
HT.	HEIGHT	W	WASHER
H.T.D.	HANDICAP TOWEL DISP.	W	WITH
HTG.	HEATING	W.C.	WATER CLOSET
HU.	HOT WATER	W.D.	WOOD
		W.D.	WOOD
ID	INSIDE DIAMETER	W/O/W.D.S.	WINDOW/WINDOWS
INSUL.	INSULATION	UNDR. BD.	UNDERBOARD
INT.	INTERIOR	W/O	WITHOUT
INV.	INVERT	W.P.	WATER PROOF
		WRGP.	WATER RESISTANT GYPSUM
J.B.	JUNCTION BOX	W.S.	WEATHER STRIPPING
JT.	JOIST	W.W.	WAINSCOT
		WT.	WEIGHT

MISC. SITE PLAN NOTES & CONSTRUCTION OPERATION PLAN

UNDERGROUND SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE PACIFIC GAS & ELECTRIC COMPANY REQUIREMENTS. SEE COMPLETE INFO ON SHEET E-1

CLEANOUTS IN BLDG. SEWERS SHALL BE APPROVED IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES OF THE SEWER AUTHORITY. ALL CLEANOUTS SHALL BE MAINTAINED WATERTIGHT

THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND DELINEATED BY FENCING OR FLAGGING TO LIMIT CONSTRUCTION ACTIVITY TO THE CONSTRUCTION AREA

SPECIAL INSPECTION REQUIRED FOR CONCRETE FOUNDATION GREATER THAN 2,500 P.S.I., EPOXY HOLDINGS, HIGH STRENGTH BOLTS, SEISMIC RESISTANCE AND STRUCTURAL STEEL WELDING & FOR SHEAR WALL NAILING SPACED 4" OR LESS. COMPLETE AND SUBMIT A STAMPED & SIGNED SPECIAL INSPECTION FORM FORM PRIOR TO PERMIT ISSUANCE.

AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT IS REQUIRED PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPALITY'S RIGHT OF WAY

THE APPLICANT/CONTRACTOR SHALL ADHERE TO ALL REQUIREMENTS OF THE BLDG. INSPECTION SECTION, THE DEPT. OF PUBLIC WORKS AND THE COASTSIDE FIRE PROTECTION DISTRICT.

PRIOR TO FINAL INSPECTION, PAINT THE ADDRESS NUMBER ON THE FACE OF THE CURB NEAR THE DRIVEWAY APPROACH WITH BLACK LETTERING ON A WHITE BACKGROUND.

INCLUDE HOUSE ADDRESS NUMERALS SHALL BE A MIN. 4" IN HEIGHT AND 3/4" STROKE OF CONTRASTING COLOR TOP THEIR BACKGROUND AND MUST BE LIGHTED DURING THE HOURS OF DARKNESS (SEE ELEVATION) FOR NEW CONSTRUCTION ONLY. SEE COMPLETE NOTES UNDER "FIRE PROTECTION NOTES".

COORDINATE UNDERGROUND CONSTRUCTION ACTIVITIES TO UTILIZE THE SAME JOINT TRENCH. MINIMIZE THE AMOUNT OF TIME THE DISTURBED SOIL IS EXPOSED. THE SOIL IS TO BE REPLACED USING ACCEPTED COMPACTION METHODS.

STOCKPILE AND PROTECT DISPLACED TOPSOIL FOR REUSE.

GENERAL CONTRACTOR (G.C.) TO VERIFY UTILITIES ARE MAINTAINED IN SAFE CONDITION AT TIMES OR REMOVE FROM SITE.

G.C. TO VERIFY ALL HAZARDOUS MATERIALS HAVE BEEN REMOVED.

G.C. TO VERIFY THAT THE WATER LINE THE BUILDING HAS BEEN CUT OFF AT THE PROPERTY LINE AND A HOSE BIB WITH A VACUUM BREAKER TYPE BACKFLOW PREVENTION DEVICE IS PROVIDED FOR DUST CONTROL

IF THERE IS NO CONSTRUCTION TRAILER USED FOR THIS PROJECT, THE APPLICANT/CONTRACTOR SHALL REMOVE ALL CONSTRUCTION EQUIPMENT FROM THE SITE UPON COMPLETION OF THE USE AND/OR NEED OF EACH PIECE OF EQUIPMENT WHICH SHALL INCLUDE BUT NOT BE LIMITED TO TRACTORS, BACK HOES, CEMENT MIXERS, ETC.

THE DEBRIS BIN TO BE LOCATED SOMEWHERE ON THE SITE (SEE A1.1'S NOTES). DEBRIS TO BE HAULED OFF-SITE TO AS NECESSARY. THE APPLICANT/CONTRACTOR SHALL MONITOR THE SITE TO ENSURE THAT TRASH IS PICKED UP AND APPROPRIATELY DISPOSED DAILY.

THE APPLICANT/CONTRACTOR SHALL REMOVE ALL CONSTRUCTION EQUIPMENT FROM THE SITE UPON COMPLETION OF THE USE AND/OR NEED OF EACH PIECE OF EQUIPMENT WHICH SHALL INCLUDE BUT NOT LIMITED TO TRACTORS, BACK HOES, CEMENT MIXERS, ETC.

THE APPLICANT/CONTRACTOR SHALL ENSURE THE NO CONSTRUCTION-RELATED VEHICLES SHALL IMPEDE THROUGH TRAFFIC ALONG THE RIGHT-OF-WAY ON SAN CARLOS AVE. ALL CONSTRUCTION VEHICLES SHALL BE PARKED ON-SITE OUTSIDE OF THE PUBLIC RIGHT OF WAY OR IN LOCATIONS WHICH DO NOT IMPEDE SAFE ACCESS ON SAN CARLOS AVE. THERE SHALL BE NO STORAGE OF CONSTRUCTION VEHICLES IN THE PUBLIC RIGHT OF WAY. NO SITE DISTURBANCES SHALL OCCUR, INCLUDING ANY GRADING OR TREE REMOVAL, UNTIL A BUILDING PERMIT HAS BEEN ISSUED AND THEN ONLY THOSE TREES APPROVED FOR REMOVAL SHALL BE REMOVED.

NOISE LEVELS PRODUCED BY THE PROPOSED CONSTRUCTION ACTIVITY SHALL NOT EXCEED THE 00DBAS LEVEL AT ANY ONE MOMENT. CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE HOURS FROM 7:00 A.M. TO 6 P.M., MONDAY THROUGH FRIDAY AND 9:00 A.M. TO 5:00 P.M. ON SATURDAY. CONSTRUCTION OPERATIONS SHALL BE PROHIBITED ON SUNDAY AND ANY NATIONAL HOLIDAY.

WATER SHALL BE AVAILABLE ON SITE FOR DUST CONTROL DURING ALL GRADING OPERATIONS

SURFACE RUNOFF FROM ALL IMPERVIOUS SURFACES SHALL BE DIRECTED TO THE WATER DETENTION AREAS. SEE CIVIL PLANS

IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE POSITIVE DRAINAGE IN ALL PAVED AND LANDSCAPE AREAS. SEE "GRADING, DRAINAGE & EROSION CONTROL PLAN" ON SHEET C-1. CONTRACTOR TO PROVIDE INTENT

SEE SEPARATE DRAINAGE PLAN BY CIVIL ENGINEER FOR OFFICIAL DESIGN OF EROSION CONTROL AND DRAINAGE PLAN

RAINWATER LEADERS (DOWNSPOUTS) TO TIE INTO UNDERGROUND DRAIN. SEE DRAINAGE PLAN BY CIVIL ENGINEER ON SHEET C-1.

MAINTAIN 6" MINIMUM CLEARANCE FROM SOIL TO BOTTOM OF SIDING. (8" FROM SILL).

DRAIN WATER AWAY FROM THE BUILDING. MAKE CERTAIN THAT ALL WATER DRAINS AND THERE IS NO FONDING.

PRIOR TO THE ISSUANCE OF THE BLDG. PERMIT, THE APPLICANT/CONTRACTOR SHALL SUBMIT A DRIVEWAY "PLAN & PROFILE" TO THE DEPT. OF PUBLIC WORKS, SHOWING THE DRIVEWAY ACCESS TO THE PARCEL (GARAGE SLAB) COMPLYING WITH THE COUNTY STANDARDS FOR DRIVEWAY SLOPES (NOT TO EXCEED 20%) AND TO COUNTY STANDARDS (AT THE PROPERTY LINE) BEING THE SAME ELEVATIONS AS THE CENTER OF THE ACCESS ROADWAY. WHEN APPROPRIATE, AS DETERMINED BY THE DEPT. OF PUBLIC WORKS, THIS PLAN AND PROFILE SHALL BE PREPARED FROM ELEVATIONS AND ALIGNMENT SHOWN ON THE ROADWAY IMPROVEMENT PLANS. THE DRIVEWAY PLAN SHALL ALSO INCLUDE AND SHOW SPECIFIC PROVISIONS AND DETAILS FOR BOTH THE EXISTING AND THE PROPOSED DRAINAGE PATTERNS AND DRAINAGE FACILITIES.

NO PROPOSED CONSTRUCTION WORK WITHIN THE COUNTY RIGHT OF WAY SHALL BEGIN UNTIL THE COUNTY REQUIREMENTS FOR THE ISSUANCE OF AN ENCROACHMENT PERMIT, INCLUDING REVIEW OF THE PLANS HAVE BEEN MET AND AN ENCROACHMENT PERMIT ISSUED. THE APPLICANT/CONTRACTOR SHALL CONTACT THE DEPT. OF PUBLIC WORKS INSPECTOR 48 HOURS PRIOR TO COMMENCING WORK IN THE RIGHT OF WAY.

PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT, THE APPLICANT MAY BE REQUIRED TO PROVIDE PAYMENT OF ROADWAY MITIGATION FEES** BASED ON THE SQUARE FOOTAGE (ASSESSABLE SPACE) OF THE PROPOSED BUILDING PER ORDINANCE NO. 3271.

THE APPLICANT SHALL SUBMIT A PERMANENT STORMWATER MANAGEMENT PLAN IN COMPLIANCE WITH THE COUNTY'S DRAINAGE POLICY AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENT FOR REVIEW AND APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS.

SCHEDULE WORK SO AS NOT TO INTERFERE UNDULY WITH THE NORMAL HOUSEHOLD OPERATIONS.

NO SITE DISTURBANCES SHALL OCCUR, INCLUDING ANY GRADING OR TREE REMOVAL UNTIL A BUILDING PERMIT HAS BEEN ISSUED.

FIRE PROTECTION NOTES

1: AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM MEETING THE REQUIREMENTS OF NFPA-13D MUST BE SUBMITTED. THE ENTIRE STRUCTURE TO HAVE FIRE SPRINKLERS. THEY MUST BE DRAWN BY A CONTRACTOR HAVING A C/16 LICENSE. THE SUBCONTRACTOR SHALL PRODUCE DRAWINGS FOR APPROVAL BY THE CITY, COUNTY OR FIRE DEPARTMENT.

2: SMOKE DETECTORS ARE HARDWIRED: AS PER THE CALIFORNIA BUILDING CODE (CBC) STATE FIRE MARSHALL REGULATIONS AND COASTSIDE FIRE DISTRICT ORDINANCE # 2013-03, THE APPLICANT IS REQUIRED TO INSTALL STATE FIRE MARSHALL APPROVED AND LISTED SMOKE DETECTORS WHICH ARE HARDWIRED, INTERCONNECTED AND HAVE BATTERY BACKUP. THESE DETECTORS ARE REQUIRED TO BE PLACED IN EACH NEW ROOM AND RECONDITIONED SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. IN EXISTING SLEEPING ROOMS, AREAS MAY HAVE BATTERY POWERED SMOKE ALARMS. A MINIMUM OF ONE DETECTOR SHALL BE PLACED ON EACH FLOOR. SMOKE DETECTORS SHALL BE TESTED AND APPROVED PRIOR TO THE BUILDING FINAL.

2A: SMOKE/CARBON MONOXIDE DETECTORS: TO BE HARDWIRED, INTERCONNECTED OR WITH BATTERY BACKUP. DETECTORS ARE TO BE INSTALLED PER MANUFACTURER'S INSTRUCTION AND NFPA 72.

4: ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, 5.0 SQ. FT. ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.

4A: IDENTIFY RESCUE WINDOWS IN EACH BEDROOM AND VERIFY THAT THEY MEET ALL REQUIREMENTS.

5: OCCUPANCY SEPARATION: ATTACHED GARAGE TO MEET OCCUPANCY SEPARATION REQUIREMENTS PER CRC R307.6. A ONE-HOUR OCCUPANCY SEPARATION WALL SHALL BE INSTALLED WITH A SOLID CORE, 20-MINUTE FIRE RATED, SELF CLOSING DOOR ASSEMBLY WITH SMOKE GASKET BETWEEN THE GARAGE AND THE RESIDENCE. ALL ELECTRICAL BOXES INSTALLED IN RATED WALLS SHALL BE METAL OR PROTECTED.

6: ADDRESS NUMBERS: AS PER COASTSIDE FIRE DISTRICT NO. 2013-03, BUILDING IDENTIFICATION SHALL BE CONSPICUOUSLY POSTED & VISIBLE FROM THE STREET. (TEMP. ADDRESS #6 SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). THE LETTERS/NUMERALS FOR PERMANENT ADDRESS SIGNS SHALL BE 4 INCHES IN HEIGHT WITH A MINIMUM 3/4-INCH STROKE. SUCH LETTERS/NUMERALS SHALL BE INTERNALLY ILLUMINATED & FACING THE DIRECTION OF ACCESS. FINISHED HEIGHT OF BOTTOM OF ADDRESS LIGHT UNIT SHALL BE GREATER THAN OR EQUAL TO 6 FEET FROM THE FINISHED GRADE. WHEN THE BUILDING IS SERVED BY A LONG DRIVEWAY OR IS OTHERWISE OBSCURED, A 6-INCH BY 18-INCH GREEN REFLECTIVE METAL SIGN WITH 3-INCH REFLECTIVE NUMBERS/LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT SHALL BE PLACED AT THE ENTRANCE FROM THE NEAREST PUBLIC ROADWAY. SEE FIRE ORDINANCE FOR STANDARD SIGN.

6A: NEW RESIDENTIAL ADDRESS NUMBERS: BUILDINGS SHALL HAVE INTERNALLY ILLUMINATED ADDRESS NUMBERS CONTRASTING WITH THE BACKGROUND SO AS TO BE SEEN FROM THE PUBLIC WAY FRONTING THE BUILDING. RESIDENTIAL ADDRESS NUMBERS SHALL BE AT LEAST 6 FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. WHEN THE BUILDINGS ARE LOCATED REMOTELY TO THE PUBLIC ROADWAY, ADDITIONAL SIGNAGE AT THE DRIVEWAY/ROADWAY ENTRANCE LEADING TO THE BUILDING AND/OR ON EACH INDIVIDUAL BUILDING SHALL BE REQUIRED BY THE COASTSIDE FIRE PROTECTION DISTRICT. THIS REMOTE SIGNAGE SHALL CONSIST OF A 6-INCH BY 18-INCH GREEN REFLECTIVE METAL SIGN WITH 3-INCH REFLECTIVE NUMBERS/LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT.

7: ROOF COVERING: AS PER COASTSIDE FIRE DISTRICT ORDINANCE # 2013-03, THE ROOF COVERING OF EVERY NEW BUILDING AND MATERIALS APPLIED AS PART OF A ROOF COVERING ASSEMBLY, SHALL HAVE A MINIMUM FIRE RATING OF CLASS "B" OR HIGHER AS DEFINED IN THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE.

8: AUTOMATIC FIRE SPRINKLER SYSTEM: AS PER SAN MATEO COUNTY BUILDING STANDARDS AND COASTSIDE FIRE DISTRICT ORDINANCE NUMBER 2013-03, THE APPLICANT IS REQUIRED TO INSTALL AN AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT THE PROPOSED OR IMPROVED DWELLING AND GARAGE. ALL ATTIC ACCESS LOCATIONS WILL BE PROVIDED WITH A PILOT HEAD ON A METAL UPRIGHT. ALL AREAS THAT ARE ACCESSIBLE FOR STORAGE PURPOSES SHALL BE EQUIPPED WITH FIRE SPRINKLERS INCLUDING CLOSETS AND BATHROOMS. THE ONLY EXCEPTION IS SMALL LINEN CLOSETS LESS THAN 24 SQUARE FEET WITH FULL DEPTH SHALING. THE PLANS FOR THIS SYSTEM MUST BE SUBMITTED TO THE SAN MATEO COUNTY PLANNING AND BUILDING DIVISION. A BUILDING PERMIT WILL NOT BE ISSUED UNTIL PLANS ARE RECEIVED, REVIEWED AND APPROVED. UPON SUBMISSION OF PLANS, THE COUNTY OR CITY WILL FORWARD A COMPLETE SET TO THE COASTSIDE FIRE DISTRICT FOR REVIEW. INSTALLATION OF UNDERGROUND SPRINKLER PIPE SHALL BE FLUSHED AND VISUALLY INSPECTED BY COASTSIDE FIRE PROTECTION DISTRICT PRIOR TO HOOK-UP TO RISER. ANY SOLDERED FITTING MUST BE PRESSURE TESTED WITH TRENCH OPEN. THE FEE SCHEDULE FOR AUTOMATIC FIRE SPRINKLER SYSTEMS SHALL BE IN ACCORDANCE WITH HALF MOON BAY ORDINANCE NO. 2006-01. FEES SHALL BE PAID PRIOR TO PLAN REVIEW.

9: INSTALLATION OF UNDERGROUND SPRINKLER PIPE SHALL BE FLUSHED AND VISUALLY INSPECTED BY FIRE DISTRICT PRIOR TO HOOK-UP TO RISER. ANY SOLDERED FITTINGS MUST BE PRESSURE TESTED WITH TRENCH OPEN.

10: EXTERIOR BELL AND INTERIOR HORN/STROBE: REQUIRED TO BE WIRED INTO THE REQUIRED FLOW SWITCH ON YOUR FIRE SPRINKLER SYSTEM. THE BELL, HORN/STROBE AND FLOW SWITCH, ALONG WITH THE GARAGE DOOR OPENER ARE TO BE WIRED INTO A SEPARATE CIRCUIT BREAKER AT THE MAIN ELECTRICAL PANEL AND LABELED.

11: SOLAR PHOTOVOLTAIC SYSTEMS: THESE SYSTEMS SHALL MEET THE REQUIREMENTS OF THE COASTSIDE FIRE PROTECTION DISTRICT AS OUTLINED IN STANDARD DETAIL DI-001 SOLAR PHOTOVOLTAIC SYSTEMS.

12: FIRE ACCESS ROADS: THE APPLICANT MUST HAVE A MAINTAINED ASPHALT SURFACE ROAD FOR INGRESS AND EGRESS OF FIRE APPARATUS. THE SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS, THE COASTSIDE FIRE DISTRICT ORDINANCE 2016-01 AND THE CALIFORNIA FIRE CODE SHALL SET ROAD STANDARDS. AS PER THE 2013 CFC, DEAD END ROADS EXCEEDING 150 FEET SHALL BE PROVIDED WITH TURNAROUND IN ACCORDANCE WITH HALF MOON BAY FIRE DISTRICT SPECIFICATIONS. AS PER THE 2009 CFC, SECTION APPENDIX D, ROAD WIDTH SHALL NOT BE LESS THAN 20 FEET. FIRE ACCESS ROADS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO COMBUSTIBLES BEING PLACED ON THE PROJECT SITE AND MAINTAINED DURING CONSTRUCTION. APPROVED SIGNS AND PAINTED CURBS OR LINES SHALL BE PROVIDED AND MAINTAINED TO IDENTIFY FIRE ACCESS ROADS AND STATE THE PROHIBITION OF THEIR OBSTRUCTION. IF THE ROAD WIDTH DOES NOT ALLOW PARKING ON THE STREET (20 FOOT ROAD) AND ON-STREET PARKING IS DESIRED, AN ADDITIONAL IMPROVED AREA SHALL BE DEVELOPED FOR THAT USE.

13: FIRE APPARATUS ROADS TO BE A MINIMUM OF 20 FEET WIDE WITH A MINIMUM OF 35 FEET CENTERLINE RADIUS AND A VERTICAL CLEARANCE OF 15 FEET CFC503, D103, T-14 1213

FIRE APPARATUS ACCESS ROADS TO BE AN APPROVED ALL WEATHER SURFACE. GRADES 15% OR GREATER TO BE SURFACED WITH ASPHALT, OR BRUSHED CONCRETE. GRADES 15% OR GREATER SHALL BE LIMITED TO 150 FEET IN LENGTH WITH A MINIMUM OF 500 FEET BETWEEN THE NEXT SECTION. FOR ROADS APPROVED LESS THAN 20 FEET, 20 FEET WIDE TURNOUTS SHALL BE ON EACH SIDE OF 15% OR GREATER SECTION. NO GRADES OVER 20%. (PLAN AND PROFILE REQUIRED CFC 503)

14: "NO PARKING - FIRE LANE" SIGNS SHALL BE PROVIDED ON BOTH SIDES OF ROADS 20 TO 26 FEET WIDE AND ON ONE SIDE OF ROADS 26 TO 32 FEET WIDE. CFC D103.6

15: FIRE HYDRANT: AS PER 2013 CFC, APPENDIX B AND C, A FIRE DISTRICT APPROVED FIRE HYDRANT (CLOW 360) MUST BE LOCATED WITHIN 500 FEET OF THE PROPOSED SINGLE-FAMILY DWELLING UNIT MEASURED BY WAY OF DRIVABLE ACCESS. AS PER 2013 CFC, APPENDIX B, THE HYDRANT/STANDPIPE MUST PRODUCE A MINIMUM FIRE FLOW OF 1,000 GALLONS PER MINUTE AT 20 POUNDS PER SQUARE INCH RESIDUAL PRESSURE FOR 2 HOURS. CONTACT THE LOCAL WATER PURVEYOR FOR WATER FLOW DETAILS. (THE APPLICANT SHALL PROVIDE DOCUMENTATION INCLUDING HYDRANT LOCATION, MAIN SIZE AND FIRE FLOW REPORT AT THE BUILDING PERMIT APPLICATION STAGE AND SENT TO SAN MATEO COUNTY FIRE/CAL FIRE OR COASTSIDE FIRE DISTRICT. IF THERE IS NOT A HYDRANT WITHIN 500 FEET WITH THE REQUIRED FLOW, ONE WILL HAVE TO BE INSTALLED AT THE APPLICANT'S EXPENSE. INSPECTION REQUIRED PRIOR TO THE FIRE'S FINAL APPROVAL OF THE BUILDING PERMIT OR BEFORE COMBUSTIBLES ARE BROUGHT ON SITE).

16: THE REQUIRED FIRE FLOW SHALL BE AVAILABLE FROM A COUNTY STANDARD UET BARREL FIRE HYDRANT. THE CONFIGURATION OF THE HYDRANT SHALL HAVE A MINIMUM OF ONE EACH 4 1/2" OUTLET AND ONE EACH 2 1/2" OUTLET LOCATED NOT MORE THAN 250 FEET FROM THE BUILDING MEASURED BY WAY OF APPROVED DRIVABLE ACCESS TO THE PROJECT SITE.

A: VEGETATION MANAGEMENT: THE COASTSIDE FIRE DISTRICT ORDINANCE 2016-01, THE 2013 CALIFORNIA FIRE CODE AND PUBLIC RESOURCES CODE 4291. A FUEL BREAK OF DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE IN SRA (STATE RESPONSIBLE AREA) THE FUEL BREAK IS 100 FEET OR TO THE PROPERTY LINE.

B: TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 TO 10 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10 FEET TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.

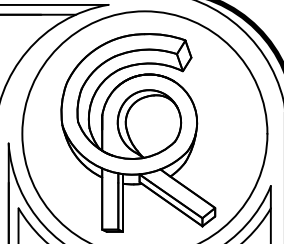
C: REMOVE THAT PORTION OF ANY EXISTING TREE, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5 FEET OF ANY STRUCTURE.

D: THE INSTALLATION OF AN APPROVED SPARK ARRESTER IS REQUIRED ON ALL CHIMNEYS - EXISTING AND NEW. SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12-GAUGE USA STANDARD WIRE HAVING OPENINGS NOT EXCEEDING 1/2".....NOTE: NO FIREPLACE FOR THIS DESIGN.

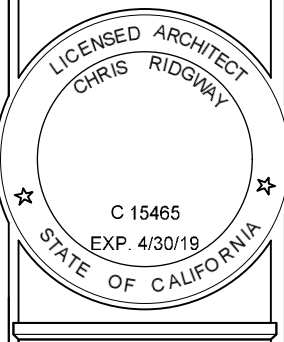
E: A FUEL BREAK OR DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES, EXISTING AND NEW, TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES.

F: TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10' TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.

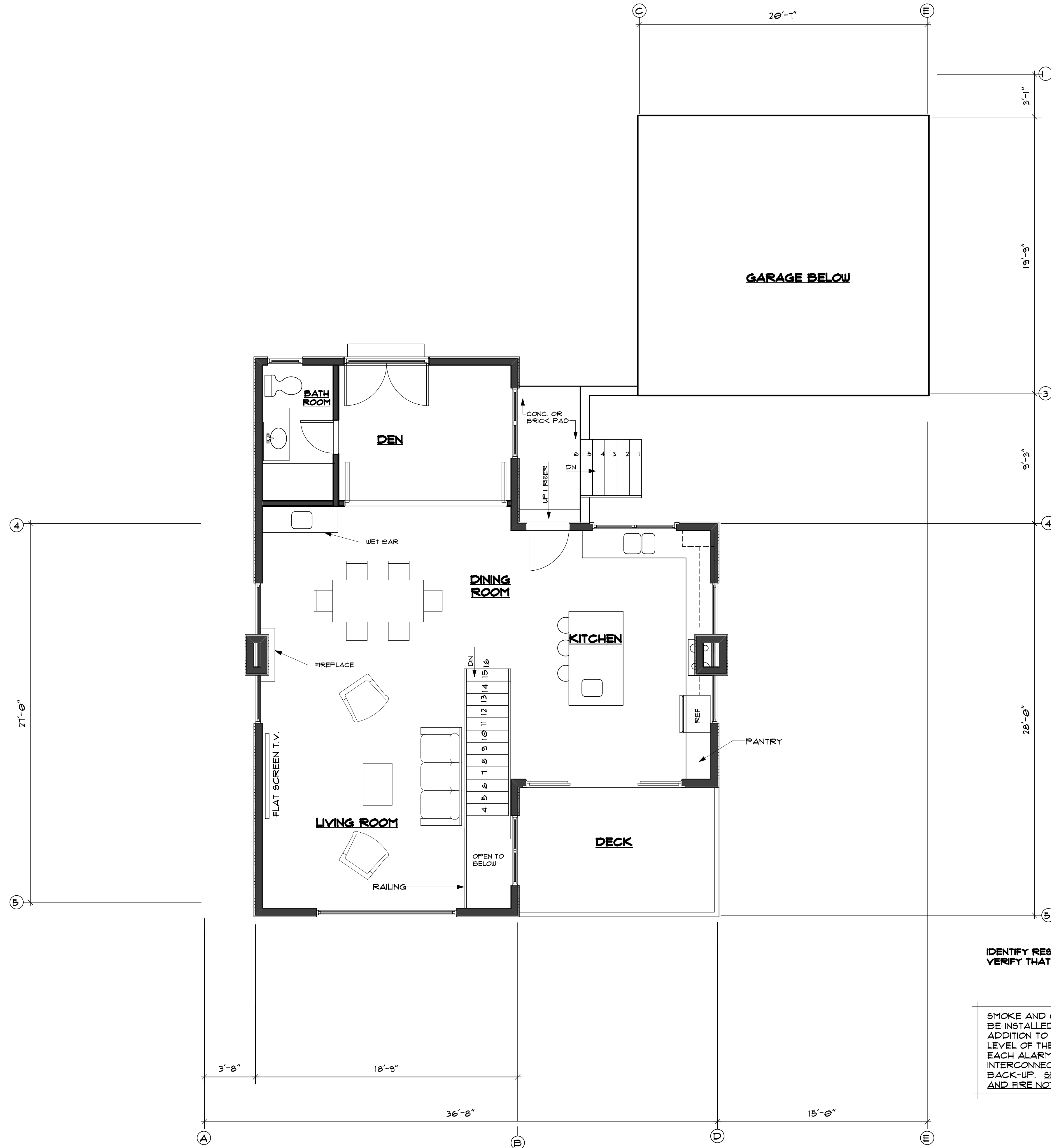
G: REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5' OF ANY STRUCTURE. REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5' OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD



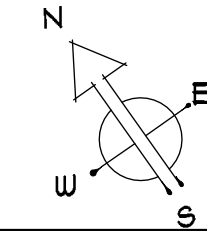
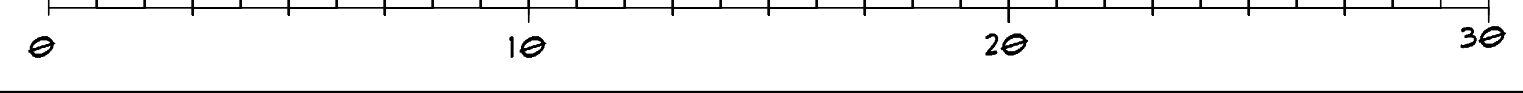
CHRIS RIDGWAY ARCHITECT, INC.
 6110 POPLAR STREET, HALF MOON BAY, CA. 94019
 PH: 650.627.6301 WEB SITE: CRARCHITECT.NET
 EMAIL: CRARCHITECT@COASTSIDENET



NEW RESIDENCE FOR:



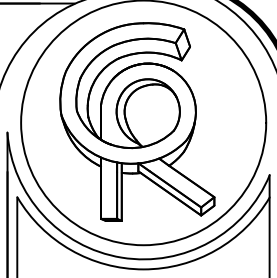
2ND FLOOR PLAN



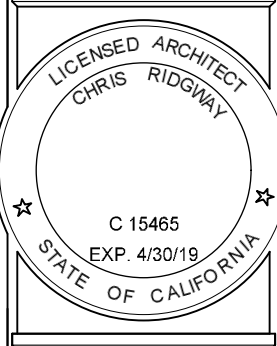
IDENTIFY RESCUE WINDOWS IN EACH BEDROOM & VERIFY THAT THEY MEET ALL REQUIREMENTS

SMOKE AND CARBON MONOXIDE ALARMS TO BE INSTALLED IN EACH SLEEPING ROOM IN ADDITION TO THE CORRIDORS AND ON EACH LEVEL OF THE RESIDENCE. FURTHERMORE, EACH ALARM MUST BE HARDWIRED, INTERCONNECTED AND EQUIPPED WITH BATTERY BACK-UP. SEE ELECTRICAL PLANS FOR LAYOUT AND FIRE NOTES ON SHEET A1.2.

Attachment C



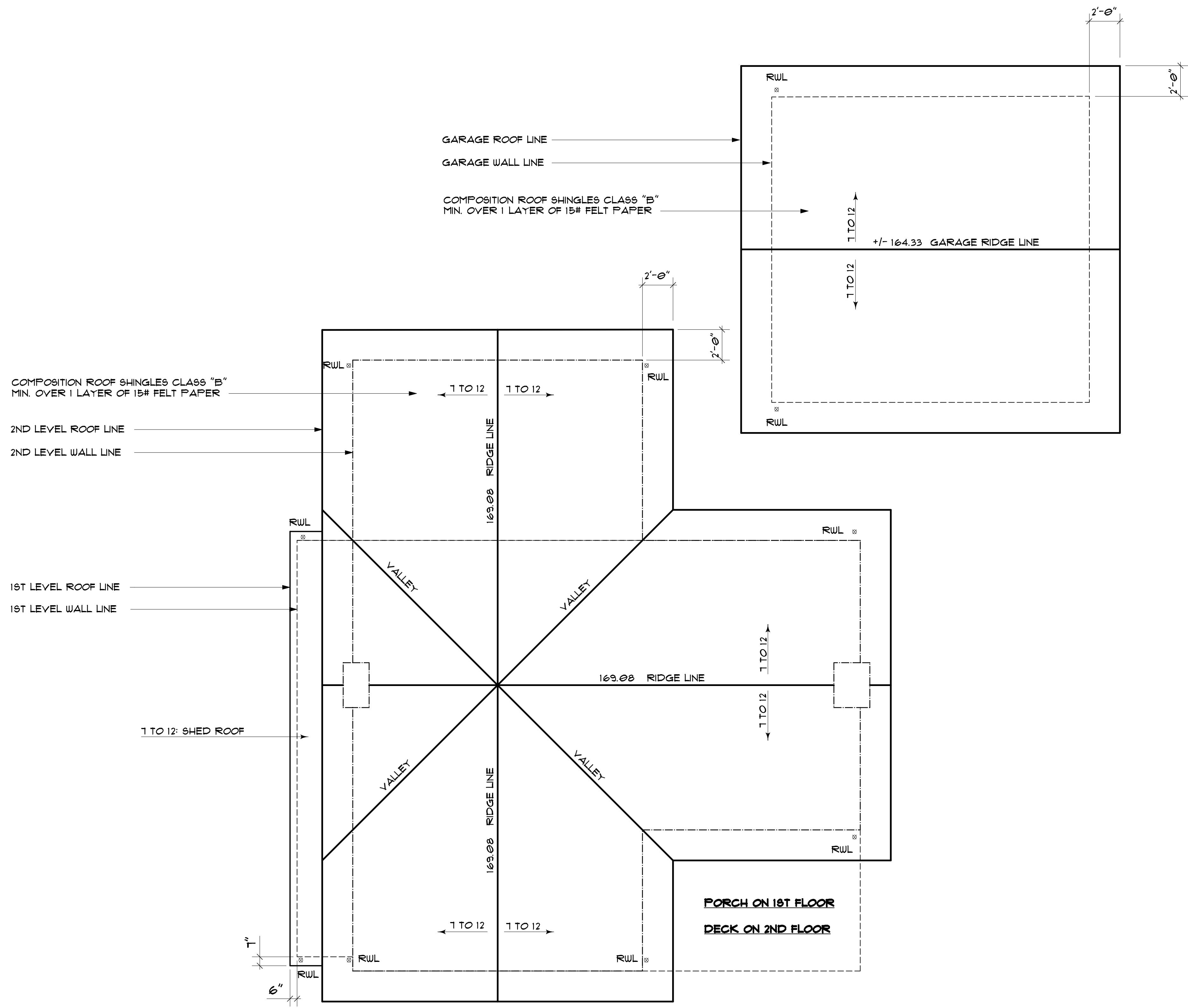
CHRIS RIDGWAY ARCHITECT, INC.
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 PH: 650.622.6301 WEB SITE: CRARCHITECT.NET
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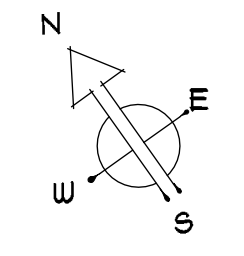
NEW RESIDENCE FOR:
LI - XUE - JIA
 ADDRESS: SAN CARLOS AVE., EL GRANADA, CA
 A.P.N. 041-111-270

JOB #
1608
 SCALE
AS NOTED
 DATE
03/08/11

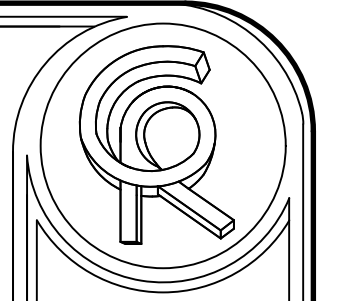
SHEET
A2.2



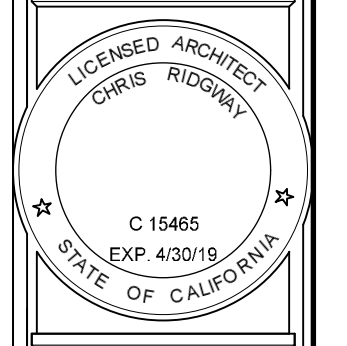
ROOF PLAN
 SCALE: 1/4" = 1'-0"
 0 10 20 30



Attachment C



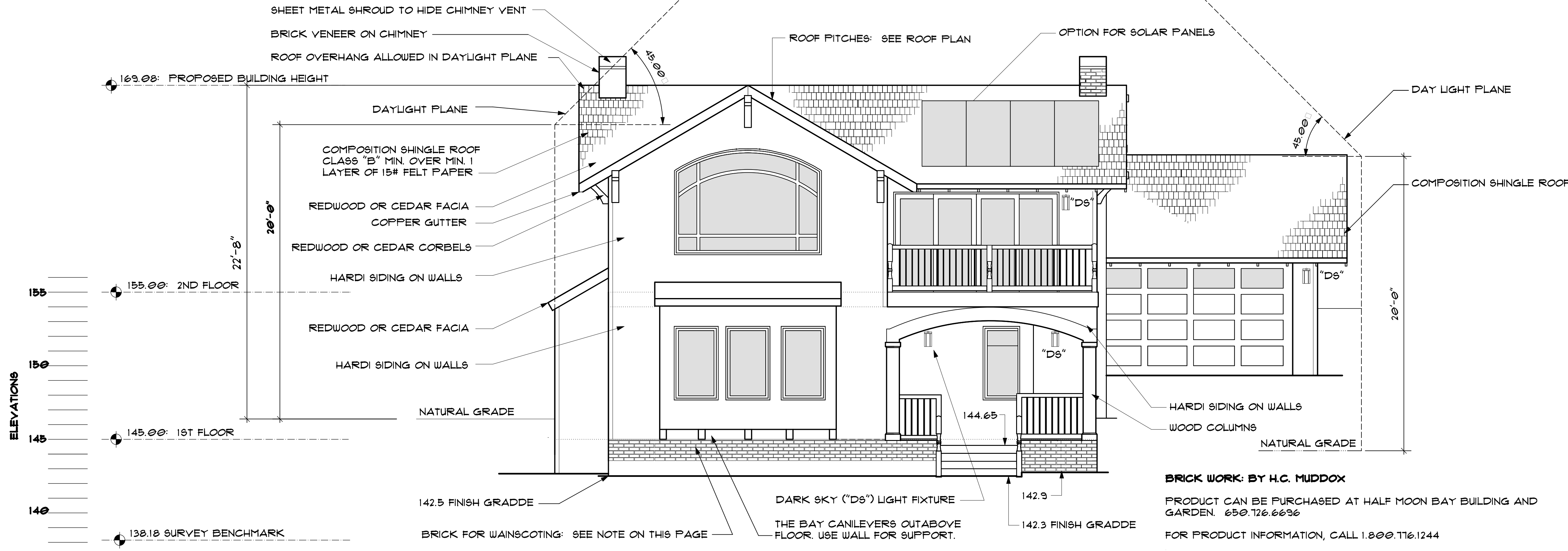
CHRIS RIDGWAY ARCHITECT, INC.
 670 FOPLAR STREET, HALF MOON BAY, CA 94019
 PH: 650.622.6301 WEB SITE: CRARCHITECT.NET
 EMAIL: CRARCHITECT@COASTSIDE.NET



NEW RESIDENCE FOR: A.P.N. 04T-111-270
LI - XUE - JIA
 ADDRESS: SAN CARLOS AVE., EL GRANADA, CA

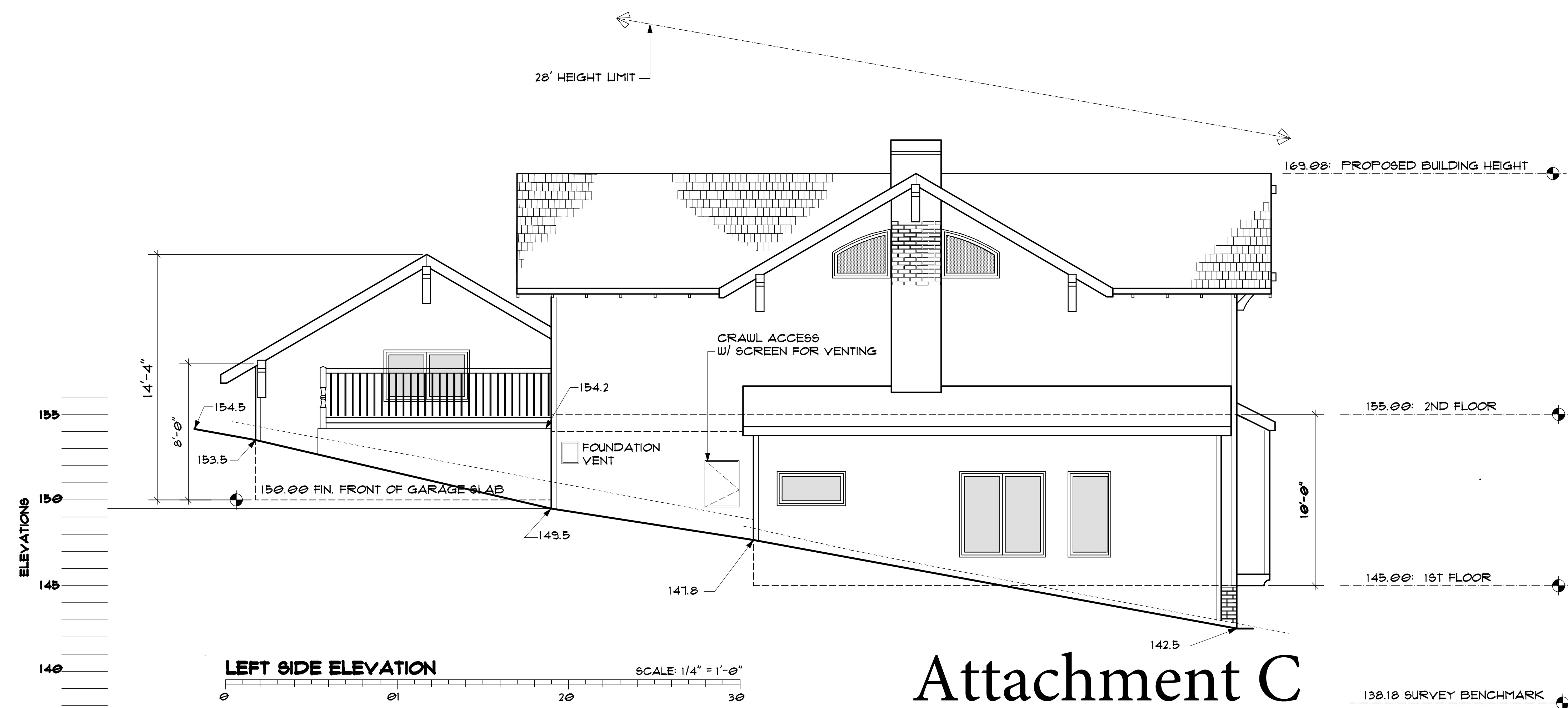
JOB #
 1608
 SCALE
 AS NOTED
 DATE
 03/08/17

SHEET
A2.3



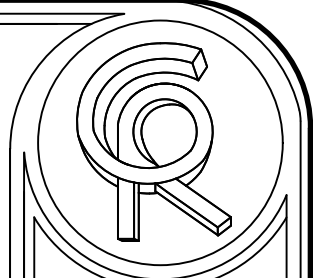
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

BRICK WORK: BY H.C. MUDDOX
 PRODUCT CAN BE PURCHASED AT HALF MOON BAY BUILDING AND GARDEN. 650.726.6696
 FOR PRODUCT INFORMATION, CALL 1.800.716.1244
 "OLD SACRAMENTO BLEND" VENEER BRICK 2 1/2" X 8" RESIDENTIAL BRICK STANDARD FOR FIREPLACE CHIMNEY. (THIS BRICK COMES IN L SHAPED CORNER PIECES)
 "OLD SACRAMENTO BLEND" FULL BRICK 2 1/2" X 8" X 3 3/4" OLD WORLD SERIES FOR WAINSCOTING AND STAIRS

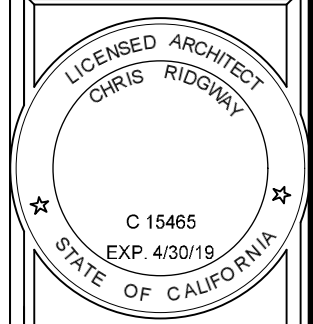


LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

Attachment C



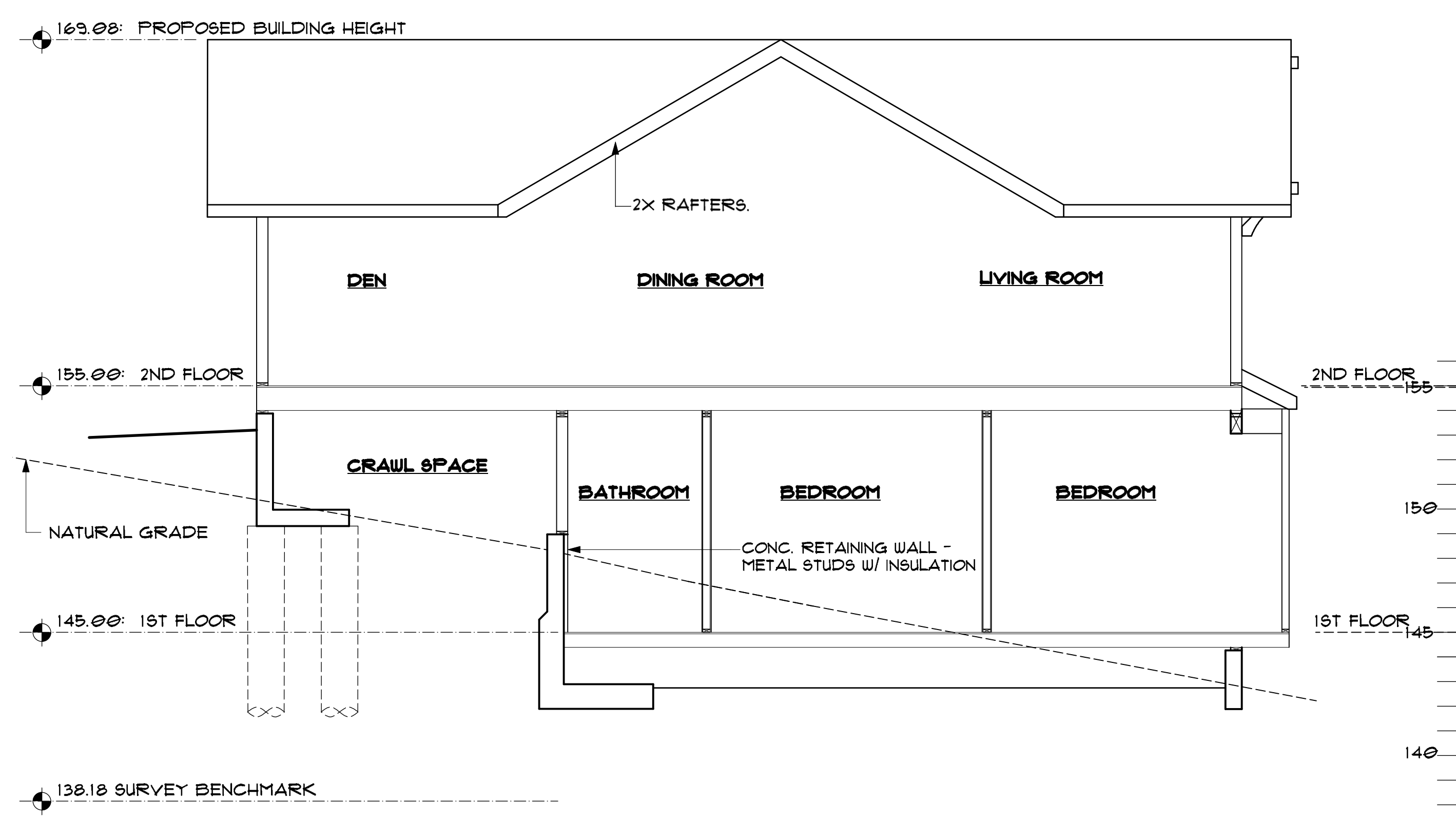
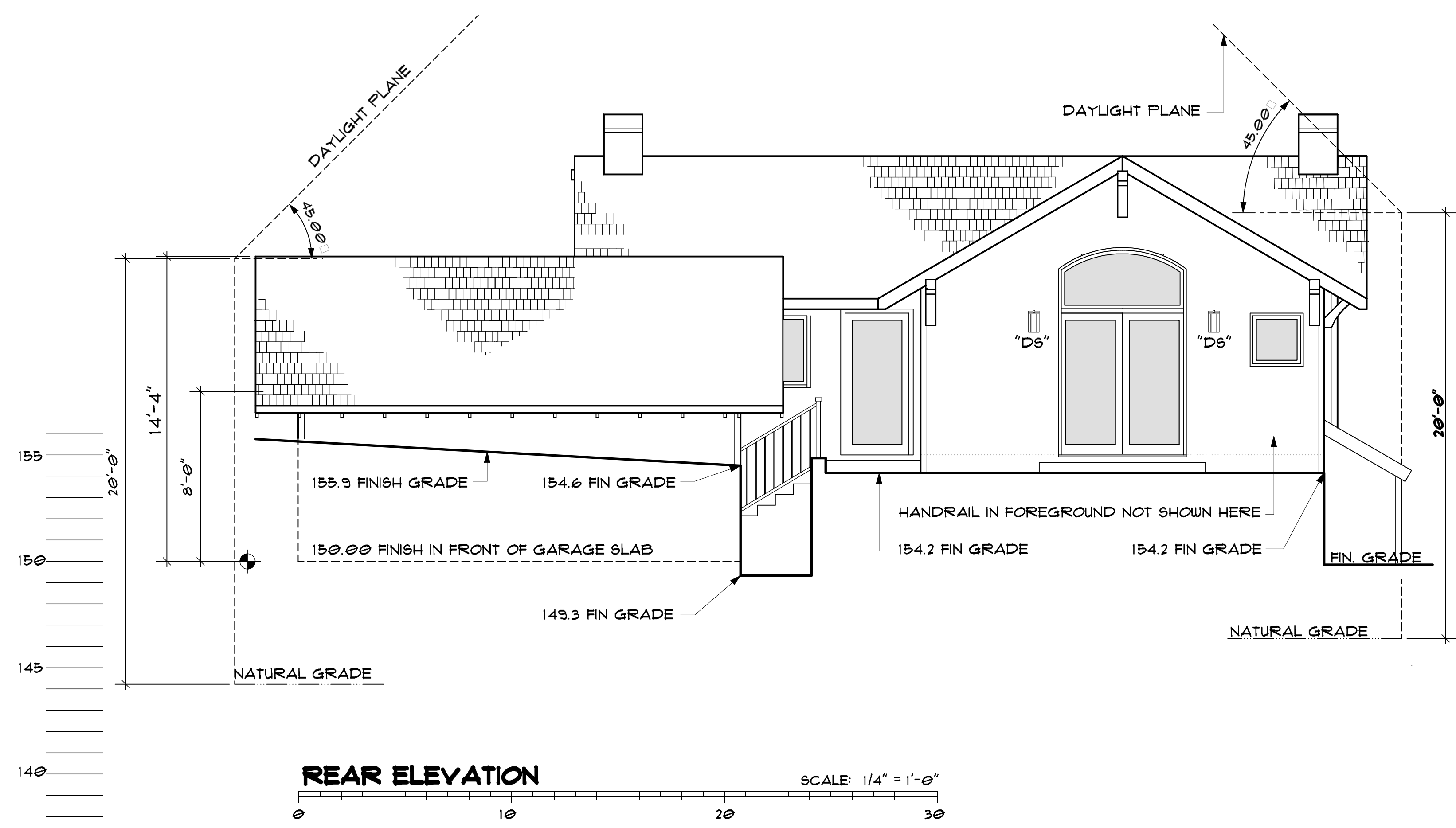
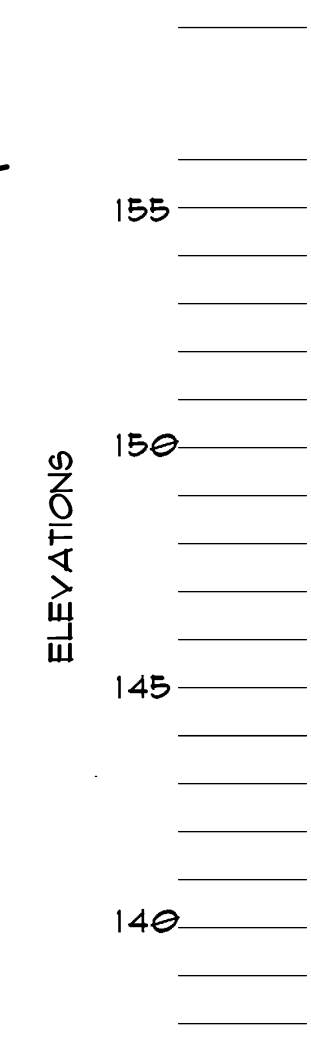
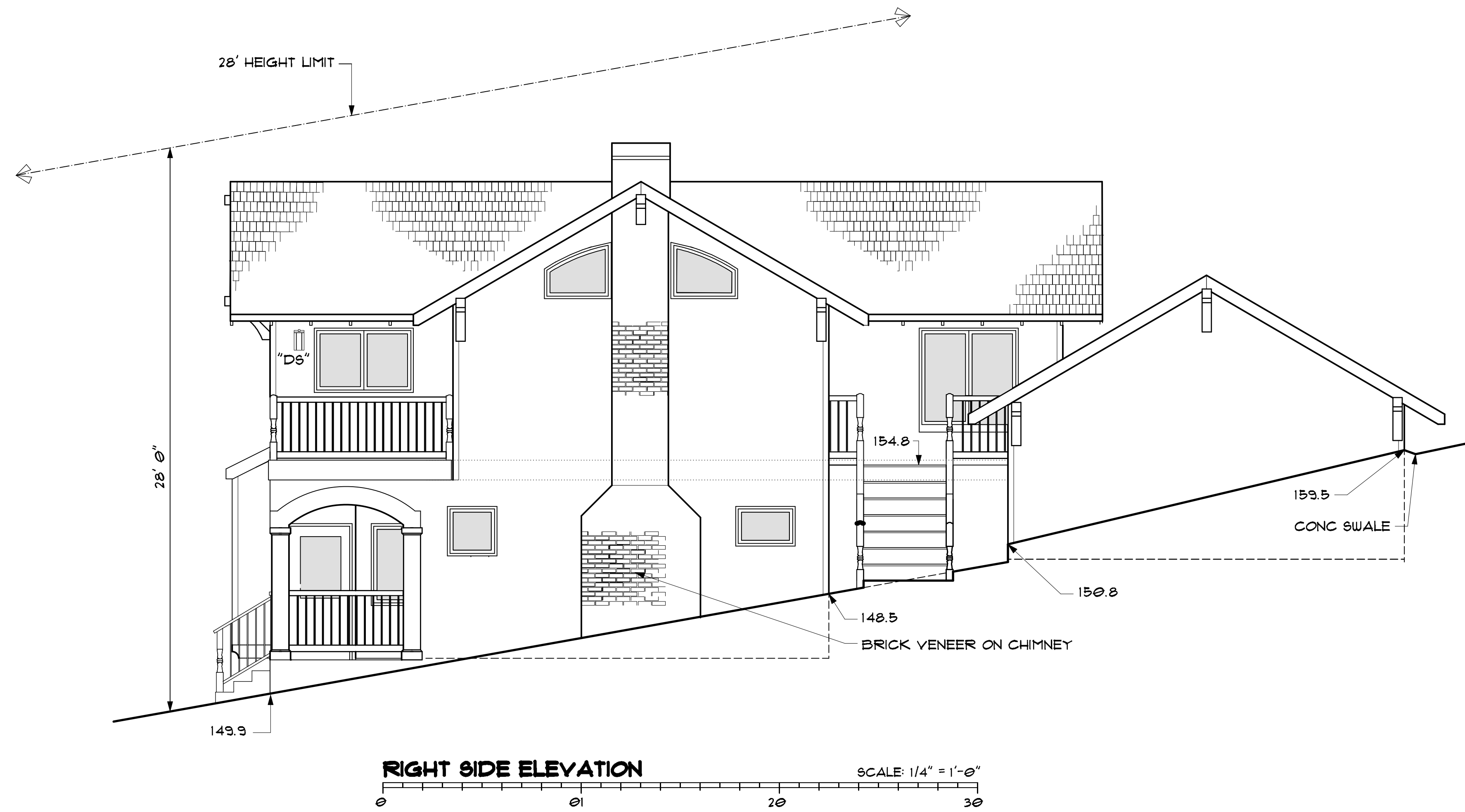
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 PH#: 650.622.6301 WEB SITE: CRARCHITECT.NET
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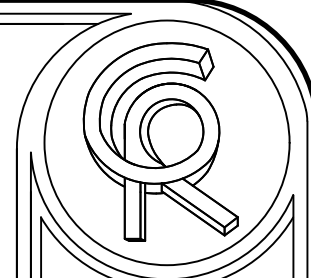
NEW RESIDENCE FOR:
LI - XUE - JIA
 ADDRESS: SAN CARLOS AVE., EL GRANADA, CA
 A.P.N. 041-111-210

JOB #
1608
 SCALE
AS NOTED
 DATE
03/01/17

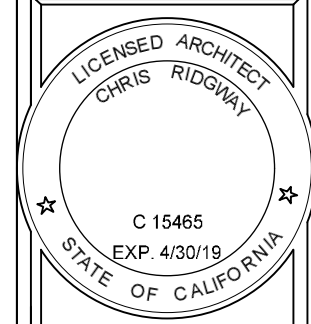
SHEET
A3.1



Attachment C



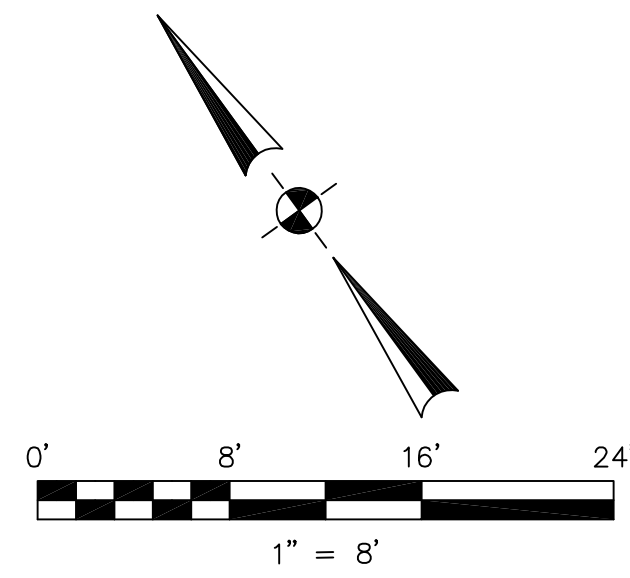
CHRIS RIDGWAY ARCHITECT, INC.
610 POPLAR STREET, HALF MOON BAY, CA 94019
PH#: 650.622.6300 | WEB SITE: CRARCHITECT.NET
EMAIL: CRARCHITECT@COASTSIDE.NET



NEW RESIDENCE FOR:
LI - XUE - JIA
ADDRESS: SAN CARLOS AVE., EL GRANADA, CA

A.P.N. 041T-111-210
JOB # 1608
SCALE AS NOTED
DATE 03/09/11

SHEET
A3.2



BASIS OF BEARINGS

BEARINGS SHOWN HEREON TAKEN FROM THE RECORD OF SURVEY BY TURNROSE LAND SURVEYING WHICH WAS FILED FOR RECORD IN VOLUME 31 OF LLS MAPS PAGE 13 ON APRIL 22, 2008, SAN MATEO COUNTY RECORDS.

BENCHMARK

THE DISK IN HANDHOLE AT THE INTERSECTION OF SAN CARLOS AND CARMEL AVENUES ("BM #12" AS SHOWN ON PAGE 9 FROM FIELD BOOK 756-24, SAN MATEO COUNTY SURVEYS). TBM TO USE FOR SITEWORK IS THE MAG NAIL WITH STAINLESS STEEL WASHER WITH AN ELEVATION OF 138.18 FEET.

NOTES:

BGT RELIED UPON AN OLD REPUBLIC TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 0619022548, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

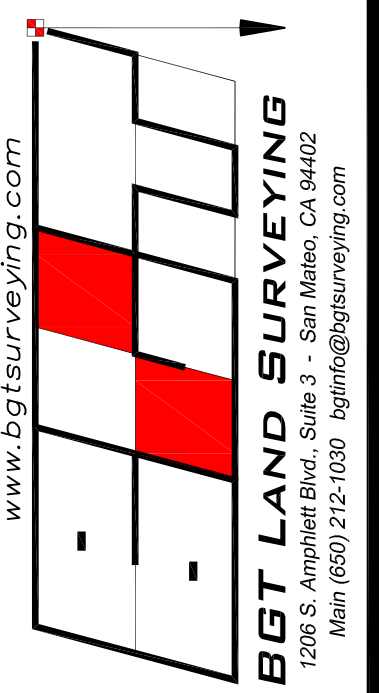
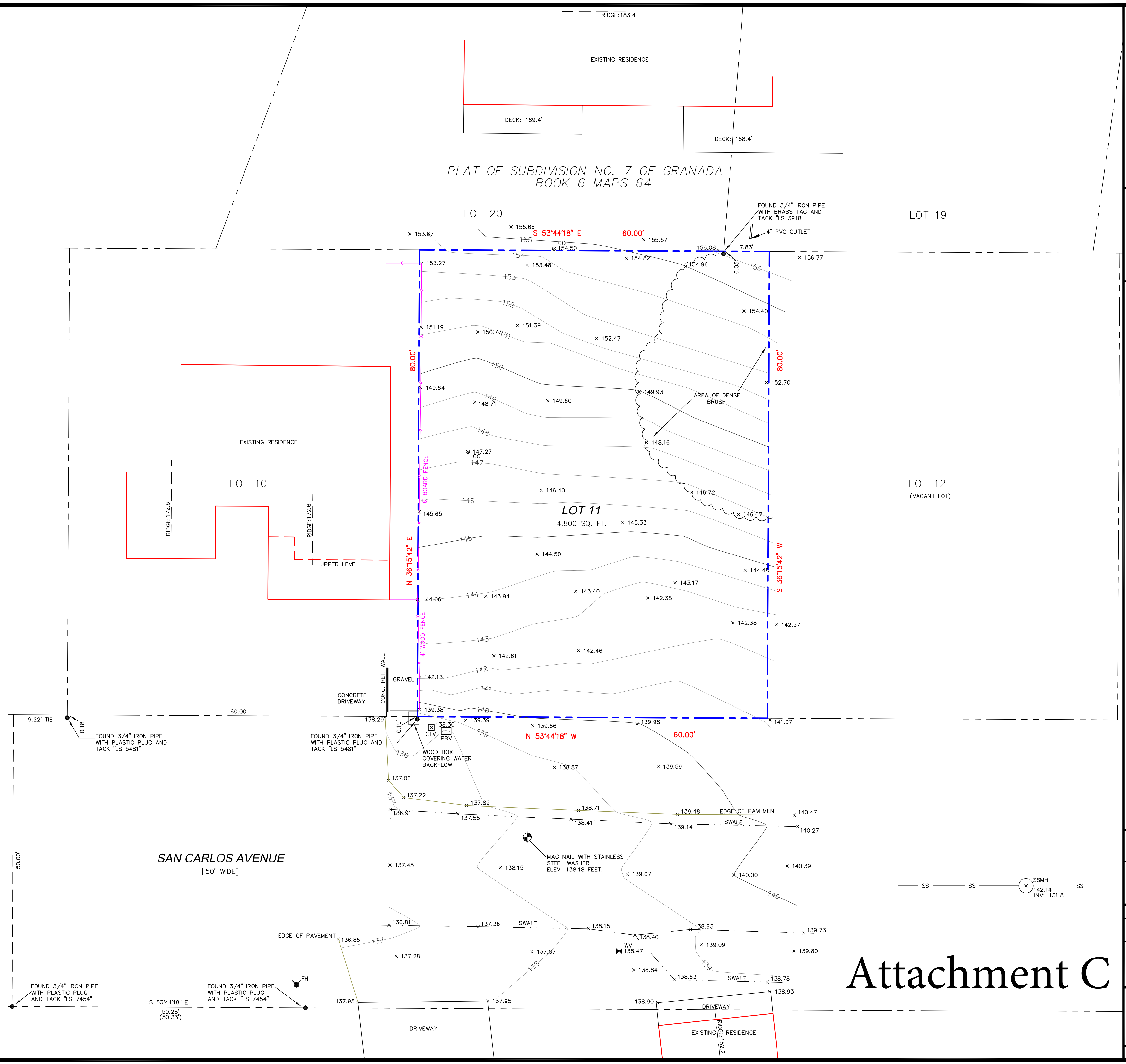
TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtsurveying.com

DATE OF FIELD SURVEY: SEPTEMBER 13, 2016
JOB NUMBER: 16-111

LEGEND

- AC ASPHALT CONCRETE
- BW BACK OF WALK
- CB CATCH BASIN
- C/L CENTERLINE
- CMP CORRUGATED METAL PIPE
- CI CAST IRON PIPE
- CO CLEAN OUT BOX
- CP SURVEY CONTROL POINT
- CPP CORRUGATED PLASTIC PIPE
- CTV CABLE TELEVISION LINE
- DI DROP INLET
- EM ELECTRIC METER
- EV ELECTRIC VAULT
- FF FINISHED FLOOR
- FL FLOWLINE
- FH FIRE HYDRANT
- GM GAS METER
- GRD GROUND
- GUY GUY ANCHOR
- GV GAS VALVE
- HCR HANDICAP RAMP
- HVE HIGH-VOLT ELECTRIC
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- KV KILOVOLT
- LAT LATERAL
- LG LIP OF GUTTER
- MH (TYPE UNKNOWN)
- MON-MON MONUMENT TO MONUMENT DISTANCE
- PBV PACBELL/SBC VAULT
- PGE PG&E VAULT
- PIV POST INDICATOR VALVE
- PP POWER POLE
- SDMH STORM DRAIN MANHOLE
- SL STREET LIGHT
- SLB STREET LIGHT BOX
- SLV STREET LIGHT VAULT
- SSMH SANITARY SEWER MANHOLE
- SSV SANITARY SEWER VAULT
- TBC TOP BACK OF CURB
- TBM TEMPORARY BENCHMARK
- TS TRAFFIC SIGNAL
- TSB TRAFFIC SIGNAL BOX
- UNK UNKNOWN TYPE
- VCP VITRIFIED CLAY PIPE
- WBF WATER BACK FLOW VALVE
- WM WATER METER BOX
- WV WATER VALVE
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- OH- OVERHEAD LINE
- SD- STORM DRAIN LINE
- SS- SANITARY SEWER LINE
- T- TELEPHONE LINE
- W- WATER LINE

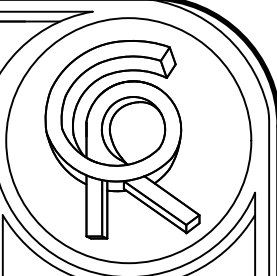


BOUNDARY AND TOPOGRAPHIC SURVEY
 LOT 11, BLOCK 76, "PLAT OF RESUBDIVISION NO. 7 OF GRANADA" (BOOK 6 MAPS 64)
 VACANT LOT, SAN CARLOS AVENUE
 EL GRANADA, COUNTY OF SAN MATEO, CALIFORNIA

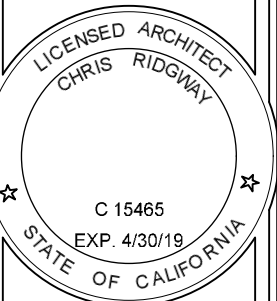
Assessor Parcel Number:	047-111-270
Prepared For:	BIN LI 41668 JOYCE AVENUE FREMONT, CA 94539
Date:	SEPT. 2016
Scale:	1" = 8'
Contour Interval:	1'
Drawn by:	LHL
Revisions:	
Job No.	16-111

Attachment C

SU-1



CHRIS RIDGWAY ARCHITECT, INC.
 6710 POPULAR STREET, HALF MOON BAY, CA 94019
 PH: 650.622.6901 WEB SITE: CRARCHITECT.NET
 EMAIL: CRARCHITECT@COMCASTBIDE.NET

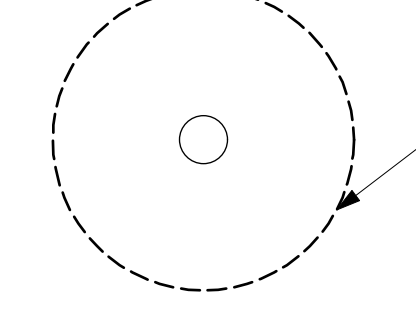


NEW RESIDENCE FOR: A.P.N. 041-111-210
L - XUE - JIA
 ADDRESS: SAN CARLOS AVE., EL GRANADA, CA

JOB # 1608
 SCALE AS NOTED
 DATE 03/08/17

SHEET L91

(E) TREE ON THE ADJACENT PROPERTY TO BE PROTECTED DURING CONSTRUCTION. SEE "TREE PROTECTION DETAIL" ON SHEET L82



CONC PAVERS OR FLAGSTONE

Because of the existing conifer tree on the neighboring property this area is shady and has acidic soil. Plants are selected that do well on this "forest floor".

IRRIGATION DRIP SYSTEM WITH 3 EMITTERS ON A CIRCLE OF TUBING

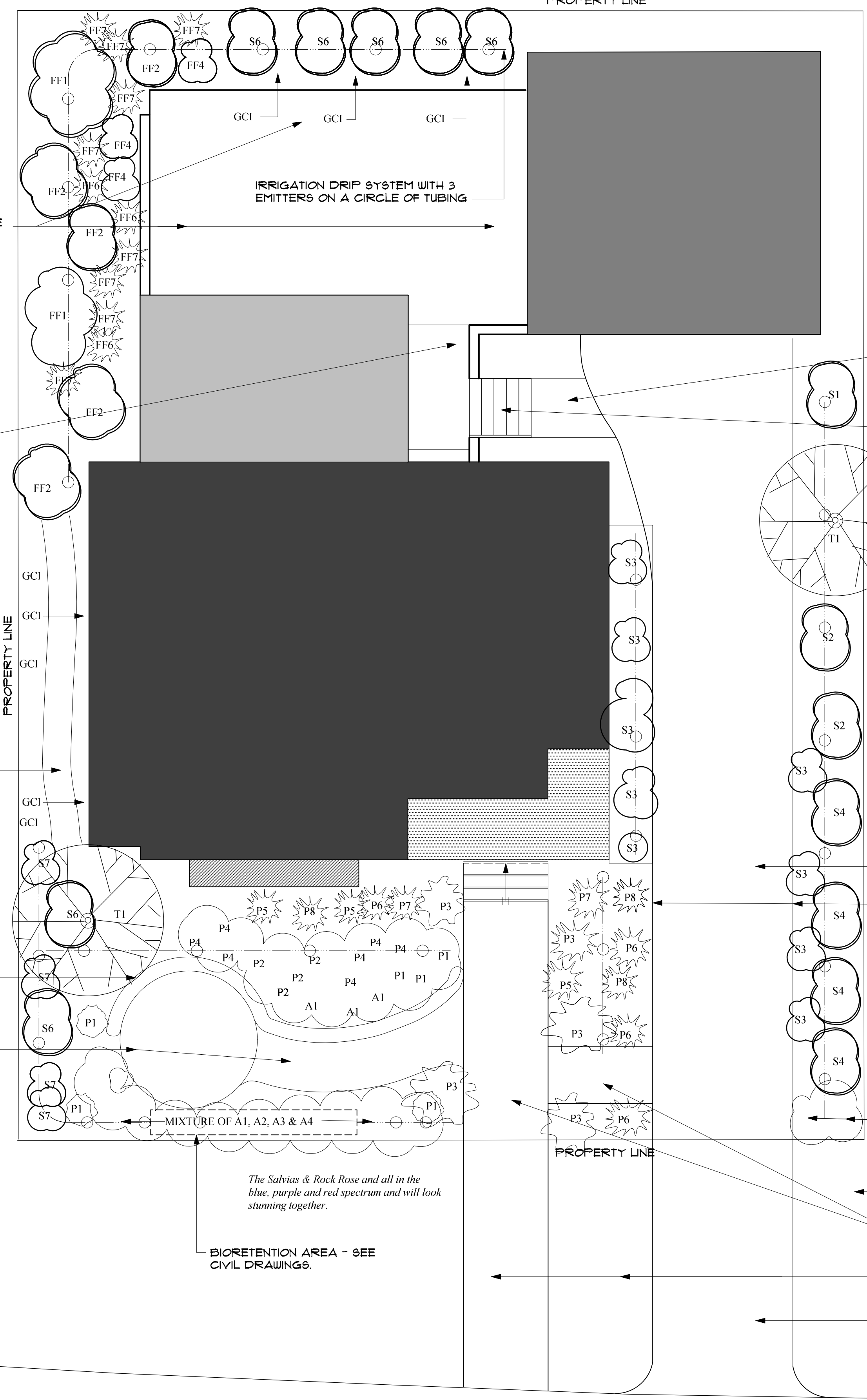
CONCRETE PATIO

CONC PAVERS OR FLAGSTONE PATH

INSTALL DRIP IRRIGATION SYSTEM

DRYSTACKED ROCK RET. WALL APPROX 16" TALL

CONC PAVERS OR FLAGSTONE



IRRIGATION DRIP SYSTEM WITH 3 EMITTERS ON A CIRCLE OF TUBING

CONCRETE PATH & EXPOSE THE FEA GRAVEL AGGREGATE ON SURFACE OR USE FLAGSTONE

STAIRS IN CONCRETE AND CLAD WITH SOLID BRICKS

ASHALT DRIVEWAY

EDGE OF PAVEMENT

The flowers selected attracts humming birds and butterflies.

INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR (4) CUBIC PER 1,000 SQ. FT. TO A DEPTH OF 12 INCHES INTO LANDSCAPE AREA

REMOVE EXISTING DENSE BRUSH THERE ARE NO EXISTING TREES ON THE LOT, THEREFORE NO TREE PLAN IS INCLUDED IN THIS SUBMITTAL

Mixture of A1, A2, A3 & A4

MULCH BETWEEN PLANTS, TYP.

NO LANDSCAPING IN THE PUBLIC RIGHT OF WAY

CONCRETE PATH & STAIRS: EXPOSE THE FEA GRAVEL AGGREGATE ON SURFACE OR USE FLAGSTONE

STEPPING STONE PATH. THESE STEPPING STONES MUST BE REMOVABLE IF PUBLIC WORKS NEEDS TO WORK IN THE THE RIGHT AWAY.

ASHALT DRIVEWAY

STREET

The Salvias & Rock Rose and all in the blue, purple and red spectrum and will look stunning together.

BIORETENTION AREA - SEE CIVIL DRAWINGS.

TREES

T1 *Arbutus marina*, STRAWBERRY TREE. 15'-20' tall. Little water required. Attractive red bark, and clusters of white flower and small red fruit. Makes a good street tree since the roots are not too aggressive. You can see them growing on Main Street in City of Half Moon Bay. Available at Bongard's Nursery. 5 gallon

T2 *Maytenus boaria* "Green showers", CHILEAN MAYTEN TREE. Evergreen. Slow growing to 25'.

SHRUBS

- S1 Ceanothus 'Ray Hartman'. 1 gallon
- S2 Ceanothus, "Darkstar". 1 gallon
- S3 Lantana, montevidensis. 2' tall with trailing branches 3' to 6'. 1 gallon
- S4 Lantana, camara Orange flowers. 5' tall. Full sun. Drought tolerant. 1 gallon
- S6 Escalonia rubra. 10' tall. Clusters of small pink flowers.
- S7 Escalonia Escalloniaceae 'Apple blossom' 5' high and wide. Clusters of small pink flowers.

PERINALS

- P1 *Asclepias fascicularis* "California Narrowleaf Milkweed" This is the plant that Monarch butterflies eat exclusively.
- P2 *Achillea Asteraceae millefolium* "Common Yarrow" Little Water. Full Sun.
- P3 *Cistus x purpureus* "Rockrose" 4' tall and wide. Full sun. Little or no water.
- P4 *Coreopsis grandiflora* Masses of vibrant yellow, semi-double 2 in. flowers from mid spring through early fall. 12" tall. Little water. 1 gallon.
- P5 *Salvia* 'Raspberry Delight', Bush Sage Beautiful flowers, and attracts hummingbirds. 'Raspberry Delight' offers gorgeous raspberry-red flowers over a long season. Blooms from late spring to early fall. Full sun and well-drained soil. Drought tolerant. To 3 feet tall. 1 gallon.
- P6 *Salvia* 'May knight', 'Meadow Sage' Vivid blue flowers from midsummer to early fall. Loved by butterflies and hummingbirds. Full sun and well-drained soil. Drought tolerant. To 28 inches tall. 1 gallon.
- P7 *Salvia pachyphylla*, "Mojave Sage". Beautiful pink blooms that look good well into fall. Even when not in bloom, its gray-green foliage is lovely. Great for hummingbirds and butterflies. Full sun and well-drained soil. Drought resistant. To 3 feet tall. 1 gallon.
- P8 *Salvia mexicana* "Purple Sage". Can be up to 10' tall. Full Sun. Drought tolerant water.

ANNUALS

- A1 *Eschscholzia californica* "California Poppy" Reseeds itself. Drought tolerant.
- A2 *Cosmos bipinnatus*, "Cosmos". Full sun. Moderate water.
- A3 *Centaurea cyanus*, "Bachelor Buttons". Full sun. Little water.
- A4 *Lupinus nanus*, "Sky Lupine". Annual. Native to California coastal areas. 8"-24" tall. Little or no water. Sew seeds in winter.

GROUND COVER

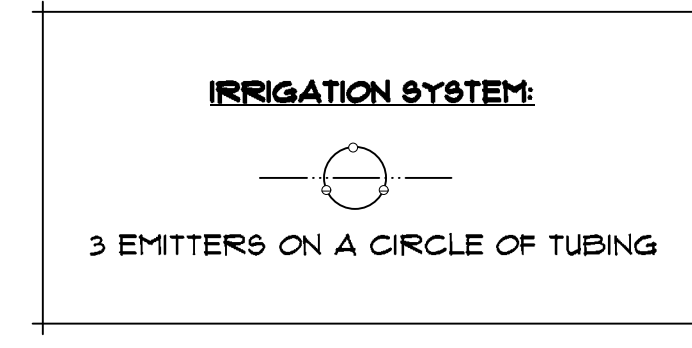
GC1 *Vivca minor*

THIS PROJECT HAS APPROXIMATELY 1,390 SQ. FT. OF LANDSCAPING

INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR (4) CUBIC PER 1,000 SQ. FT. TO A DEPTH OF 6 INCHES INTO LANDSCAPE AREA

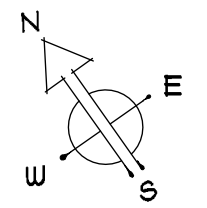
APPLY MULCH AT A MIN. 3-INCH LAYER ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT IN AREAS OF TURF OR CREEPING OR ROOTING GROUNDCOVERS. IT'S FOR MOISTURE RETENTION AND WEED CONTROL.

THERE ARE NO EXISTING TREES ON THE LOT, THEREFORE NO TREE PLAN IS INCLUDED IN THIS SUBMITTAL.

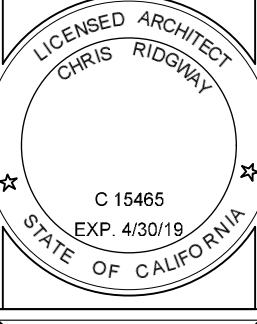
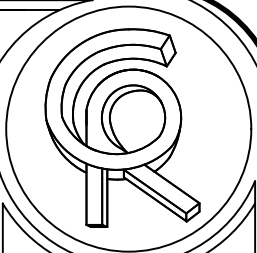


LANDSCAPING PLAN

SCALE: 1/8" = 1'-0"



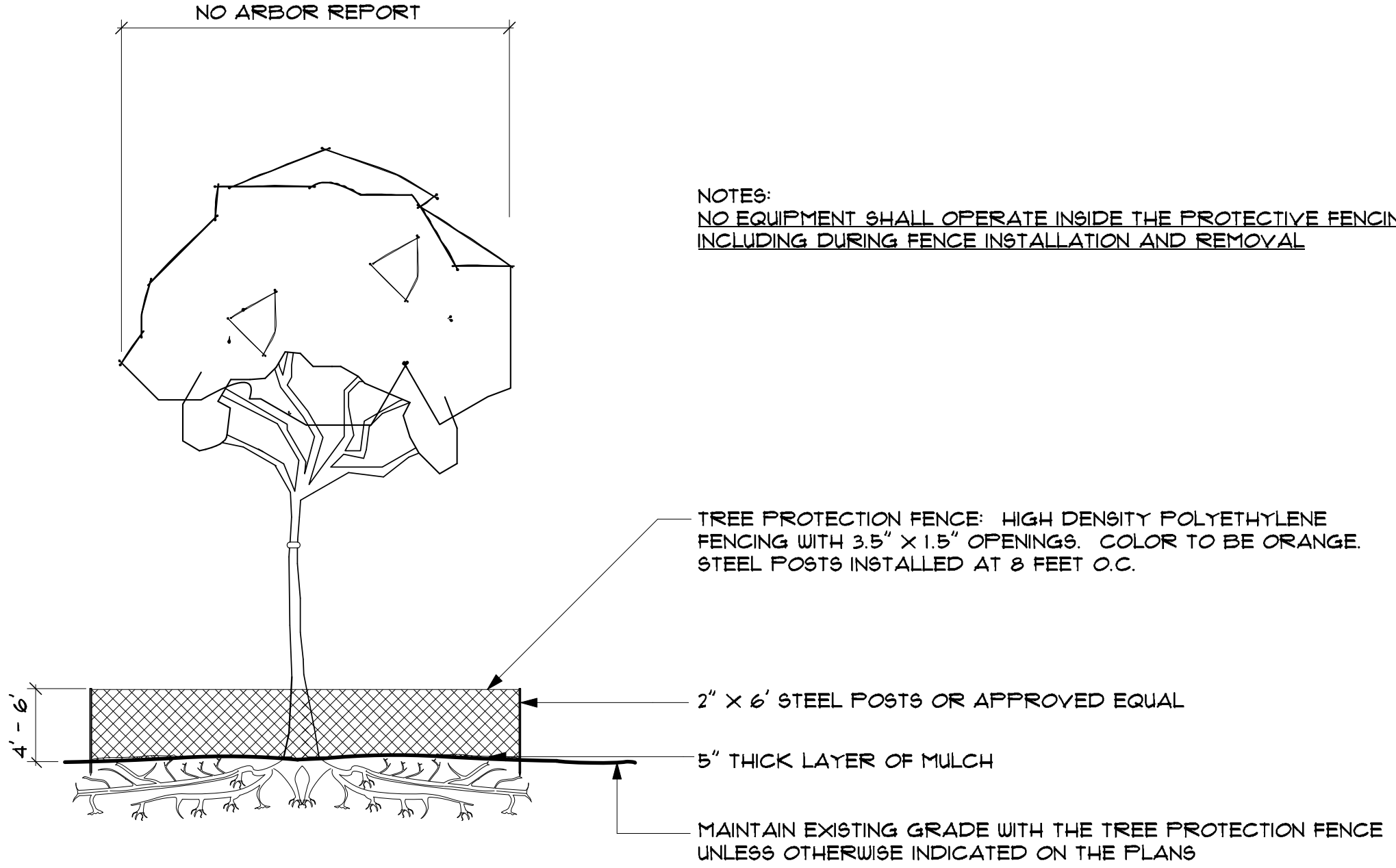
Attachment C



LEGEND

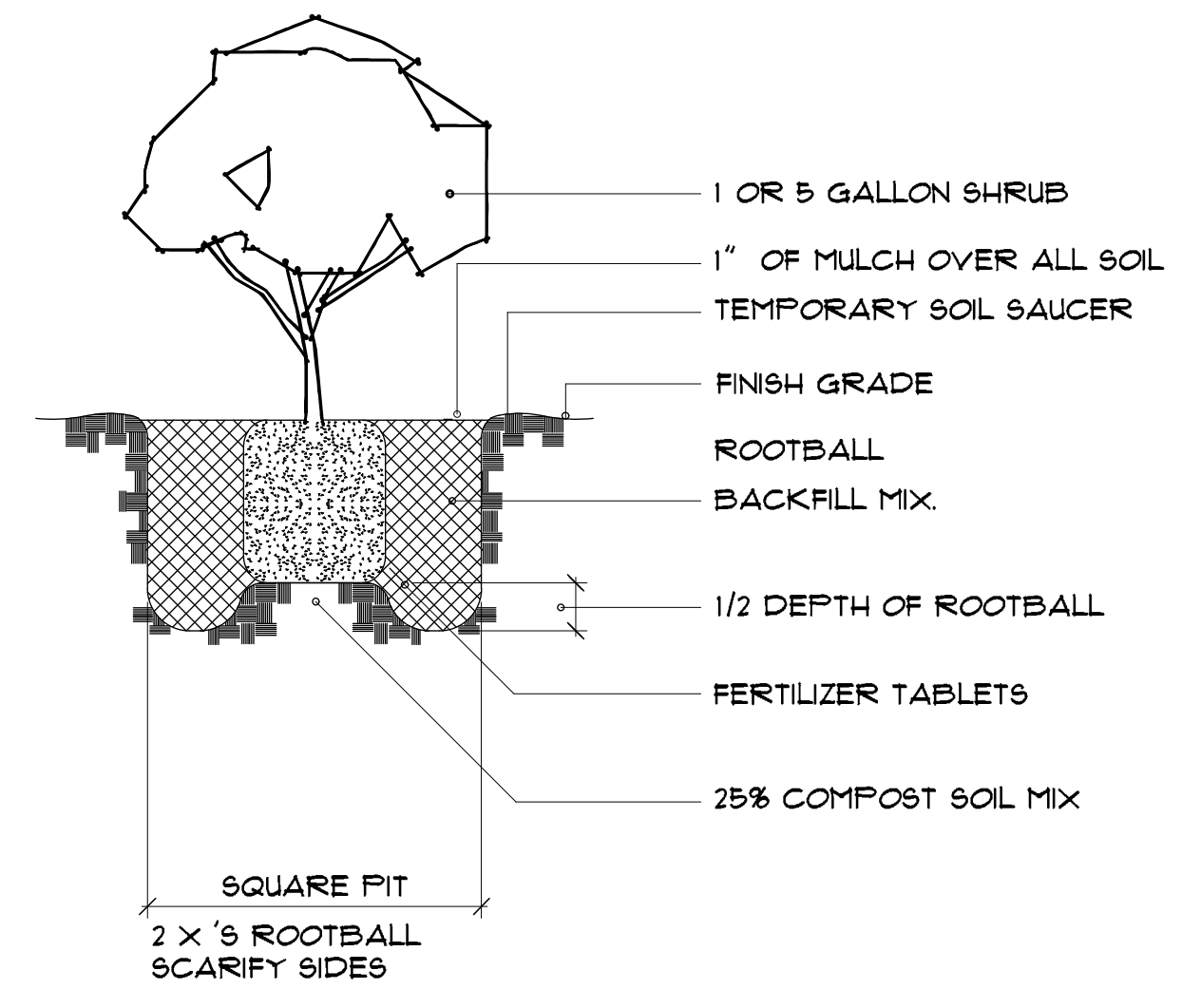
- PROPERTY LINE
- TREE PROTECTION ZONE
- TREE CANOPY TO BE CUT
- TREE CANOPY TO REMAIN

NOTES:
NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL



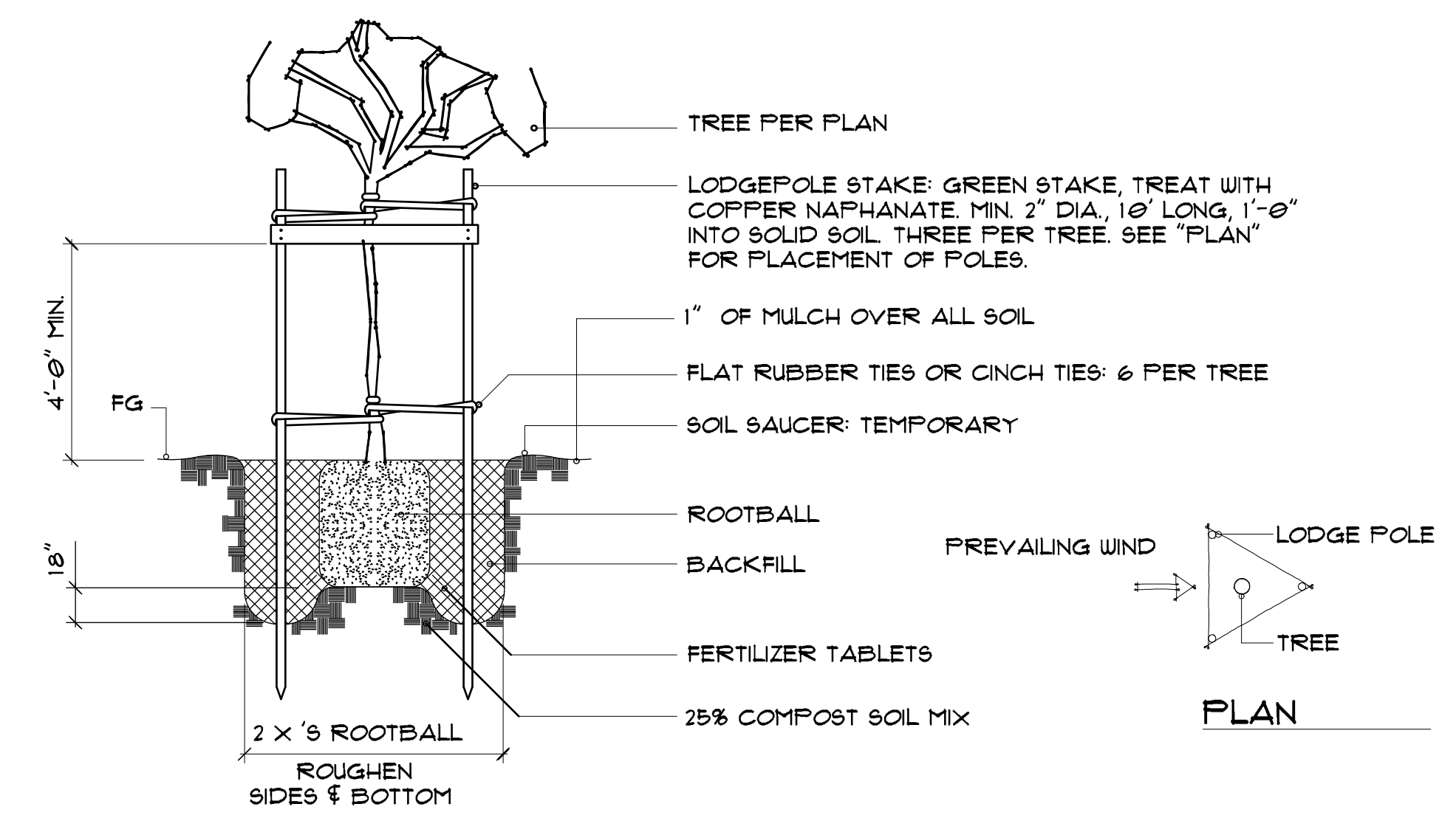
TREE PROTECTION DETAIL

SCALE: NONE



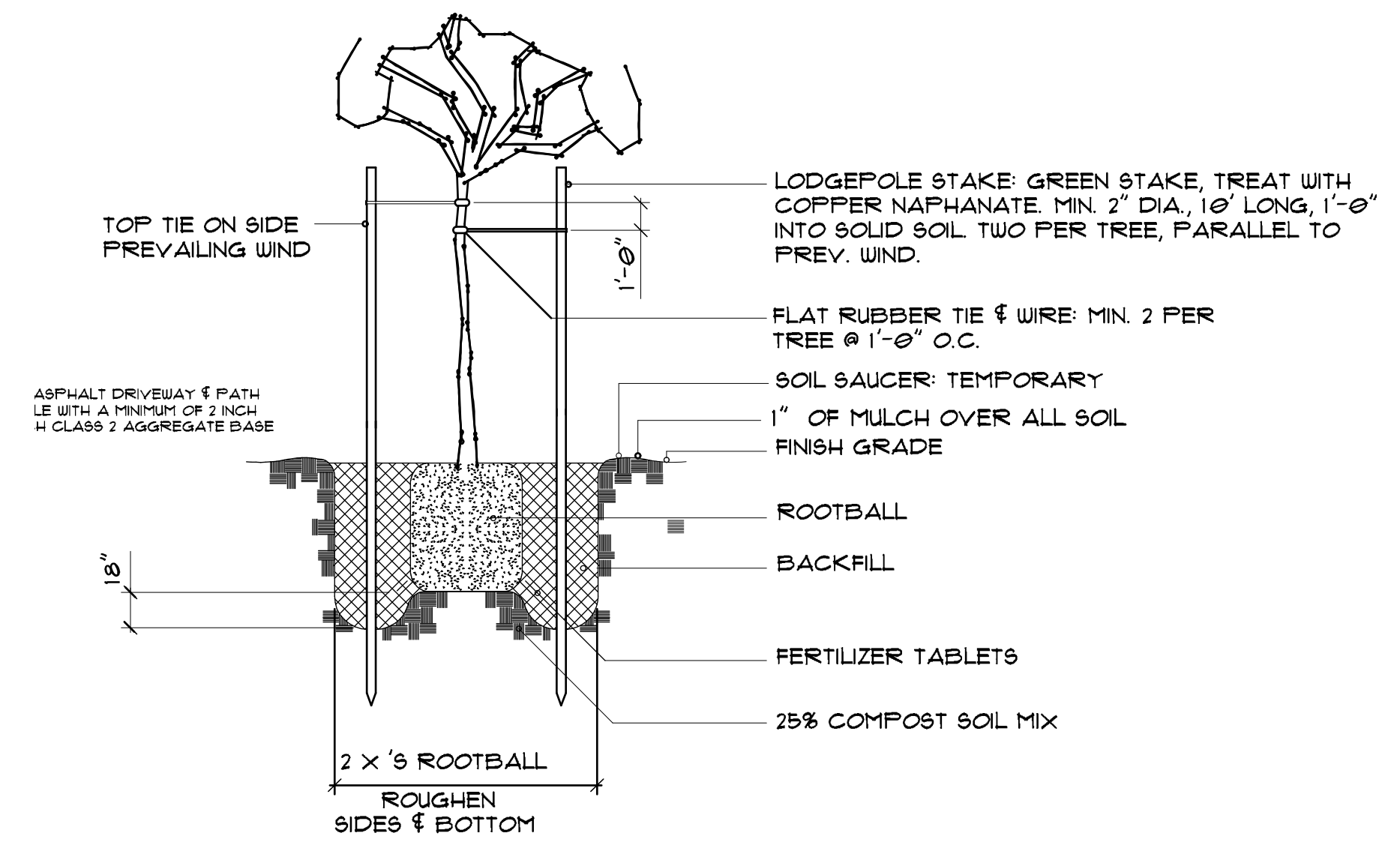
SHRUB PLANTING DETAIL

NOT TO SCALE



BOX TREE STAKING DETAIL

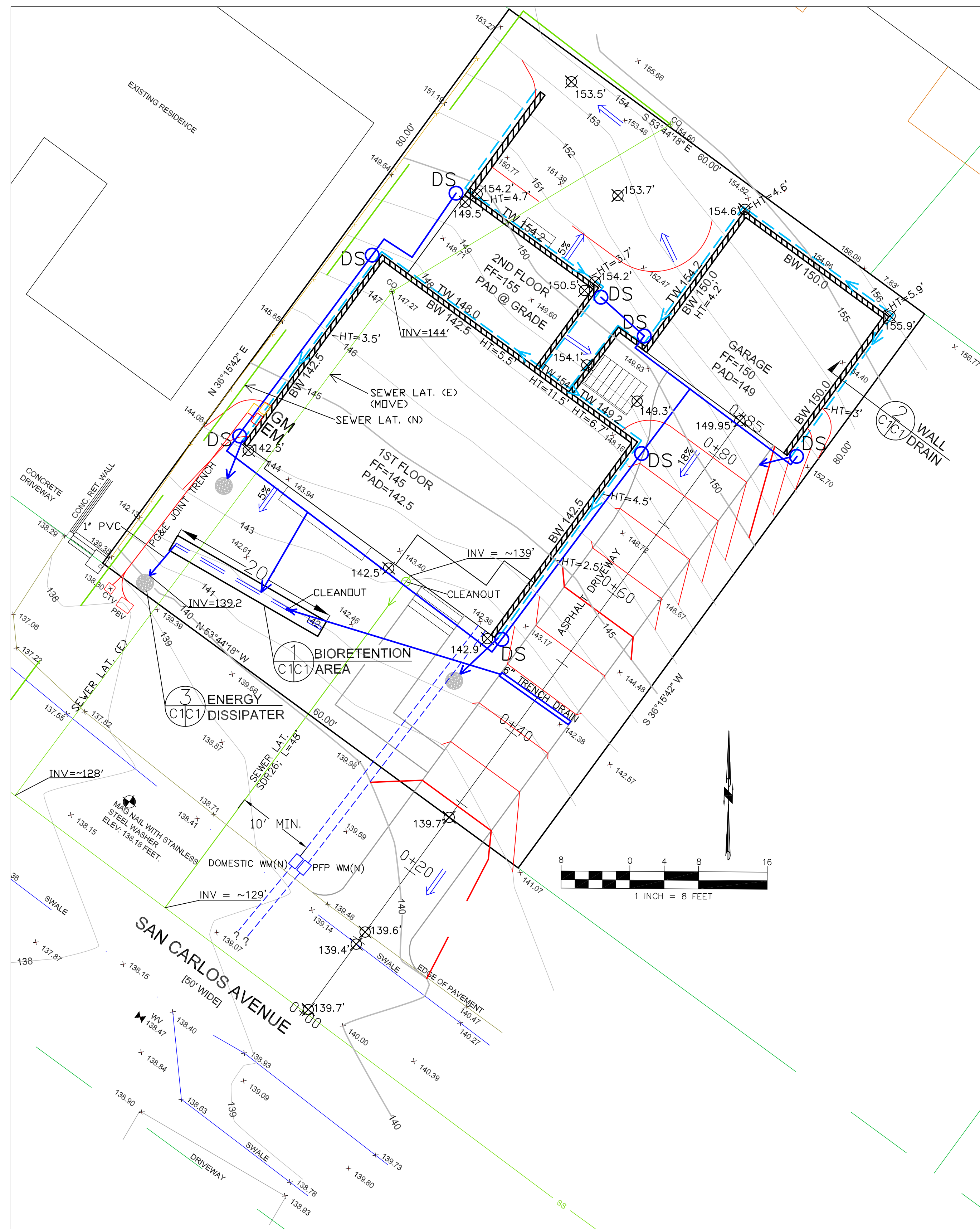
NOT TO SCALE



TREE STAKING DETAIL

NOT TO SCALE

Attachment C



LEGEND

- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- PROPOSED CONTOUR
- SPOT ELEVATION (E)
- SPOT ELEVATION (N)
- SURFACE DRAINAGE FLOW
- DOWNSPOUT
- 3" DIAM. PVC DRAIN PIPE
- 3" PERFORATED PLASTIC DRAIN PIPE, SDR 35 @ 1% MINIMUM SLOPE.
- PROPOSED RETAINING WALL
- ENERGY DISSIPATER - PER DETAIL 3

GENERAL NOTES

1. PLANS PREPARED AT REQUEST OF: BIN LI
2. ELEVATION DATUM: ASSUMED
3. CONTOUR INTERVAL IS 1 FOOT.
4. SITE SURVEYED BY OTHERS; UNKNOWN DATE.
5. THIS IS NOT A BOUNDARY SURVEY.

DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS.
2. ALL ROOF DRAIN LINES SHALL LEAD TO DRY WELL SHOWN.
3. ALL DRAINAGE PIPES SHALL BE 3" MIN. DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE BIORETENTION AREA TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

CUT VOLUME : 195 CY
 FILL VOLUME : 40 CY
 TOTAL CUT/FILL = 235 CY

ABOVE VOLUMES ARE APPROXIMATE AND ARE FOR VERY LITTLE WORK TO BUILD FOUNDATIONS, TO BUILD THE DRIVEWAY, AND TO SLOPE GROUND FOR PROPER DRAINAGE.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

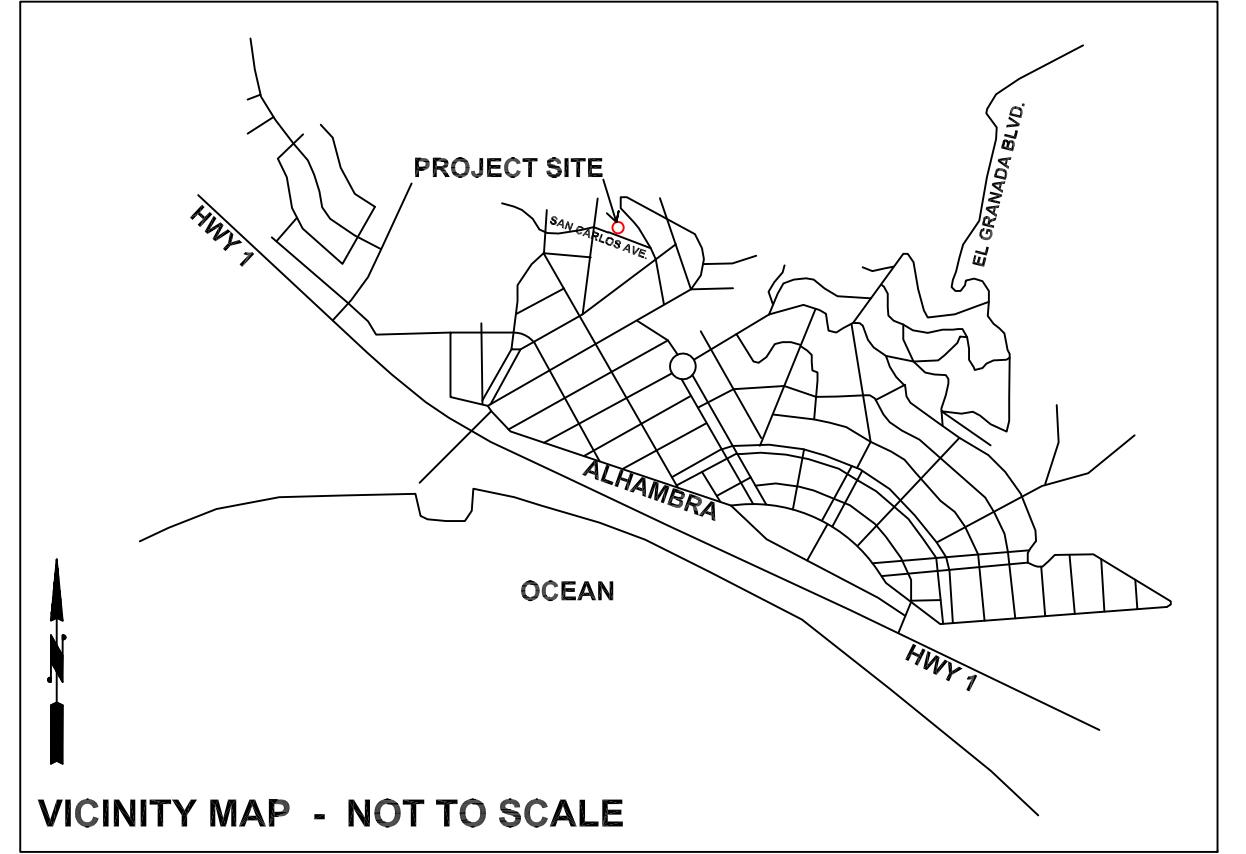
CUT SLOPES SHALL BE NO STEEPER THAN 2:1 (H:V).

TRAFFIC CONTROL NOTES

1. CONTRACTOR AND WORKERS SHALL PARK ALONG SAN CARLOS AVENUE.
2. SAN CARLOS AVENUE IS A CUL-DE-SAC. ROAD SHALL NOT BE BLOCKED.

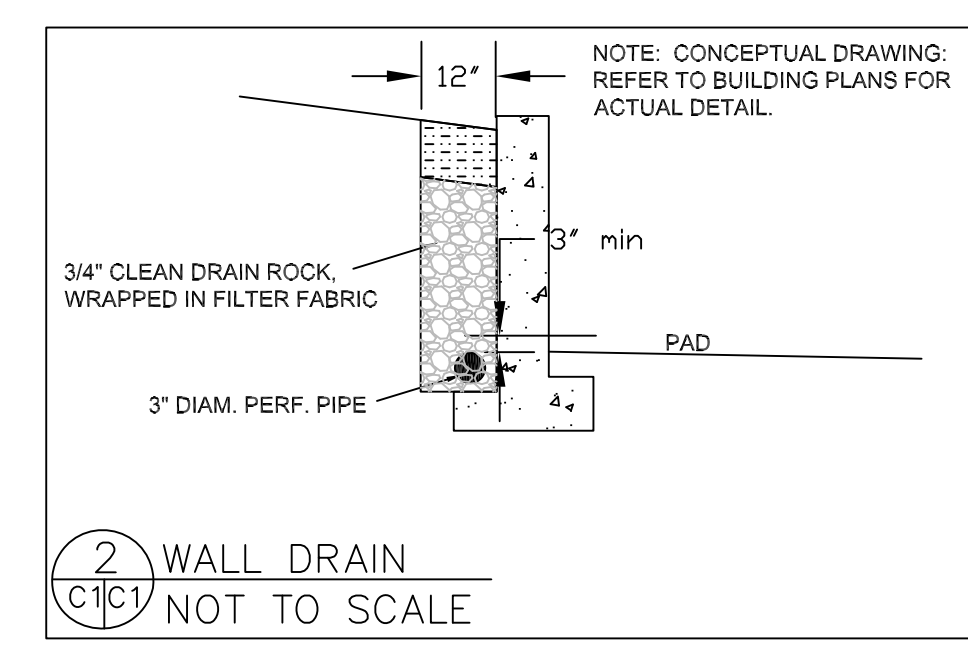
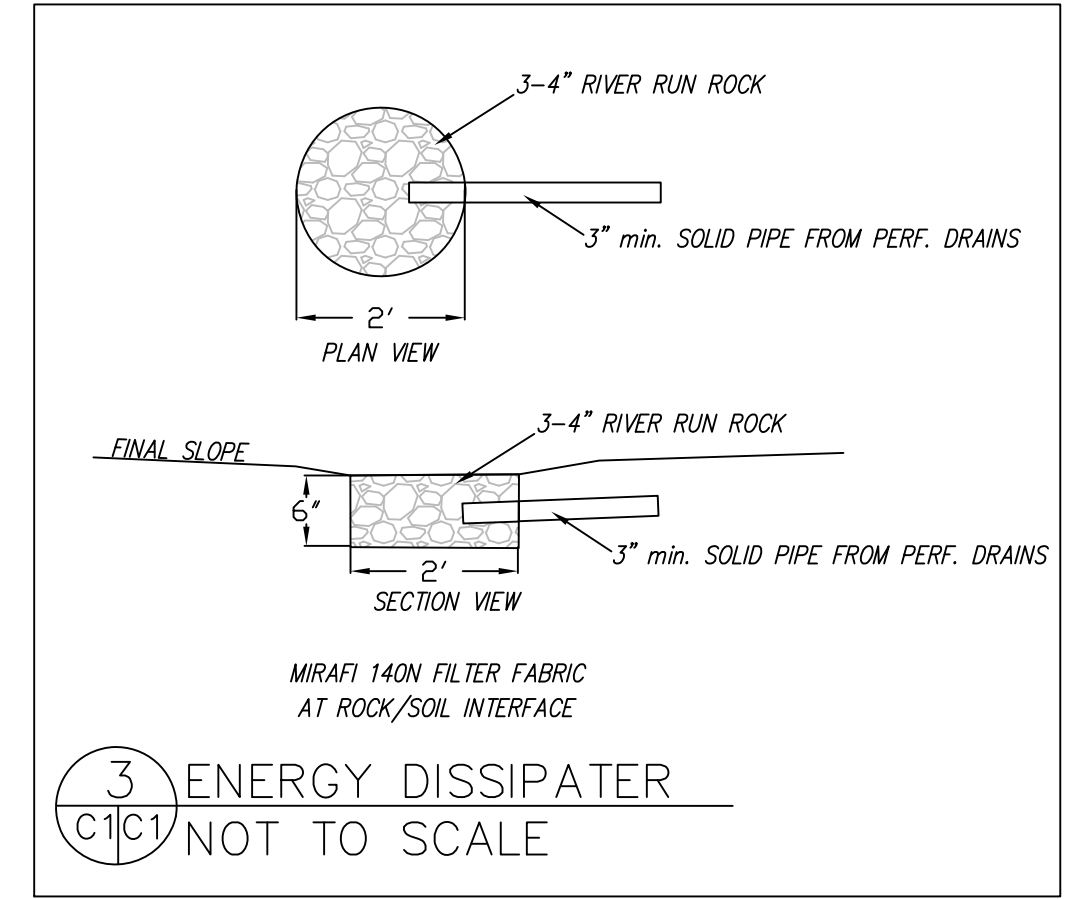
SEWER NOTES

1. THERE IS AN EXISTING SEWER LATERAL THROUGH THE PROPERTY, AS SHOWN. IT SHALL BE MOVED TO THE LOCATION SHOWN, WITH A SEWER EASEMENT CREATED.

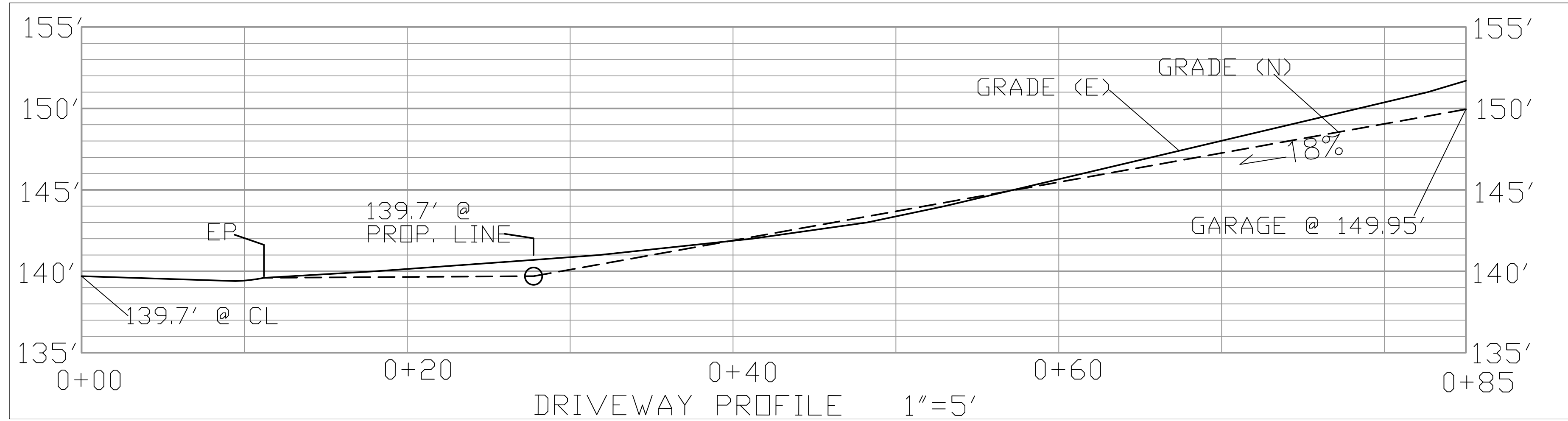
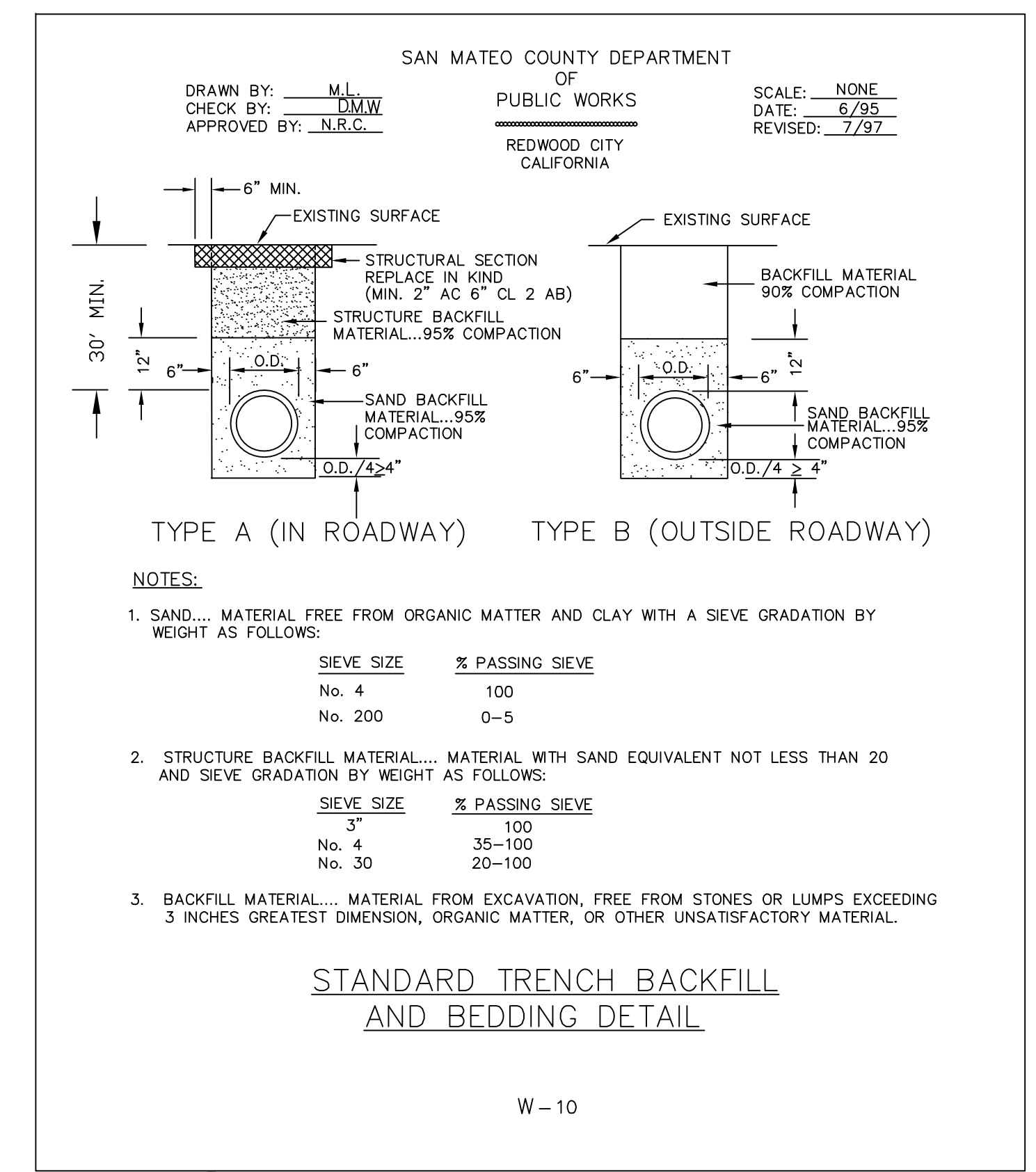
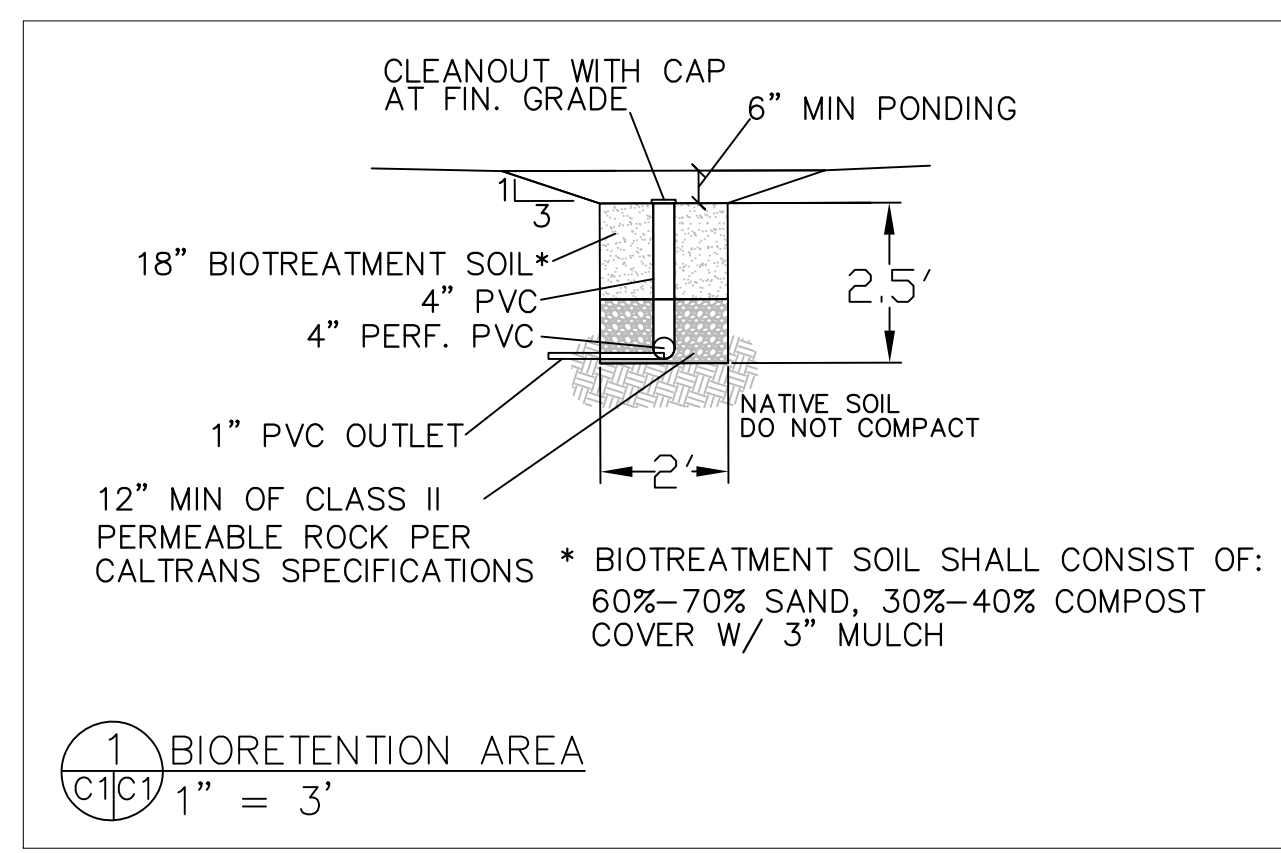
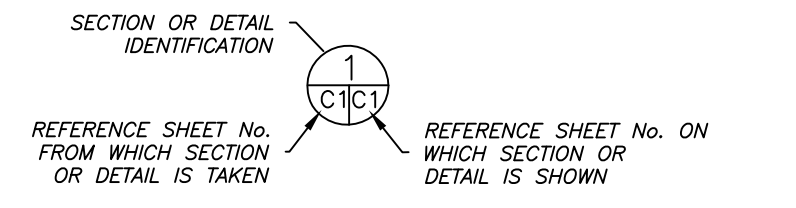


CONSTRUCTION SCHEDULE

- DAY 1: INSTALL FIBER ROLLS
- DAY 2: COMMENCE WORK WITH SITE CLEARING.
- DAY 3: INSTALL ROCKED CONSTRUCTION ENTRANCE
- WEEK 1: RE-ROUTE SEWER LATERAL
- WEEK 2: FINISH ROUGH GRADING
- WEEK 3: BEGIN FOUNDATIONS
- WEEK 5: POUR CONCRETE FOR FOOTINGS
- WEEK 6: BEGIN FRAMING
- MONTH 3: FINISH SHELL
- MONTH 5: FINISH MOST OF INTERIOR
- MONTH 7: FINISH PROJECT



SECTION AND DETAIL CONVENTION



Attachment C

GRADING AND DRAINAGE PLAN

SHEET C-1

SAN CARLOS AVENUE, EL GRANADA APN 047-111-270

Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 500 RICHMOND AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3688 FAX 728-3683



EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: BIN LI
 TITLE/QUALIFICATION: OWNER
 PHONE: 510-366-5220
 PHONE:
 E-MAIL: BINLIUS@YAHOO.COM

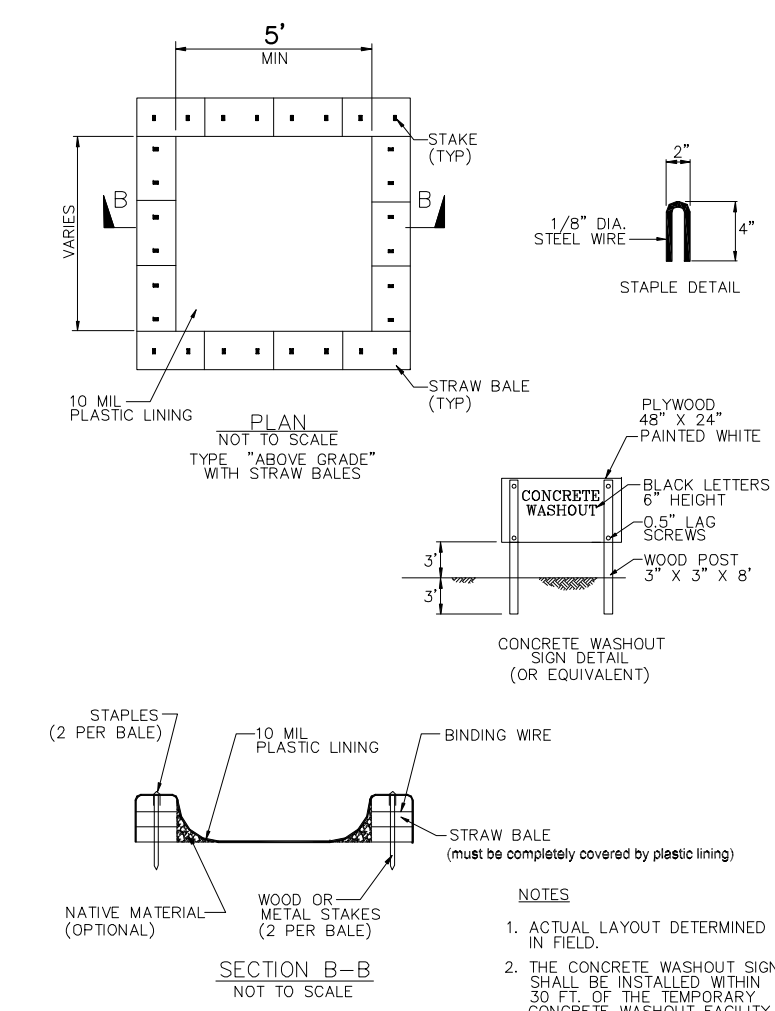
• USE OF PLASTIC SHEETING BETWEEN OCTOBER 1st AND APRIL 30th IS NOT ACCEPTABLE.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

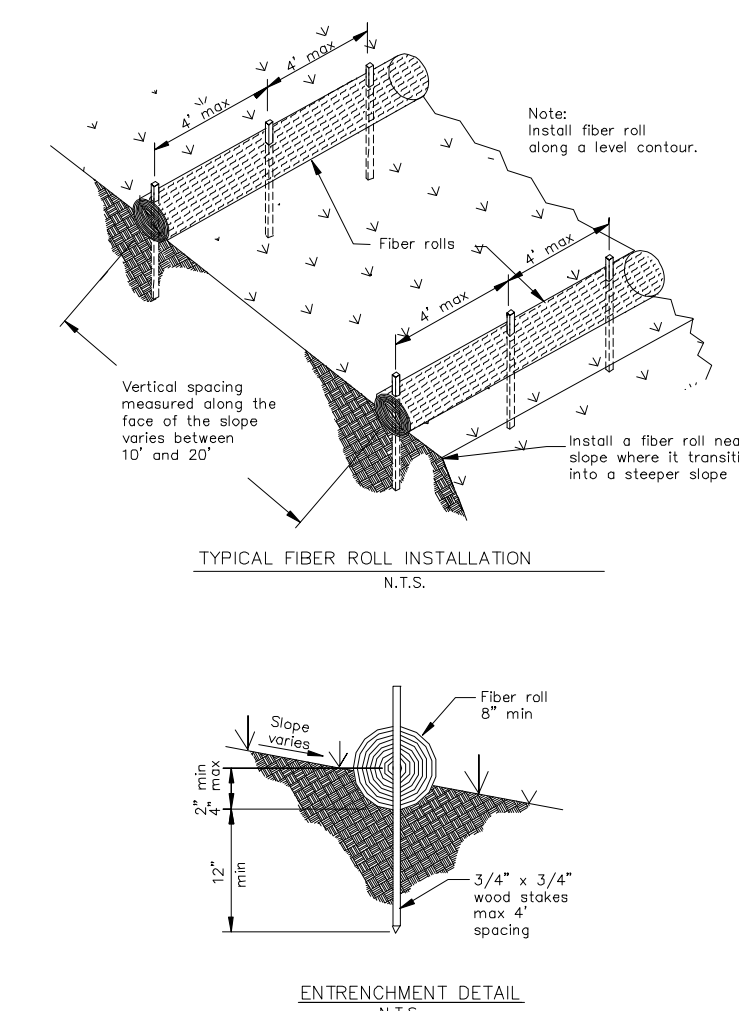
FIBER ROLL
 INSTALL AT LOCATIONS SHOWN.
 AFFIX AS SHOWN IN DETAIL SE-5

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site

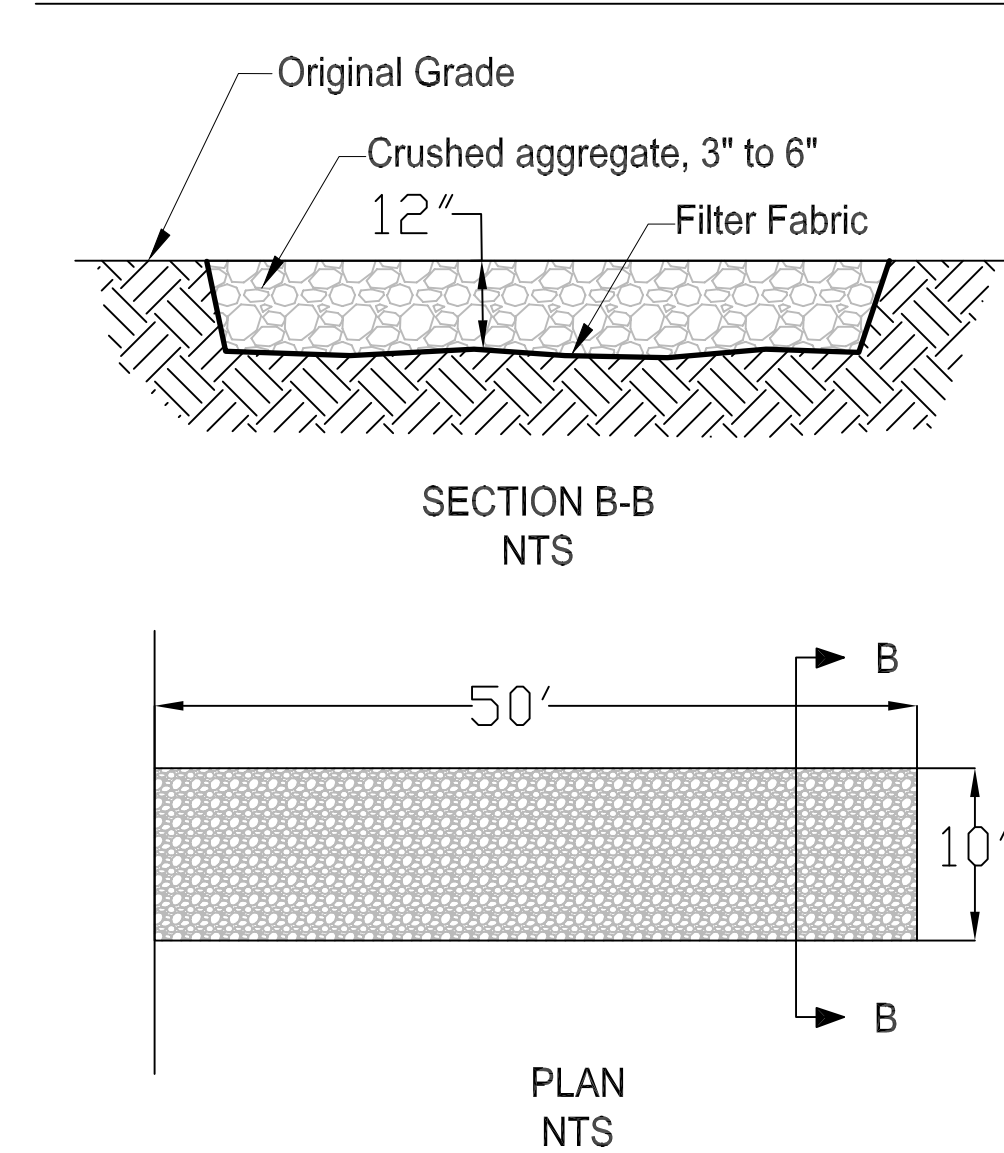
CONCRETE WASTE MANAGEMENT WM-8



FIBER ROLLS SE-5



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



ROCKED CONSTRUCTION ENTRANCE SHALL BE 50 FEET LONG BY 10 FEET WIDE AND CONFORM TO THE FOLLOWING:
 A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 6 INCH STONE.
 B. PAD SHALL BE NOT LESS THAN 12" THICK.
 C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.



Sigma Prime Geosciences, Inc.	
DATE: 3-7-17	DRAWN BY: CMK
CHECKED BY: AZG	REV. DATE: 8-1-17
REV. DATE:	REV. DATE:
REV. DATE:	REV. DATE:

EROSION CONTROL PLAN
 SAN CARLOS AVENUE,
 EL GRANADA
 APN 047-111-270

Attachment C

October 31, 2017

Chris Ridgway
670 Parker Street
Half Moon Bay, CA 94019

Dear Mr. Finicle:

SUBJECT: Coastside Design Review Recommendation of Approval
San Carlos Avenue, El Granada
APN 047-111-270; County File No. PLN 2017-00098

At its meeting of October 12, 2017, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for design review recommendation to allow construction of a new 1,927 sq. ft. single-family residence plus an attached 416 sq. ft. two-car garage on an undeveloped 4,800 sq. ft. parcel located on San Carlos Avenue. The project includes a Coastal Development Permit (CDP) and a Certificate of Compliance (COC) Type B, to legalize the parcel. A total of 235 cubic yards (c.y.) of grading (195 c.y. of cut and 40 c.y. of fill) is proposed. No trees are proposed for removal.

Based on the plans, application forms, and accompanying materials submitted, the CDRC recommended approval of your project based on and subject to the following findings and recommended conditions:

FINDINGS

The Coastside Design Review Officer found that:

1. For the Environmental Review

This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA), Section 15303, Class 3, relating to the construction of one single-family residence in a residential zone.

The Coastside Design Review Committee found that:

2. For the Design Review

The project, as proposed and conditioned, has been reviewed under and found to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20, of the San Mateo County Zoning Regulations, specifically elaborated as follows:

- a. Section 6565.20(C) Site Planning and Structure Placement; 2. Complement Other Structures in Neighborhood; a. Privacy; Standards 1, 3 (p. 8): The proposed design of



the house minimizes the amount and size of windows on the left and right elevations of the second floor to minimize and mitigate direct views into neighboring houses. The rooftop deck at the front elevation avoids direct views into neighboring houses, is accessed by interior means, and is integrated into the roof design.

- b. Section 6565.20(D) Elements of Design; 1. Building Mass, Shape and Scale; b. Neighborhood Scale; Standard 1 (p. 11): The proposed design of the house respects the scale of the neighborhood through building dimensions, shape, form, and facade articulation, as well as architectural details such as the front porch and rooftop deck that are proportional and complementary to other homes in the neighborhood.
- c. Section 6565.20(D) Elements of Design; 1. Building Mass, Shape and Scale; e. Wall Articulation; Standard 2 (p. 14): The proposed setbacks for the first and second stories and projecting and recessing architectural details such as the front and rear decks, the bay window, and bump out on the first floor serve to visually break up the appearance of building walls.
- d. Section 6565.20(D) Elements of Design; 2. Architectural Styles and Features; a. Architectural Style; Standard 2 (p. 14): The proposed design of the house features the Coastal Craftsman style that complements the coastal, semi-rural character of the area.
- e. Section 6565.20(D) Elements of Design; 3. Roof Design; a. Massing and Design of Roof Forms; Standard 1 (p. 18): The proposed design of the house includes a strong primary roof form with some secondary roof forms at the first story to reduce mass and scale. The shed roof form of the secondary roof forms are compatible in style and slope (7:12) with the primary roof form.
- f. Section 6565.20(D) Elements of Design; 3. Roof Design; b. Design Compatibility; Standard (p. 19): The proposed roof design is compatible in style, shape, and materials with the house itself and with the surrounding neighborhood.
- g. Section 6565.20(D) Elements of Design; 4. Exterior Materials and Colors; c. Quantity; Standard 1-2 (p. 20): The proposed design of the house uses a number of exterior materials and colors that reduce the appearance of bulk, add visual interest, and are consistent with the neighborhood and architectural style of the house.
- h. Section 6565.20(F) Landscaping, Paved Areas, Fences, Lighting and Noise; 1. Landscaping; Standards b, f (p. 22): The proposed finished landscape plan is compatible with and enhances the design of the house, and complements other homes and vegetation in the surrounding neighborhood. The proposed landscaping is drought-tolerant and features native and non-invasive plant species.

RECOMMENDED CONDITIONSCurrent Planning Section

1. The project shall be constructed in compliance with the plans once approved and reviewed by the Coastside Design Review Committee on October 12, 2017. Any changes or revisions to the approved plans shall be submitted to the Design Review Officer for review and approval prior to implementation. Minor adjustments to the project may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Design Review Officer may refer consideration of the revisions to the Coastside Design Review Committee, with applicable fees to be paid.
2. The applicant shall indicate the following on plans submitted for a building permit, as stipulated by the Coastside Design Review Committee.
 - a. Continue the brick facia around the front elevation to both the left and right elevations, extending back on the right elevation to the end of the porch and extending back on the left elevation to the first inside corner.
 - b. Ensure that the size of the window trim for all windows match the proportions of the window trim in the rendering and not in the elevations.
 - c. Provide a specification sheet for the garage door.
 - d. Include details for the drywell and concrete swale for the garage.
 - e. Lighting:
 - (1) At the front elevation at the front porch, replace the two exterior Dark Sky light fixtures with two recessed can lights.
 - (2) At the right elevation at the rooftop deck, remove the exterior Dark Sky light fixture at the window.
 - (3) At the rear elevation at the first floor, add an exterior Dark Sky light fixture at the door connected to the kitchen.
 - (4) At the rear elevation at the second level, remove the exterior Dark Sky light fixture to the left of the sliding glass doors.
 - f. Use flagstone pavers for the entire front walkway and front patio area.
 - g. Install a concrete border around the driveway from the property line to the garage with three interior concrete borders perpendicular to the long axis of the driveway thereby dividing the driveway into four spaces. Within these spaces, use permeable pavers. From the last perpendicular border to the garage, use asphalt.

- h. Install a Redwood good-neighbor fence with a maximum 6-ft. height at the right and rear property lines.
- i. Use a taller shrub for the planter adjacent to the right side of the house.

Recommendation:

For the rear patio, use flagstone pavers set on sand.

- 3. The applicant shall provide "finished floor elevation verification" to certify that the structure is actually constructed at the height shown on the submitted plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point in the vicinity of the construction site.
 - a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
 - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
 - c. Prior to Planning approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
 - d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
 - e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
 - f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.

4. Projects subject to Provision C.3.i (individual single-family home projects that create and/or replace 2,500 square feet or more of impervious surface, and other projects that create and/or replace at least 2,500 square feet of impervious surface but are not C.3 Regulated Projects) shall implement at least one of the six site design measures listed below:
 - a. Direct roof runoff into cisterns or rain barrels and use rainwater for irrigation or other non-potable use.
 - b. Direct roof runoff onto vegetated areas.
 - c. Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas.
 - d. Direct runoff from driveways and/or uncovered parking lots onto vegetated areas.
 - e. Construct sidewalks, walkways, and/or patios with permeable surfaces.
 - f. Construct bike lanes, driveways, and/or uncovered parking lots with permeable surfaces.

5. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including, but not limited to, the following:
 - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
 - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - c. Performing clearing and earth-moving activities only during dry weather.
 - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
 - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
 - g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
 - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.

- i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
 - j. Limiting construction access routes and stabilization of designated access points.
 - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
 - m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
 - n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
6. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
 7. All new power and telephone utility lines from the street or nearest existing utility pole to the main dwelling and/or any other structure on the property shall be placed underground.
 8. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Department of Public Works, and the Coastside Fire Protection District.
 9. No site disturbance shall occur, including any grading, until a building permit has been issued.
 10. To reduce the impact of construction activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.

- c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on San Carlos Avenue. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on San Carlos Avenue. There shall be no storage of construction vehicles in the public right-of-way.
11. The exterior color samples submitted to the CDRC are approved. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.
 12. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo Ordinance Code Section 4.88.360).
 13. Installation of the approved landscape plan is required prior to final building inspection.
 14. The landscape plan shall comply with the Water Efficient Landscape Ordinance (WELO):
 - a. At the building permit application stage, the project shall demonstrate compliance with the Water Efficient Landscape Ordinance (WELO) and provide required forms. WELO applies to new landscape projects equal to or greater than 500 sq. ft. A prescriptive checklist is available as a compliance option for projects under 2,500 sq. ft. WELO also applies to rehabilitated landscape projects equal to or greater than 2,500 sq. ft.

The following restrictions apply to projects using the prescriptive checklist:

- (1) Compost: Project must incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contraindicated by a soil test).
- (2) Plant Water Use (Residential): Install climate adapted plants that require occasional, little, or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water.
- (3) Mulch: A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers.
- (4) Turf: Total turf area shall not exceed 25% of the landscape area. Turf is not allowed in non-residential projects. Turf (if utilized) is limited to slopes not exceeding 25% and is not used in parkways less than 10 feet in width. Turf, if utilized in parkways, is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff.
- (5) Irrigation System: The property shall certify that Irrigation controllers use evapotranspiration or soil moisture data and utilize a rain sensor; Irrigation controller programming data will not be lost due to an interruption in the primary

power source; and Areas less than 10 feet in any direction utilize sub-surface irrigation or other technology that prevents overspray or runoff.

Coastside County Water District

15. The project will be required to comply with Coastside County Water District's (District) Indoor Water Use Efficiency Ordinance which includes regulations on water metering and water use efficiency specifications for plumbing fixtures and appliances. The District will perform inspections to verify compliance with all District regulations during and after construction.
16. No passive purge systems are to be installed on fire protection services. Fire protection services are authorized for the sole purpose of fire protection. There shall be no cross connections, and approved backflow protection is required.
17. Before issuance of a building permit, the District will need to evaluate a complete set of building plans to determine if the water service capability availability is adequate for this development and complies with all District regulations.

Coastside Fire Protection District

18. As per the California Building Code (CBC), State Fire Marshal Regulations, and the Coastside Fire Protection District (CFPD) Ordinance 2016-01, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and reconditioned sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final inspection.
19. Smoke alarm/detectors are to be hardwired, interconnected, or equipped with battery backup. Smoke alarms shall be installed per the manufacturer's instruction and National Fire Protection Association (NFPA) 72.
20. Escape or rescue windows shall have a minimum net clear openable area of 5.7 sq. ft. 5.0 sq. ft. is allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor.
21. Identify rescue windows in each bedroom and verify that they meet all requirements. Include in building plans.
22. **Occupancy Separation:** Per the 2016 CBC, Section 406.1.4, a one-hour occupancy separation wall shall be installed with a solid core, 20-minute fire rated, self-closing door assembly with smoke gasket between the garage and the residence. All electrical boxes installed in rated walls shall be metal or protected. Plans at the building permit application stage shall include listing and construction details. Inspections will occur throughout construction and prior to Fire's final approval of the building permit.

23. **Address Numbers:** Per CFPDC 2016-01, building identification shall be conspicuously posted and visible from the street. Temporary address numbers shall be posted prior to combustibles being placed on-site. The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 3/4-inch stroke. Such letters/numerals shall be internally illuminated and facing the direction of access. Finished height of bottom of address light unit shall be greater than or equal to 6 feet from finished grade. When the building is served by a long driveway or is otherwise obscured, a 6-inch by 18-inch green reflective metal sign with 3-inch reflective numbers/letters similar to Hy-Ko 911 or equivalent shall be placed at the entrance from the nearest public roadway. See CFPDC for standard sign.
24. **Roof Covering:** Per CFPDC 2016-01, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
25. **Vegetation Management:** Per CFPDC 2016-01, the 2016 California Fire Code (CFC) and Public Resources Code (PRC) 4291:
- a. A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. In the State Responsible Area (SRA), the fuel break is 100 feet or to the property line.
 - b. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 to 10 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.
 - c. Remove that portion of any existing tree, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure.
26. **Fire Access Roads:** The applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The County Department of Public Works, the CFPD Ordinance 2016-01, and the CFC shall set road standards. Fire Department access shall be to within 150 ft. of all exterior portions of the facility and all portions of the exterior walls of the first story of the buildings as measured by an approved access route around the exterior of the building or facility. Access shall be a minimum of 20 ft. wide asphalt and able to support a fire apparatus weighing 75,000 lbs. Where a fire hydrant is located in the access, a minimum of 26 ft. is required for a minimum of 20 ft. on each side of the hydrant. This access shall be provided from a publicly maintained road to the property. Grades over 15% shall be paved and no grade shall be over 20%.
- a. Per the 2016 CFC, dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Half Moon Bay Fire District specifications. All dead end roadways shall be terminated by a turnaround bulb of not less than 96 feet in diameter.
 - b. Per the 2007 CFC, Section Appendix D, road width shall not be less than 20 feet.

- c. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained during construction.
 - d. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction.
 - e. If the road width does not allow parking on the street (20-ft. road) and on-street parking is desired, an additional improved area shall be developed for that use.
27. **Fire Hydrant:** Per 2016 CFC, Appendices B and C, a fire district approved fire hydrant (Clow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. Per 2016 CFC, Appendix B, the hydrant must produce a minimum fire flow of 1,000 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details. The applicant shall provide documentation including hydrant location, main size, and fire flow report at the building permit application stage. Inspection required prior to Fire's final approval of the building permit or before combustibles are brought on-site.
28. **Automatic Fire Sprinkler System:** As per San Mateo County Building Standards and CFPD Ordinance 2016-01, the applicant is required to install an approved automatic fire sprinkler system meeting the requirements of NFPA-13D throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. All areas that are accessible for storage purposes shall be equipped with fire sprinklers including closets and bathrooms. The only exception is small linen closets less than 24 square feet with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Department. A building permit will not be issued until plans are received, reviewed, and approved. Upon submission of the plans, the County will forward a complete set to the Coastside Fire Protection District for review. Fees shall be paid prior to plan review.
29. **Exterior Bell and Interior Horn/Strobe:** are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener are to be wired into a separate circuit breaker at the main electrical panel and labeled.
30. Add note to the title page that the building will be protected by an automatic fire sprinkler system.
31. All fire conditions and requirements must be incorporated into your building plans prior to building permit issuance. It is your responsibility to notify your contractor, architect, and engineer of these requirements.
32. Contact the Fire Marshal's Office at 650/726-5213 to schedule a Final Inspection prior to occupancy and Final Inspection by a Building Inspector. Allow for a minimum of 72-hour notice to the Fire Department.

Department of Public Works

33. Prior to the issuance of the building permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Department of Public Works for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works for review and approval.
34. Prior to the issuance of the building permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access from the nearest "publicly" maintained roadway to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20%) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
35. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. The applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
36. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No. 3277.

Granada Community Services District

37. The applicant must obtain a sewer connection permit to connecting the project onto the District's wastewater facilities.
38. The District currently has sufficient sewer capacity to serve conforming parcels with the LCP buildout limits, however, since the project is proposed on a non-conforming parcel, the applicant must first obtain a Sewer Permit Variance. All projects requiring a Variance must be considered by the District Board of Directors for approval before a sewer permit may be obtained. Please contact the Granada Community Services District office for additional information on applying for a Sewer Permit Variance if applicable.

Please note that the decision of the Coastside Design Review Committee is a recommendation regarding the project's compliance with design review standards, not the final decision on this project, which requires a Coastal Development Permit (CDP) and Certificate of Compliance (COC), Type B. The decision on the CDP and COC will take place at a later date. For more information, please contact the project planner, Carmelisa Morales, at 650/363-1873 or by email at cjmorales@smcgov.org.

To provide feedback, please visit the Department's Customer Survey at the following link:
<http://planning.smcgov.org/survey>.

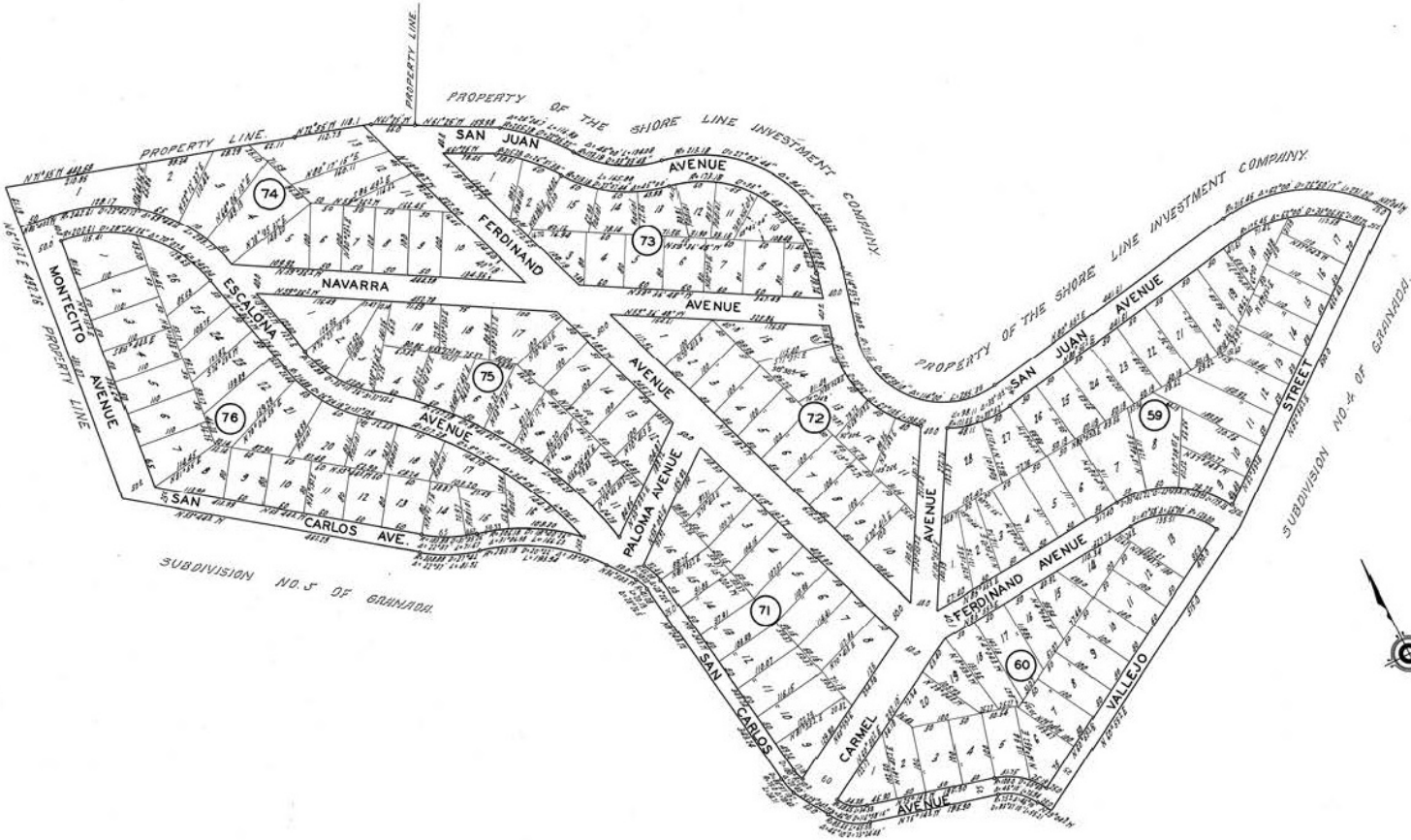
Sincerely,



Dennis P. Aguirre
Design Review Officer

DPA:CJM:jlh – CJMBB0635_WJN.DOCX

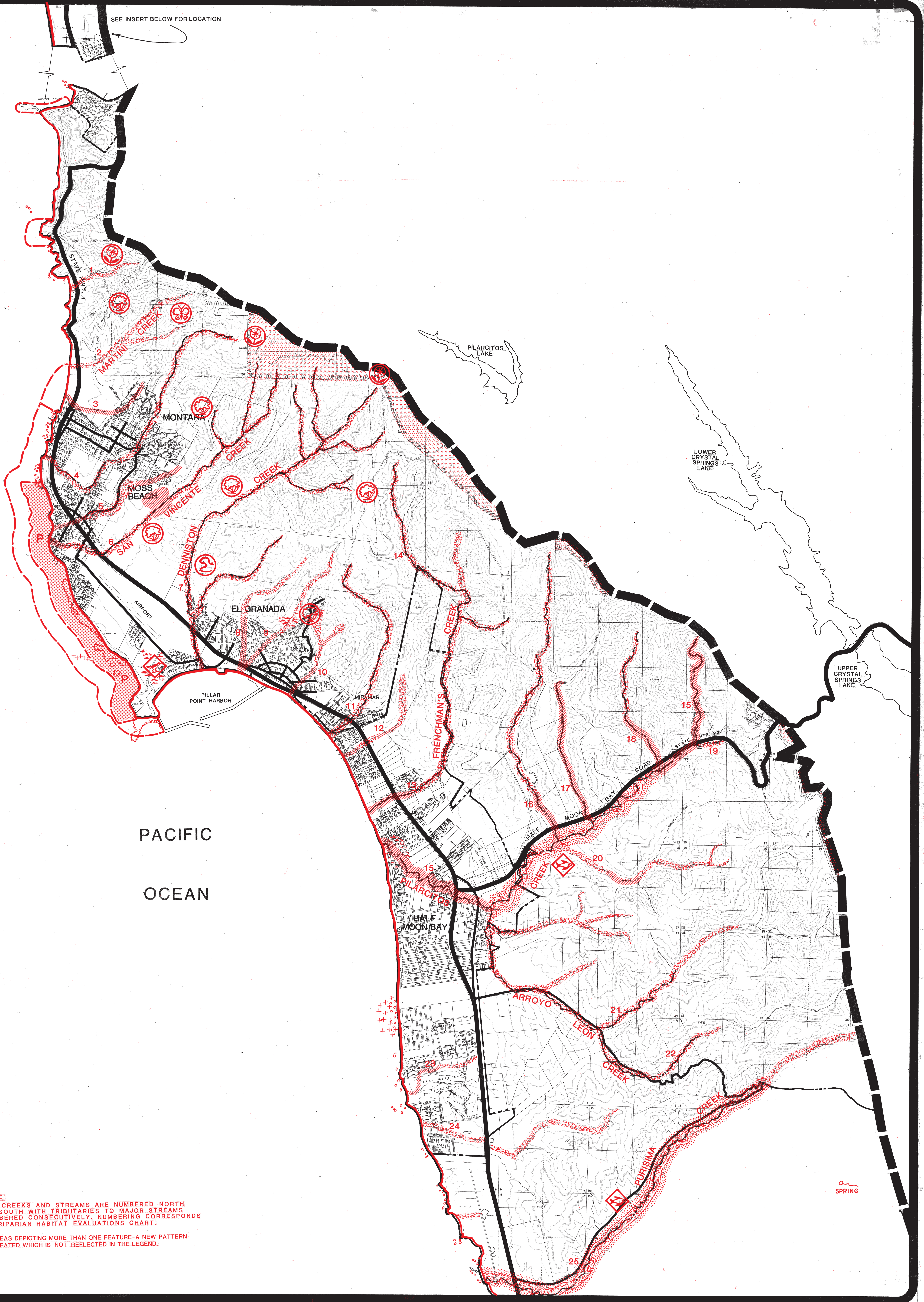
cc: Stuart Grunow, Member Architect
Bruce Chan, Member Landscape Architect
Christopher Johnson, El Granada Community Representative
Fengliang Xue, Bin Li, and Xin Xu, Owners



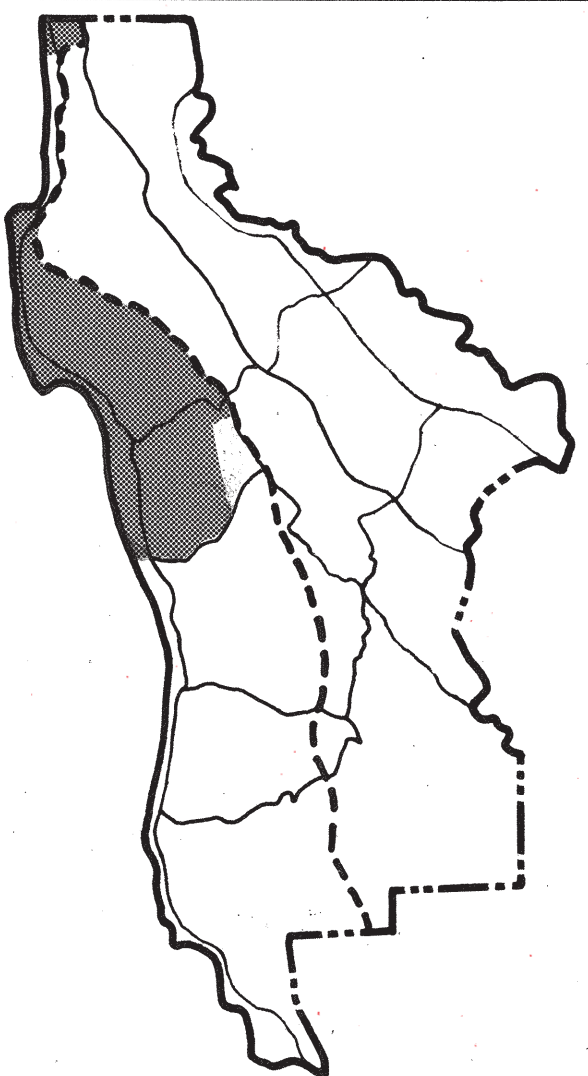
SUBDIVISION NO 3 OF GRANADA

Attachment E

I hereby certify this to be a true copy
of an original map recorded in Map Book
6 at page 64.
S. A. [Signature]
County Surveyor and Ex-officio
Druid County Recorder of Maps



NOTE:
 ALL CREEKS AND STREAMS ARE NUMBERED NORTH TO SOUTH WITH TRIBUTARIES TO MAJOR STREAMS NUMBERED CONSECUTIVELY. NUMBERING CORRESPONDS TO RIPARIAN HABITAT EVALUATIONS CHART.
 IN AREAS DEPICTING MORE THAN ONE FEATURE-A NEW PATTERN IS CREATED WHICH IS NOT REFLECTED IN THE LEGEND.



MID-COAST

LOCAL COASTAL PROGRAM

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 PLANNING AND DEVELOPMENT DIVISION • SAN MATEO COUNTY, CALIFORNIA



SENSITIVE HABITATS

0 1 2 3 4 MILES
 0 1.6 3.2 4.8 6.4 KILOMETERS

RIPARIAN HABITATS

- PRIMARY
- SECONDARY
- DAMAGED
- MARSHES
- WILDLIFE PRESERVE

MARINE HABITATS

- REEFS
- ISLETS
- ROCK OUTCROPS
- PRESERVE
- SAND DUNES
- CA. NATURAL AREAS

RARE & ENDANGERED SPECIES AREAS

- SAN FRANCISCO GARTER SNAKE
- CA. BLACK RAIL
- SAN BRUNO ELF BUTTERFLY

- CA. BRACKISH WATER SNAIL
- FLOWERS
- SHRUBS

UNIQUE NATURAL SPECIES AREAS

- SALT MARSH YELLOWTHROAT
- MONTEREY PINE
- SILVER SALMON STEELHEAD OR RAINBOW TROUT STREAM

SOURCE: SEE REPORT

DATE: