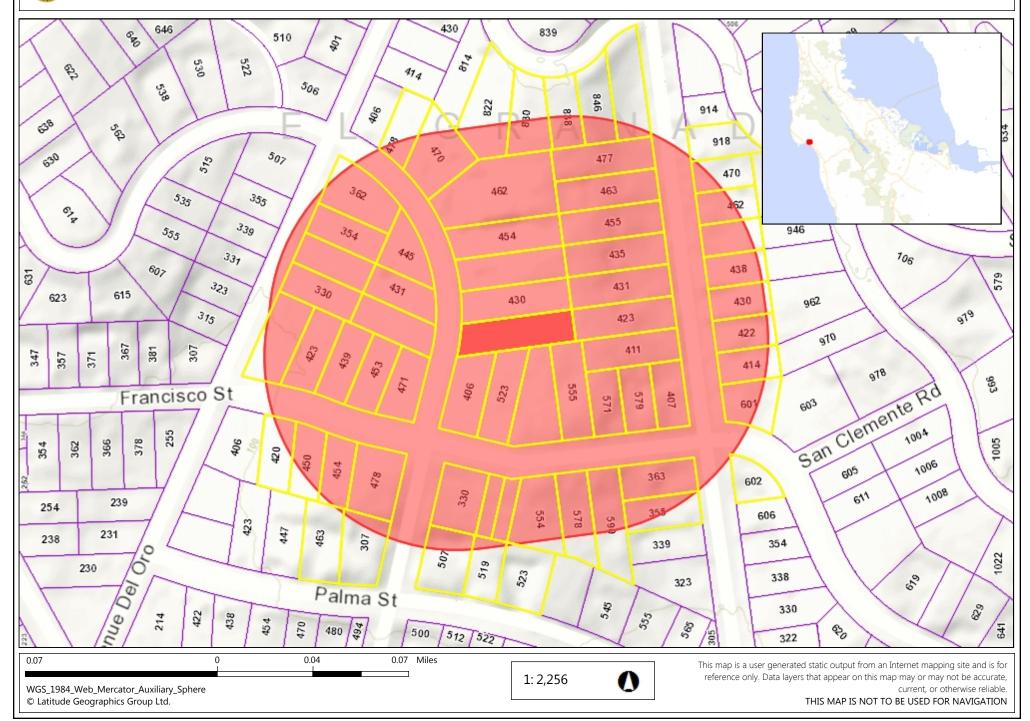
APN 047-222-240 (PLN2017-00300)



COUNTY OF SAN MATEO PLANNING AND BUILDING

County Government Center 455 County Center, 2nd Floor Redwood City, CA 94063 650-363-4161 T 650-363-4849 F www.planning.smcgov.org

December 27, 2017

Luis Perez 2087 D Street Hayward, CA 94541

Dear Mr. Perez:

SUBJECT: Coastside Design Review Recommendation

Ferdinand Avenue, El Granada

APN 047-222-240; County File No. PLN 2017-00300

At its meeting on December 14, 2017, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for a design review recommendation to allow construction of a new 2,476 sq. ft. single-family residence and an 842 sq. ft. second dwelling unit over an 879 sq. ft. detached garage on a 8,516 sq. ft. legal parcel (Certificate of Compliance recorded on June 2, 2015), as part of a staff-level Grading Permit for 475 cubic yards (c.y.) of excavation. One (1) significant tree is proposed for removal. This project is also eligible for a Coastal Development Exemption. This project is not appealable to the California Coastal Commission.

The CDRC was unable to make the findings for a design review recommendation of approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual is required. As such, requirements from the CDRC for further project redesign are as follows:

- 1. Redesign the structure to conform to the existing topography by stepping it down the existing grade. Reference the Standards for Design for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20(D) ELEMENTS OF DESIGN; 1. Building Mass, Shape, and Scale; a. *Relationship to Existing Topography* (p. 10).
- 2. Reduce the massing of the entire structure by revising the building dimensions and shape. Reference the Standards for Design for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20(D) ELEMENTS OF DESIGN; 1. Building Mass, Shape, and Scale; b. *Neighborhood Scale* (p. 10).
- 3. Revise the window openings to be more consistent with other windows on the structure and with other homes in the surrounding neighborhood. Reference the Standards for Design for One-Family and Two-Family Residential Development in the Midcoast,



- Section 6565.20(D) ELEMENTS OF DESIGN; 2. Architectural Styles and Features; b. *Openings* (p. 15).
- 4. Reduce the massing of the roof (Example, revise roof design to hip roof). Reference the Standards for Design for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20(D) ELEMENTS OF DESIGN; 3. Roof Design; a. *Massing and Design of Roof Forms* (p. 18).
- 5. Revise the landscaping plan from a linear and structured design to a design that is less structured, more organic, and more harmonious with the neighborhood and site. Reference the Standards for Design for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20(F) LANDSCAPING, PAVED AREAS, FENCES, LIGHTING, AND NOISE; 1. Landscaping (p. 22).
- 6. Reduce the amount of paved areas. Reference the Standards for Design for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20(F) LANDSCAPING, PAVED AREAS, FENCES, LIGHTING, AND NOISE; 2. Paved Areas (p. 23).
- 7. The CDRC also recommends the following:
 - a. Enclose the external staircase for the garage and install inset sconce light fixtures.
 - b. Provide fencing details for the left/north elevation and include style, color, and height of fencing.
 - c. Provide a cut sheet for the garage doors.
 - d. Provide a material sample for the El Dorado stone limestone veneer.
 - e. Provide cut sheets or material samples for the terrace pavers and the driveway pavers.
 - f. Include two redwood trees in the landscape plan to replace the existing cedar tree if it requires removal.
 - g. Consider removing the external chimney and replace with a vent. Alternatively, consider applying the stone veneer motif to the chimney.
 - h. Consider using a different color or material for the Left/North elevation of the main house to break up massing.

As such, you were presented with the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented or (ii) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You

chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Carmelisa Morales, Project Planner, at 650/363-1873, if you have any questions.

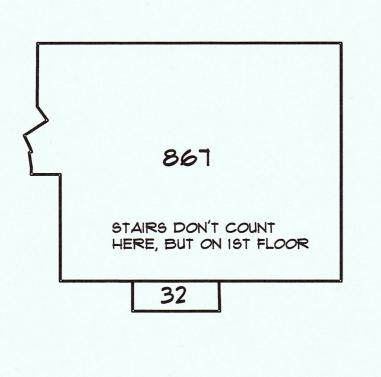
To provide feedback, please visit the Department's Customer Survey at the following link: http://planning.smcgov.org/survey.

Sincerely

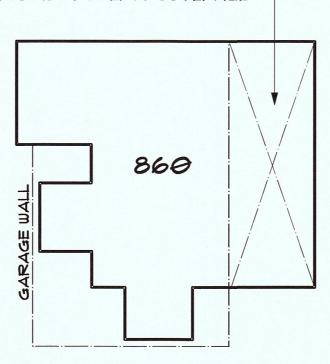
Dennis P. Aguirre, Design Review Officer

DPA:CM:pac - CJMBB0768_WPN.DOCX

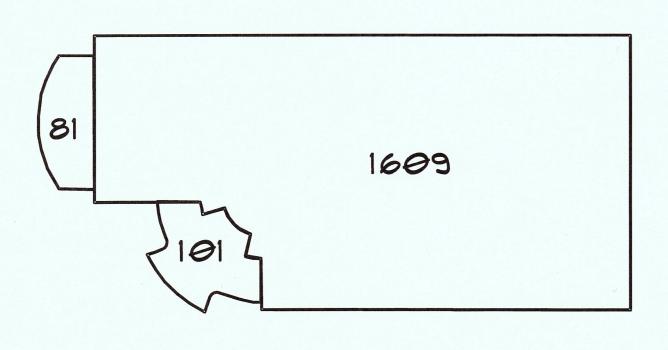
cc: Stuart Grunow, Member Architect
Chris Johnson, El Granada Community Representative
Luis Perez, Property Owner
Augustine Amaral, Interested Member of the Public
Wendy Costello, Interested Member of the Public
James Welton, Interested Member of the Public
Douglas James, Interested Member of the Public



260 SQ FT OF GUEST HOUSE FLOOR OVER CRAWL SPACE THAT COUNTS AS PROPERTY COVERAGE -



2ND FLOOR SQ. FT. PLAN 10 20



760

15T FLOOR SQ. FT. PLAN

ALL CONSTRUCTION SHALL CONFORM TO:

- 2016 CALIFORNIA RESIDENTIAL CODE
- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA FIRE CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALGREEN BUILDING CODE STANDARDS

OCCUPANCY GROUP: R3-U

- TYPE OF CONSTRUCTION: TYPE Y-B
- SCOPE OF WORK: NEW RESIDENCE

UNDERGROUND ELECTRICAL SERVICE SHALL BE PROVIDED IN ALL NEW CONSTRUCTION,

UNDERGROUND SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE PG\$E CO, ELECTRIC \$ GAS REQUIREMENTS, SECT. 5, ELECTRIC SERVICE UNDERGROUND (ORD. C-14-101 PART), 2010: ORD. 1-08 2(PART), 2008)" PER MUNICIPAL CODE SECT. 14.04.070 (A).

CLEANOUTS IN BUILDING SEWERS SHALL BE PROVIDED IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES OF THE CITY/COUNTY. ALL CLEANOUTS SHALL BE MAINTAINED WATERTIGHT.

THIS NEW RESIDENCE WILL REQUIRE AUTOMATIC FIRE SPRINKLERS. CONTRACTOR MUST HAVE A C-16 LISCENSE TO INSTALL

PLANNING DEPARTMENT: SMCO PLANNER WHO GAVE THE INFORMATION: STAFF

ZONING: R-1/9-17/DR/CD

A.P.N. # 047-222-240

PERSON WHO CHECKED THE REGULATIONS

1,609 FIRST FLOOR MAIN HOUSE 2ND FLOOR MAIN HOUSE

| x | x | X | | 160 | GARAGE

×		81	FRONT TERRACE	
×		101	ENTRY TERRACE	
×		32	2ND FLOOR MAIN HOUSE BALCONY	

	×	×	860	GUEST HOUSE: 2ND FLOOR				
×		×	260	GUEST HOUSE: PORTION THAT IS OVER THE GARAGE THAT COUNTS AS PROPERTY COVERAGE.				

2,476	MAIN HOUSE WITHOUT GARAGE
860	GUEST HOUSE WITHOUT GARAGE
866	35% OF MAIN HOUSE

2,843	OUR SITE COVERAGE	
35%	PERCENTAGE OF SITE COVERAGE	
8,516	LOT SIZE	
2,980	MAXIMUM SITE COVERAGE ALLOWED	

4,096	OUR TOTAL FLOOR AREA
53%	PERCENTAGE OF FLOOR AREA ALLOWED
8,516	LOT SIZE
4,513	MAXIMUM FLOOR AREA ALLOWED

LIST OF DRAWINGS FOR DESIGN REVIEW

A1.1	TITLE PAGE
A1.2	SITE PLAN \$ ROOF PLAN
A1.3	FIRE PROTECTION NOTES, SITE NOTES \$ C.O.P.

A2.1	FIRST FLOOR PLAN	
A2.2	SECOND FLOOR PLAN	

ELEVATIONS
ELEVATIONS
SECTIONS

RECEIVED MAY 1 4 2018 San Mateo County
Planning Division

SURVEY BY BGT LAND SURVEYING LANDSCAPE PLAN TREE PLAN GRADING AND DRAINAGE PLAN EROSION CONTROL PLAN BETTER MANAGEMENT PRACTICES

PLN2017-00300



CHRIS RIDGWAY ARCHITECT, INC.

FERDINAND AVE. EL GRANADA A.P.N. 047-222-240 PEREZ, LUIS \$ LORENA PH#: 650.622.6301 WEB SITE: CRARCHITECT.NET NEW RESIDENCE AND GUEST HOUSE 610 POPLAR STREET, HALF MOON BAY, CA. 94019

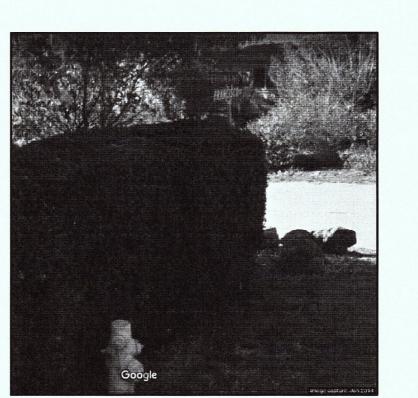
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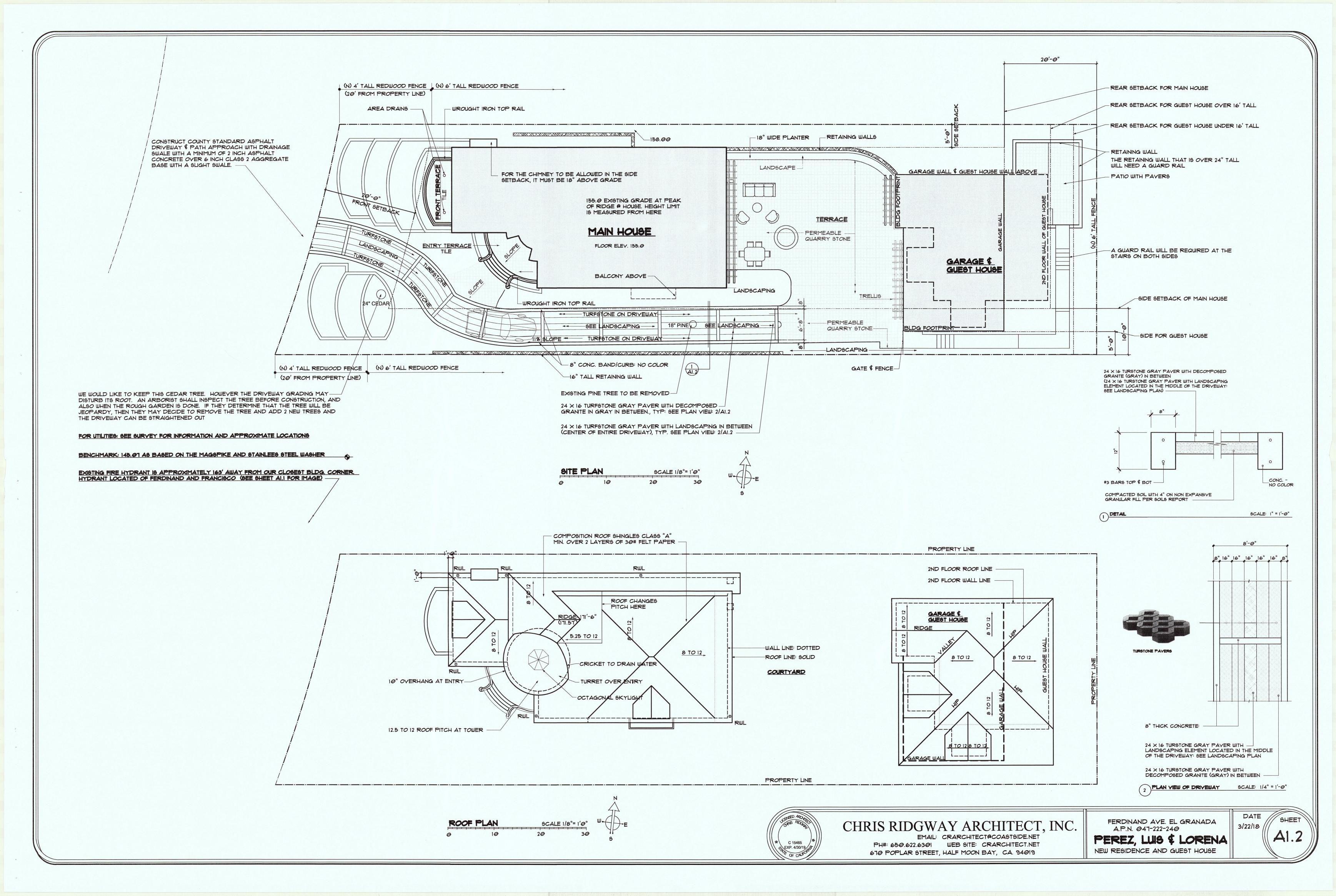
LOCATION MAP PROJECT SITE



VICINITY MAP



FIRE HYDRANT ON FERDINAND \$ FRANCISCO (SEE SITE PLAN ON SHEET ALZ FOR NOTE)



ABBREVIATIONS

	ABBREVIAT	IONS	
A.B.	ANCHOR BOLT	LAV.	LAVATORY
A.B.M. ACOUS.	AGGREGATE BASE MATERIALS ACOUSTIC	L.H. LKR.	LEFT HAND LOCKER
ACOUS.	AIR CONDITIONING	LP.	LOW POINT
A.C. A.D.	ASPHALTIC CONCRETE ACCESS DOOR	LT. LTWT.	LIGHT LIGHTWEIGHT
ADJ.	ADJUSTABLE		
A.F.S. AGGR.	AUTOMATIC FIRE SPRINKLER AGGREGATE	M/W MED.	MICRO-WAVE MEDIUM
ALT. ALUM.	ALTERNATE ALUMINUM	MAX. M.B.	MAXIMUM MACHINE BOLT
ANOD.	ANODIZED	M.D.F. MECH.	MEDIUM DENSITY FIBER BD. MECHANICAL
A.P. ARCH.	ACCESS PANEL ARCHITECTURAL	MEMB.	MEMBRANE
ASPH. A.T.	ASPHALT ASH TRAY	MFR. M.H.	MANUFACTURER MANHOLE
L. L.	ANGLE	MIN. MTD.	MINIMUM MOUNTED
6	AT AND	M.S.	MACHINE SCREW
BD.	BOARD	MTL. MULL	METAL MULLION
BKSPL	BACKSPLASH	(N)	NEW
BLDG. BLK.	BUILDING BLOCK	N.	NORTH
BLKG. BM.	BLOCKING BEAM	N.I.C. NOM.	NOT IN CONCRETE NOMINAL
B.O.J.	BOTTOM OF JOISTS	N.T.S. #	NOT TO SCALE
BOT. BSBD.	BOTTOM BASEBOARD		NUMBER
B.U. B.U.R.	BUILT-UP BUILT-UP ROOF	0/ 0.B.	OYER OBSCURE
		O.C.	ON CENTER
CABT. C.B.	CABINET CATCH BASIN	O.D. O.F.S.	OUTSIDE DIAMETER OUTER FACE OF STUD
CBO. CEM.	CEMENT-BOARD CEMENT	0.H. 0.P.	OVER HEAD OPAQUE
CER.	CERAMIC	OPNG	OPENING
C.G. C.I.	COVER GUARD CAST IRON	OPP.	OPPOSITE
C.J. CLG.	CEILING JOIST CEILING	P.A.	PUBLIC ADDRESS
CLR.	CLEAR	P.D.F. P.G.	POWER DRIVEN FASTENER PAINT GRADE
CLO. CMU.	CLOSET CONC. MASONRY UNIT	P.H.	PHILLIPS HEAD PUBLIC AND HOUSE PHONE
CNTR.	COUNTERTOP COLUMN	P.I.V. PL	POST INDICATOR VALVE
COL. COMP.	COMPOSITION	P/L	PROPERTY LINE
CONC.	CONCRETE CONSTRUCTION	PLAS. LAM.	PLASTER PLASTIC LAMINATE
CONTR.	CONTRACTOR	PLYWD.	PLYWOOD
C/T CT.	COOKTOP COATS	POL PR.	POLISHED PAIR
CUST.	CUSTODIAN COLD WATER	PRCST. P.S.F.	PRECAST POUNDS PER SQUARE FOOT
C. W. C.O.	CLEANOUT	P.S.I.	POUNDS PER SQUARE INCH
<u> </u>	CENTERLINE	PSL PT.	PARALAM BEAM PRESSURE TREATED
D DET.	DRYER DETAIL	P.T.D. PIN.	PAPER TOWEL DISPENSER PARTITION
DS.	DARK SKY LIGHT	R.	RISE
D.F. D/G	DOUGLAS FIR DUALGLAZE	R.A.	RETURN AIR
O DIA.	DIAMETER OR ROUND DIAMETER	RAD. R.C.P.	RADIUS REFLECTED CEILING PLAN
DIM.	DIMENSION	R.D. REC.	ROOF DRAIN
DISP. DN	GARBAGE DISPOSAL DOWN	REF.	REFERENCE
DEMO'D DR.	DEMOLISHED DOOR	REF. REINF.	REFRIGERATOR REINFORCED/ING
D.S.	DOWNSPOUT	REQ'D.	REQUIRED
D/W DWG.	DISHWASHER DRAWING	RH. R.H.	RIGHT HAND ROUND HEAD
(E)	EXISTING	RM. R.R.	ROOF RAFTER
EA. ELEY.	EACH ELEVATION	R.W.L.	RAIN WATER LEADER
E.J.	EXPANSION JOINT	9.B. 9.C.	SOLID BLOCKING SOLID CORE
E.G.	EXPANSION SHIELD	5.C.D.	SEAT COVER DISPENSER
EXH. EXT.	EXHAUST EXTERIOR	S.D. SECT.	SMOKE DETECTOR SECTION
F.A.	FIRE ALARM	S.G. SHR.	SAFETY GLAZE SHEAR
F.B.	FLAT BAR	SHT. SHWR.	SHEET SHOWER
FBRGL F.D.	FIBERGLASS FLOOR DRAIN	SK. SIM.	9INK 9IMILAR
FDN. F.E.	FOUNDATION FIRE EXTINGUISHER	S.M. S.M.S.	SHEET METAL SHEET METAL SCREWS
F.F.	FINISH FLOOR	S.N.D. S.N.Y.	SANITARY NAPKIN DISPOSAL SANITARY NAPKIN VENDOR
F.G. F.H.	FINISH GRADE FLAT HEAD	9.0.V. 5.P.D.	SHUT OFF VALVE SOAP DISPENSER
F.H.C. FIN. FLR.	FIRE HOSE CABINET FINISH FLOOR	SPECS.	SPECIFICATIONS SQUARE
F.J.	FLOOR JOIST	S.S.	SERVICE SINK
FLDG. FLR.	FLOOR	STL STD.	STEEL STANDARD
FLUOR. F.O.	FLUORESCENT FINISHOPENING	STOR.	STORAGE STRUCTURAL
F.O.C.	FACE OF CONCRETE	9.T.9. 9T. STL	SELF TAPPING SCREW STAINLESS STEEL
F. <i>O</i> .S. FR.	FACE OF STUD/STEEL FRAME	SUSP.	SUSPENDED
F.R.P.	FIBER GLASS REINFORCED PLASTIC	SYM.	SYMMETRICAL
FT. FTG.	FOOT OR FEET FOOTING	T.B.	TREAD TOWEL BAR
		τ \$ Β τ/ C	TOP \$ BOTTOM TRASH COMPACTOR
GA. GALY.	GUAGE GALVANIZED	T.D.	TOWEL DISPENSER
G.B.	GREEN BOARD	T.D.L. T. <i>O</i> .D.	TRUE-DIVIDED LIGHTS TOWEL DISPENSER \$ DISP.
G.C. G.F.I.	GENERAL CONTRACTOR GROUND FAULT INTERRUPTER	TELE.	TELEPHONE
G.I. GL	GALVANIZED IRON GLASS	TEMP. T \$ G	TEMPERED GLASS TONGUE \$ GROOVE
G.L.B.	GLULAM BEAM	THK. T.K.	THICK
GND. G.S.M.	GROUND GALVANIZED SHEET METAL	T.O.C.	TOE KICK TOP OF CURB
G.V.	GATE VALVE	T.O.P. T.O.PL.	TOP OF PAVEMENT
GYP BD	GYPSUM BOARD	T.O.S. T.O.STL.	TOP OF SLAB TOP OF STEEL
H.B.	HOSE BIBB	T.P.D.	TOLET PAPER DISPENSER
H.C. HCAP.	HOLLOW CORE HANDICAP	TYP.	TYPICAL
HDBD.	HARDBOARD	U.O.N. UR.	UNLESS OTHERWISE NOTED URINAL
HDR. K.P.	HEADER KICKPLATE	V.C.T.	VINYL COMPOSITION TILE
HDWD. HDWE	HARDWOOD HARDWARE	VERT.	VERTICAL
H.M. HORIZ.	HOLLOW METAL HORIZONTAL	V.G.D.F. VIN.	VERTICAL GRAIN DOUGLAS FIR VINYL
H.P.	HIGH POINT	V.T.R.	VENTILATION THRU ROOF VINYL WALL FABRIC
H.R.C. HT.	HOSE REEL CABINET HEIGHT	V.H.F.	
H.T.D. HTG.	HANDICAP TOWEL DISP. HEATING	w w/	WASHER WITH
H.W.	HOT WATER	W.C. WD.	WATER CLOSET WOOD
I.D.	INSIDE DIAMETER		WINDOW/WINDOWS
INSUL. INT.	INSULATION INTERIOR	w/ <i>o</i>	WITHOUT
INV.	INVERT	W.P. WRGP.	WATER PROOF WATER RESISTANT GYPSUM

WEATHER STRIPPING

OR WOOD SREW

WAINSCOT

WEIGHT

WSCT

WT.

JUNCTION BOX

MISC. SITE PLAN NOTES & CONSTRUCTION OPERATION PLAN

UNDERGROUND SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE PACIFIC GAS \$ ELECTRIC COMPANY REQUIREMENTS. SEE COMPLETE INFO ON SHEET E2

CLEANOUTS IN BLDG. SEWERS SHALL BE APPROVED IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES OF THE SEWER AUTHORITY. ALL CLEANOUTS SHALL BE MAINTAINED WATERTIGHT

THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND DELINEATED BY FENCING OR FLAGGING TO LIMIT CONSTRUCTION ACTIVITY TO THE CONSTRUCTION AREA

SPECIAL INSPECTION REQUIRED FOR CONCRETE FOUNDATION GREATER THAN 2,500 P.S.I., EPOXY HOLDOWNS, HIGH STRENGTH BOLTS, SEISMIC RESISTANCE AND STRUCTURAL STEEL WELDING \$ FOR SHEAR WALL NAILING SPACED 4" OR LESS. COMPLETE AND SUBMIT A STAMPED \$ SIGNED SPECIAL INSPECTION FORM FORM PRIOR TO PERMIT ISSUANCE.

AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT IS REQUIRED PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPALITY'S RIGHT OF WAY

THE APPLICANT/CONTRACTOR SHALL ADHERE TO ALL REQUIREMENTS OF THE BLDG. INSPECTION SECTION, THE DEPT. OF PUBLIC WORKS AND THE COASTSIDE FIRE PROTECTION DISTRICT.

PRIOR TO FINAL INSPECTION, PAINT THE ADDRESS NUMBER ON THE FACE OF THE CURB NEAR THE DRIVEWAY APPROACH WITH BLACK LETTERING ON A WHITE BACKGROUND.

INCLUDE HOUSE ADDRESS: NUMERALS SHALL BE A MIN. 4" IN HEIGHT AND 3/4" STROKE OF CONTRASTING COLOR TOP THEIR BACKGROUND AND MUST BE LIGHTED DURING THE HOURS OF DARKNESS (SEE ELEVATION) FOR NEW CONSTRUCTION ONLY. SEE COMPLETE NOTES UNDER "FIRE PROTECTION NOTES."

COORDINATE UNDERGROUND CONSTRUCTION ACTIVITIES TO UTILIZE THE SAME JOINT TRENCH. MINIMIZE THE AMOUNT OF TIME THE DISTURBED SOIL IS EXPOSED. THE SOIL IS TO BE REPLACED USING ACCEPTED COMPACTION METHODS.

STOCKPILE AND PROTECT DISPLACED TOPSOIL FOR REUSE.

GENERAL CONTRACTOR (G.C.) TO VERIFY UTILITIES ARE MAINTAINED IN SAFE CONDITION AT TIMES OR REMOVE FROM SITE.

G.C. TO VERIFY ALL HAZARDOUS MATERIALS HAVE BEEN REMOVED.

G.C. TO VERIFY THAT THE WATER LINE THE BUILDING HAS BEEN OUT OFF AT THE PROPERTY LINE AND A HOSE BIB WITH A VACUUM BREAKER TYPE BACKFLOW PREVENTION DEVICE IS PROVIDED FOR DUST CONTROL.

IF THERE IS NO <u>CONSTRUCTION TRAILER</u> USED FOR THIS PROJECT, THE APPLICANT/CONTRACTOR SHALL REMOVE ALL CONSTRUCTION EQUIPMENT FROM THE SITE UPON COMPLETION OF THE USE AND/OR NEED OF EACH PIECE OF EQUIPMENT WHICH SHALL INCLUDE BUT NOT BE LIMITED TO TRACTORS, BACK HOES, CEMENT MIXERS, ETC.

THE <u>DEBRIS BIN</u> TO BE LOCATED SOMEWHERE ON THE SITE (SEE C-2). DEBRIS TO BE HAULED OFF-SITE TO AS NECESSARY. <u>SEE SHEET ALI FOR INFO RE. ECOLOGY'S ADDRESS, ETC.</u> THE APPLICANT/CONTRACTOR SHALL MONITOR THE SITE TO ENSURE THAT TRASH IS PICKED UP AND APPROPRIATELY DISPOSED DAILY.

THE APPLICANT/CONTRACTOR SHALL REMOVE ALL CONSTRUCTION EQUIPMENT FROM THE SITE UPON COMPLETION OF THE USE AND/OR NEED OF EACH PIECE OF EQUIPMENT WHICH SHALL INCLUDE BUT NOT LIMITED TO TRACTORS, BACK HOES, CEMENT MIXERS, ETC.

THE APPLICANT/CONTRACTOR SHALL ENSURE THE NO CONSTRUCTION-RELATED VEHICLES SHALL IMPEDE THROUGH TRAFFIC ALONG THE RIGHT-OF-WAY ON SUNSHINE VALLEY ROAD. ALL CONSTRUCTION VEHICLES SHALL BE PARKED ON-SITE OUTSIDE OF THE PUBLIC RIGHT OF WAY OR IN LOCATIONS WHICH DO NOT IMPEDED SAFE ACCESS ON THIS ROAD. THERE SHALL BE NO STORAGE OF CONSTRUCTION VEHICLES IN THE PUBLIC RIGHT OF WAY. NO SITE DISTURBANCES SHALL OCCUR, INCLUDING ANY GRADING OR TREE REMOVAL, UNTIL A BUILDING PERMIT HAS BEEN ISSUED AND THEN ONLY THOSE TREES APPROVED FOR REMOVAL SHALL BE REMOVED.

NOISE LEVELS PRODUCED BY THE PROPOSED CONSTRUCTION ACTIVITY SHALL NOT EXCEED THE 80DBAS LEVEL AT ANY ONE MOMENT. CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE HOURS FROM TIBE A.M. TO 6 P.M., MONDAY THROUGH FRIDAY AND 9:00 A.M. TO 5:00 P.M. ON SATURDAY. CONSTRUCTION OPERATIONS SHALL BE PROHIBITED ON SUNDAY AND ANY NATIONAL HOLIDAY.

WATER SHALL BE AVAILABLE ON SITE FOR DUST CONTROL DURING ALL GRADING OPERATIONS

SURFACE RUNOFF FROM ALL IMPERVIOUS SURFACES SHALL BE DIRECTED TO THE WATER DETENTION AREAS. SEE CIVIL PLANS

IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE POSITIVE DRAINAGE IN ALL PAVED AND LANDSCAPE AREAS. SEE "GRADING, DRAINAGE & EROSION CONTROL PLAN" ON SHEET C-1. CONTRACTOR TO PROVIDE INTENT

SEE SEPARATE DRAINAGE PLAN BY CIVIL ENGINEER FOR OFFICIAL DESIGN OF EROSION CONTROL AND DRAINAGE PLAN

RAINWATER LEADERS (DOWNSPOUTS) TO TIE INTO UNDERGROUND DRAIN: SEE DRAINAGE PLAN BY CIVIL ENGINEER ON SHEET C-1.

MAINTAIN 6" MINIMUM CLEARANCE FROM SOIL TO BOTTOM OF SIDING. (8" FROM SILL).

DRAIN WATER AWAY FROM THE BUILDING. MAKE CERTAIN THAT ALL WATER DRAINS AND THERE IS NO PONDING.

PRIOR TO THE ISSUANCE OF THE BLDG. PERMIT, THE APPLICANT/CONTRACTOR SHALL SUBMIT A DRIVEWAY "PLAN \$ PROFILE" TO THE DEPT. OF PUBLIC WORKS, SHOWING THE DRIVEWAY ACCESS TO THE PARCEL (GARAGE SLAB) COMPLYING WITH THE COUNTY STANDARDS FOR DRIVEWAY SLOPES (NOT TO EXCEEDED 20%) AND TO COUNTY STANDARDS (AT THE PROPERTY LINE) BEING THE SAME ELEVATIONS AS THE CENTER OF THE ACCESS ROADWAY. WHEN APPROPRIATE, AS DETERMINED BY THE DEPT. OF PUBLIC WORKS, THIS PLAN AND PROFILE SHALL BE PREPARED FROM ELEVATIONS AND ALIGNMENT SHOWN ON THE ROADWAY IMPROVEMENT PLANS, THE DRIVEWAY PLAN SHALL ALSO INCLUDE AND SHOW SPECIFIC PROVISIONS AND DETAILS FOR BOTH THE EXISTING AND THE PROPOSED DRAINAGE PATTERNS AND DRAINAGE FACILITIES.

NO PROPOSED CONSTRUCTION WORK WITHIN THE COUNTY RIGHT OF WAY SHALL BEGIN UNTIL THE COUNTY REQUIREMENTS FOR THE ISSUANCE OF AN ENCROACHMENT PERMIT, INCLUDING REVIEW OF THE PLANS HAVE BEEN MET AND AN ENCROACHMENT PERMIT ISSUED. THE APPLICANT/CONTRACTOR SHALL CONTACT THE DEPT. OF PUBLIC WORKS INSPECTOR 48 HOURS PRIOR TO COMMENCING WORK IN THE RIGHT OF WAY.

PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT, THE APPLICANT MAY BE REQUIRED TO PROVIDE PAYMENT OF ROADWAY MITIGATION FEES" BASED ON THE SQUARE FOOTAGE (ASSESSABLE SPACE) OF THE PROPOSED BUILDING PER ORDINANCE NO. 3277.

THE APPLICANT SHALL SUBMIT A PERMANENT STORMWATER MANAGEMENT PLAN IN COMPLIANCE WITH THE COUNTY'S DRAINAGE POLICY AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYTEM (NPDES) REQUIREMENT FOR REVIEW AND APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS.

SCHEDULE WORK SO AS NOT TO INTERFERE UNDULY WITH THE NORMAL HOUSEHOLD OPERATIONS.

NO SITE DISTRURBANCES SHALL OCCUR, INCLUDING ANY GRADING OR TREE REMOVAL UNTIL A BUILDING PERMIT HAS BEEN ISSUED.

FIRE PROTECTION NOTES

A: CRC 2016 SECTION R327. THIS PROJECT IS NOT LOCATED IN A STATE RESPONSIBILITY AREA FOR WILDFIRE PROTECTION.

I: AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM MEETING THE REQUIREMENTS OF NFPA-13D MUST BE SUBMITTED. THE ENTIRE STRUCTURE TO HAVE FIRE SPRINKLERS. THEY MUST BE DRAWN BY A CONTRACTOR HAVING A C/16 LICENSE. THE SUBCONTRACTOR SHALL PRODUCE DRAWINGS FOR APPROVAL BY THE CITY, COUNTY OR FIRE DEPARTMENT.

2: <u>SMOKE DETECTORS</u> ARE HARDWIRED: AS PER CHAPTER R314 OF THE 2016 CRC, STATE FIRE MARSHALL REGULATIONS AND COASTSIDE FIRE DISTRICT ORDINANCE # 2016-03, THE APPLICANT IS REQUIRED TO INSTALL STATE FIRE MARSHALL APPROVED AND LISTED SMOKE DETECTORS WHICH ARE HARDWIRED, INTERCONNECTED AND HAVE BATTERY BACKUP. THESE DETECTORS ARE REQUIRED TO BE PLACED IN EACH NEW ROOM AND RECONDITIONED SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. IN EXISTING SLEEPING ROOMS, AREAS MAY HAVE BATTERY POWERED SMOKE ALARMS. A MINIMUM OF ONE DETECTOR SHALL BE PLACED ON EACH FLOOR. SMOKE DETECTORS SHALL BE TESTED AND APPROVED PRIOR TO THE BUILDING FINAL.

3: <u>SMOKE/CARBON MONOXIDE DETECTORS:</u> TO BE HARDWIRED, INTERCONNECTED OR WITH BATTERY BACKUP. DETECTORS ARE TO BE INSTALLED PER MANUFACTURER'S INSTRUCTION AND NFPA 12.

4: ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, 5.0 SQ. FT. ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.

4A: IDENTIFY RESCUE/ESCAPE WINDOWS IN EACH BEDROOM AND VERIFY THAT THEY MEET ALL REQUIREMENTS PER CRC R310.2

5: <u>OCCUPANCY SEPARATION</u>: ATTACHED GARAGE TO MEET OCCUPANCY SEPARATION REQUIREMENTS PER CRC R302.6. A ONE-HOUR OCCUPANCY SEPARATION WALL SHALL BE INSTALLED WITH A SOLID CORE, 20-MINUTE FIRE RATED, SELF CLOSING DOOR ASSEMBLY WITH SMOKE GASKET BETWEEN THE GARAGE AND THE RESIDENCE. ALL ELECTRICAL BOXES INSTALLED IN RATED WALLS SHALL BE METAL OR PROTECTED.

6: <u>ADDRESS NUMBERS</u>: AS PER COASTSIDE FIRE DISTRICT NO. 2016-03, BUILDING IDENTIFICATION SHALL BE CONSPICUOUSLY POSTED \$ VISIBLE FROM THE STREET. (TEMP. ADDRESS #5 SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). THE LETTERS/NUMERALS FOR PERMANENT ADDRESS SIGNS SHALL BE INCHES IN HEIGHT WITH A MINIMUM 3/4-INCH STROKE. SUCH LETTERS/NUMERALS SHALL BE INTERNALLY ILLUMINATED \$ FACING THE DIRECTION OF ACCESS. FINISHED HEIGHT OF BOTTOM OF ADDRESS LIGHT UNIT SHALL BE GREATER THAN OR EQUAL TO 6 FEET FROM THE FINISHED GRADE. WHEN THE BUILDING IS SERVED BY A LONG DRIVEWAY OR IS OTHERWISE OBSCURED, A 6-INCH BY 18-INCH GREEN REFLECTIVE METAL SIGN WITH 3-INCH REFLECTIVE NUMBERS/LETTERS SIMILAR TO HY-KO 311 OR EQUIVALENT SHALL BE PLACED AT THE ENTRANCE FROM THE NEAREST PUBLIC ROADWAY. SEE FIRE ORDINANCE FOR STANDARD SIGN.

6A: NEW RESIDENTIAL ADDRESS NUMBERS: BUILDINGS SHALL HAVE INTERNALLY ILLUMNIATED ADDRESS NUMBERS CONTRASTING WITH THE BACKGROUND SO AS TO BE SEEN FROM THE PUBLIC WAY FRONTING THE BUILDING. RESIDENTIAL ADDRESS NUMBERS SHALL BE AT LEAST 6 FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. WHERE BUILDINGS ARE LOCATED REMOTELY TO THE PUBLIC ROADWAY, ADDITIONAL SIGNAGE AT THE DRIVEWAY/ROADWAY ENTRANCE LEADING TO THE BUILDING AND/OR ON EACH INDIVIDUAL BUILDING SHALL BE REQUIRED BY THE COASTISE FIRE PROTECTION DISTRICT. THIS REMOTE SIGNAGE SHALL CONSISTS OF A 6-INCH BY 18-INCH GREEN REFLECTIVE METAL SIGN WITH 3-INCH REFLECTIVE NUMBERS/LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT.

1: ROOF COVERING: AS PER COASTSIDE FIRE DISTRICT ORDINANCE # 2016-03, THE ROOF COVERING OF EVERY NEW BUILDING AND MATERIALS APPLIED AS PART OF A ROOF COVERING ASSEMBLY, SHALL HAVE A MINIMUM FIRE RATING OF CLASS "A" OR HIGHER AS DEFINED IN THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE.

8: <u>AUTOMATIC FIRE SPRINKLER SYSTEM:</u> AS PER SAN MATEO COUNTY BUILDING STANDARDS AND COASTSIDE FIRE DISTRICT ORDINANCE NUMBER 2016-03, THE APPLICANT IS REQUIRED TO INSTALL AN AUTOMATIC FIRE SPRINKLER SYSTEM **THROUGHOUT** THE PROPOSED OR IMPROVED DWELLING AND GARAGE. ALL ATTIC ACCESS LOCATIONS WILL BE PROVIDED WITH A PILOT HEAD ON A METAL UPRIGHT. ALL AREAS THAT ARE ACCESSIBLE FOR STORAGE PURPOSES SHALL BE EQUIPPED WITH FIRE SPRINKLERS INCLUDING CLOSETS AND BATHROOMS. THE ONLY EXCEPTION IS SMALL LINEN CLOSETS LESS THAN 24 SQUARE FEET WITH FULL DEPTH SHELVING. THE PLANS FOR THIS SYSTEM MUST BE SUBMITTED TO THE SAN MATEO COUNTY PLANNING AND BUILDING DIVISION OR THE CITY OF HMB. A BUILDING PERMIT WILL NOT BE ISSUED UNTIL PLANS ARE RECEIVED, REVIEWED AND APPROVED. UPON SUBMISSION OF PLANS, THE COUNTY OR CITY WILL FORWARD A COMPLETE SET TO THE COASTSIDE FIRE DISTRICT FOR REVIEW. THE FEE SCHEDULE FOR AUTOMATIC FIRE SPRINKLER SYSTEMS SHALL BE IN ACCORDANCE WITH COASTSIDE FIRE PROTECTION DISTRICT.

9: INSTALLATION OF UNDERGROUND SPRINKLER PIPE SHALL BE FLUSHED AND VISUALLY INSPECTED BY FIRE DISTRICT PRIOR TO HOOK-UP TO RISER. ANY SOLDERED FITTINGS MUST BE PRESSURE TESTED WITH TRENCH OPEN.

10: EXTERIOR BELL AND INTERIOR HORN/STROBE: REQUIRED TO BE WIRED INTO THE REQUIRED FLOW SWITCH ON YOUR FIRE SPRINKLER SYSTEM. THE BELL, HORN/STROBE AND FLOW SWITCH, ALONG WITH THE GARAGE DOOR OPENER ARE TO BE WIRED INTO A SEPARATE CIRCUIT BREAKER AT THE MAIN ELECTRICAL PANEL AND LABELED.

11: FUTURE OPTION: SOLAR PHOTOVOLTAIC SYSTEMS: THESE SYSTEMS SHALL MEET THE REQUIREMENTS OF THE COASTSIDE FIRE PROTECTION DISTRICT AS OUTLINED IN STANDARD DETAIL DI-001 SOLAR PHOTOVOLTAIC SYSTEMS.

12: FIRE ACCESS ROADS: THE APPLICANT MUST HAVE A MAINTAINED ASPHALT SURFACE ROAD FOR INGRESS AND EGRESS OF FIRE APPARATUS. THE SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS, THE COASTSIDE FIRE DISTRICT ORDINANCE 2013-03 AND THE CALIFORNIA FIRE CODE SHALL SET ROAD STANDARDS. AS PER THE 2016 CFC, DEAD END ROADS EXCEEDING 150 FEET SHALL BE PROVIDED WITH A TURNAROUND IN ACCORDANCE WITH COASTSIDE FIRE DISTRICT SPECIFICATIONS. AS PER THE 2001 CFC, SECTION APPENDIX D, ROAD WIDTH SHALL NOT BE LESS THAN 20 FEET. FIRE ACCESS ROADS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO COMBUSTIBLES BEING PLACED ON THE PROJECT SITE AND MAINTAINED DURING CONSTRUCTION. APPROVED SIGNS AND PAINTED CURBS OR LINES SHALL BE PROVIDED AND MAINTAINED TO IDENTIFY FIRE ACCESS ROADS AND STATE THE PROHIBITION OF THEIR OBSTRUCTION. IF THE ROAD WIDTH DOES NOT ALLOW PARKING ON THE STREET (20 FOOT ROAD) AND ON-STREET PARKING IS DESIRED, AN ADDITIONAL IMPROVED AREA SHALL BE DEVELOPED FOR THAT USE.

13: FIRE APPARATUS ROADS TO BE A MINIMUM OF 20 FEET WIDE WITH A MINIMUM OF 35 FEET CENTERLINE RADIUS AND A VERTICAL CLEARANCE OF 15 FEET CFC503,

FIRE APPARATUS ACCESS ROADS TO BE AN APPROVED ALL WEATHER SURFACE. GRADES 15% OR GREATER TO BE SURFACED WITH ASPHALT, OR BRUSHED CONCRETE. GRADES 15% OR GREATER SHALL BE LIMITED TO 150 FEET IN LENGTH WITH A MINIMUM OF 500 FEET BETWEEN THE NEXT SECTION. FOR ROADS APPROVED LESS THAN 20 FEET, 20 FEET WIDE TURNOUTS SHALL BE ON EACH SIDE OF 15% OR GREATER SECTION. NO GRADES OVER 20%. (PLAN AND PROFILE DECLIBED CEC. F.03)

14: "NO PARKING - FIRE LANE" SIGNS SHALL BE PROVIDED ON BOTH SIDES OF ROADS 20 TO 26 FEET WIDE AND ON ONE SIDE OF ROADS 26 TO 32 FEET WIDE.
COASTSIDE FIRE DISTRICT ORDINANCE #2016-01 SECTION 503.3.1 REQUIRES THE POSTING OF SIGNS EVERY 15 FEET OF TRAVEL OM BOTH SIDES OF THE ROADWAY STATING "NO PARKING FIRE LANE CVC 22500.1"

15: FIRE HYDRANT: AS PER 2016 CFC, APPENDIX B AND C, A FIRE DISTRICT APPROVED FIRE HYDRANT (CLOW 960) MUST BE LOCATED WITHIN 500 FEET OF THE PROPOSED SINGLE-FAMILY DWELLING UNIT MEASURED BY WAY OF DRIVABLE ACCESS. AS PER 2016 CFC, APPENDIX B. THE HYDRANT/STANDPIPE MUST PRODUCE A MINIMUM FIRE FLOW OF 1,000 GALLONS PER MINUTE AT 20 POUNDS PER SQUARE INCH RESIDUAL PRESSURE FOR 2 HOURS. CONTACT THE LOCAL WATER PURVEYOR FOR WATER FLOW DETAILS. (THE APPLICANT SHALL PROVIDE DOCUMENTATION INCLUDING HYDRANT LOCATION, MAIN SIZE AND FIRE FLOW REPORT A THE BUILDING PERMIT APPLICATION STAGE. INSPECTION REQUIRED PRIOR TO THE FIRE'S FINAL APPROVAL OF THE BUILDING PERMIT OR BEFORE COMBUSTIBLES ARE BROUGHT ON SITE).

16: THE REQUIRED FIRE FLOW SHALL BE AVAILABLE FROM A COUNTY STANDARD WET BARREL FIRE HYDRANT. THE CONFIGURATION OF THE HYDRANT SHALL HAVE A MINIMUM OF ONE EACH 4 1/2" OUTLET AND ONE EACH 2 1/2" OUTLET LOCATED NOT MORE THAN 250 FEET FROM THE BUILDING MEASURED BY WAY OF APPROVED DRIVABLE ACCESS TO THE PROJECT SITE.

16A: A ONE HOUR OCCUPANCY SEPARATION WALL SHALL BE INSTALLED WITH A SOLIC CORE, 20 MINUTE FIRE RATED, SELF CLOSINGING DOOR ASSEMBLY WITH SMOKE GASKET BETWEEN THE GARAGE AND THE RESIDENCE. ALL ELECTRICAL BOXES INSTALLED IN RATED WALLS SHALL BE METAL OR PROTECTED

17: CONTACT THE FIRE MARSHALL'S OFFICE TO SCHEDULE A FINAL INSPECTION PRIOR TO OCCUPANCY AND FINAL INSPECTION BY A BUILDING INSPECTOR. ALLOW FOR A MINIMUM OF 12 HOURS NOTICE TO THE FIRE DEPARTMENT

A: <u>VEGETATION MANAGEMENT</u>: THE COASTSIDE FIRE DISTRICT ORDINANCE 2016-01, THE 2016 CALIFORNIA FIRE CODE AND PUBLIC RESOURCES CODE 4291. A FUEL BREAK OF DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. IN SRA (STATE RESPONSIBLE AREA) THE FUEL BREAK IS 100 FEET OR TO THE PROPERTY LINE.

B: TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 TO 10 FEET ABOVE THE GROUND.

NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10 FEET TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.

C: REMOVE THAT PORTION OF ANY EXISTING TREE, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5 FEET OF ANY STRUCTURE.

D: THE INSTALLATION OF AN APPROVED SPARK ARRESTER IS REQUIRED ON ALL CHIMNEYS - EXISTING AND NEW. SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12-GAUGE USA STANDARD WIRE HAVING OPENINGS NOT EXCEEDING 1/2".

E: A FUEL BREAK OR DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES, EXISTING AND NEW, TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES.

F: MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD



CHRIS RIDGWAY ARCHITECT, INC.

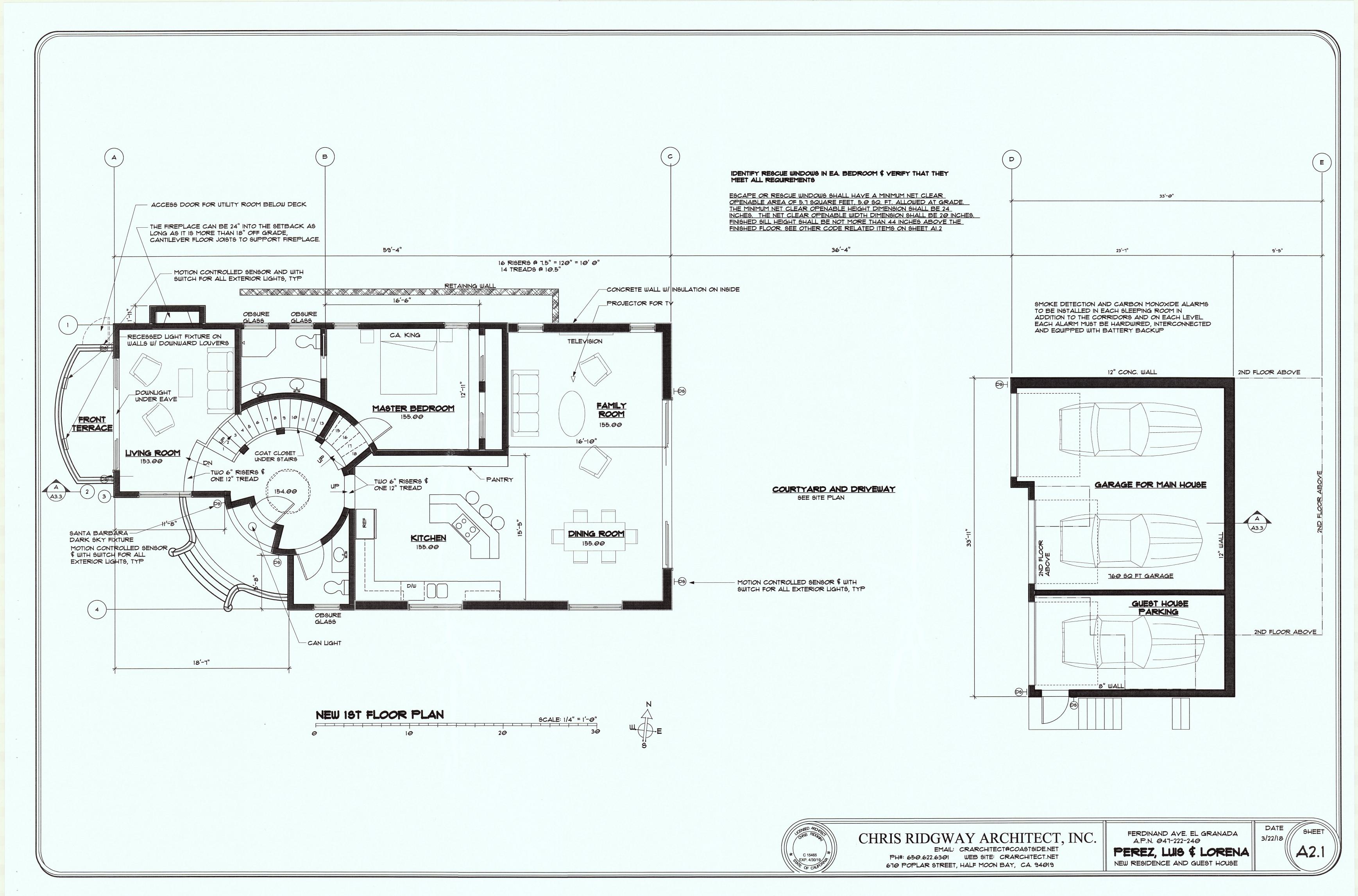
EMAIL: CRARCHITECT@COASTSIDE.NET
PH#: 650.622.6301 WEB SITE: CRARCHITECT.NET
670 POPLAR STREET, HALF MOON BAY, CA. 94019

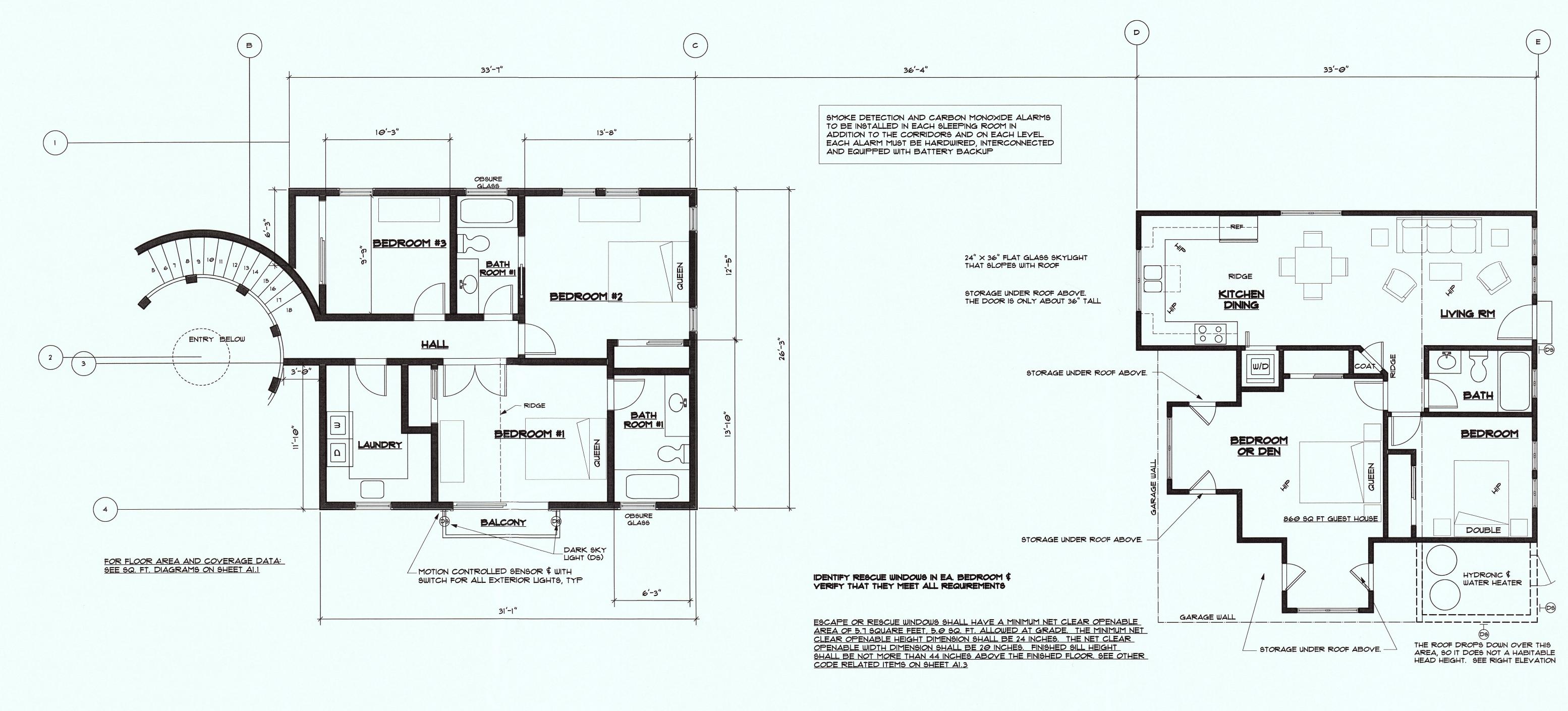
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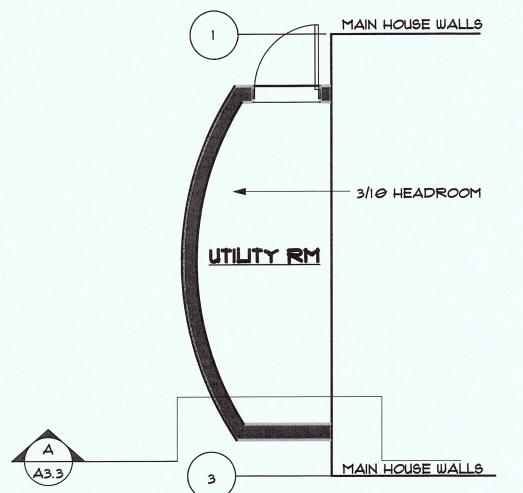


PEREZ, LUIS \$ LORENA NEW RESIDENCE AND GUEST HOUSE

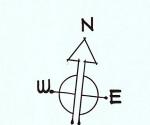






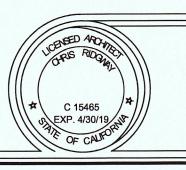


NEW 2ND FLOOR PLAN
9CALE: 1/4" = 1'-0"
9 36



UTILITY ROOM & FRONT TERRACE

9CALE: 1/4" = 1'-0"



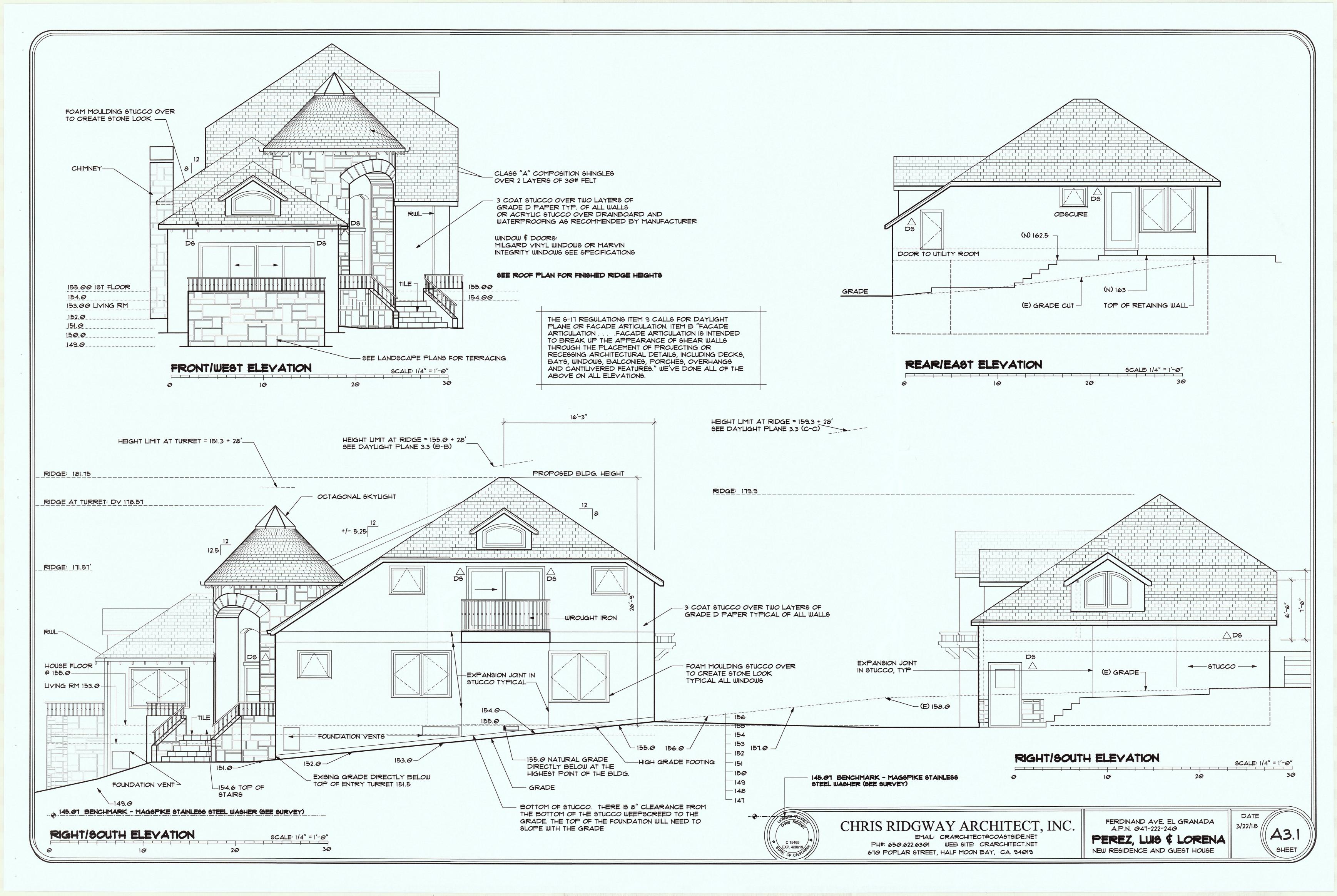
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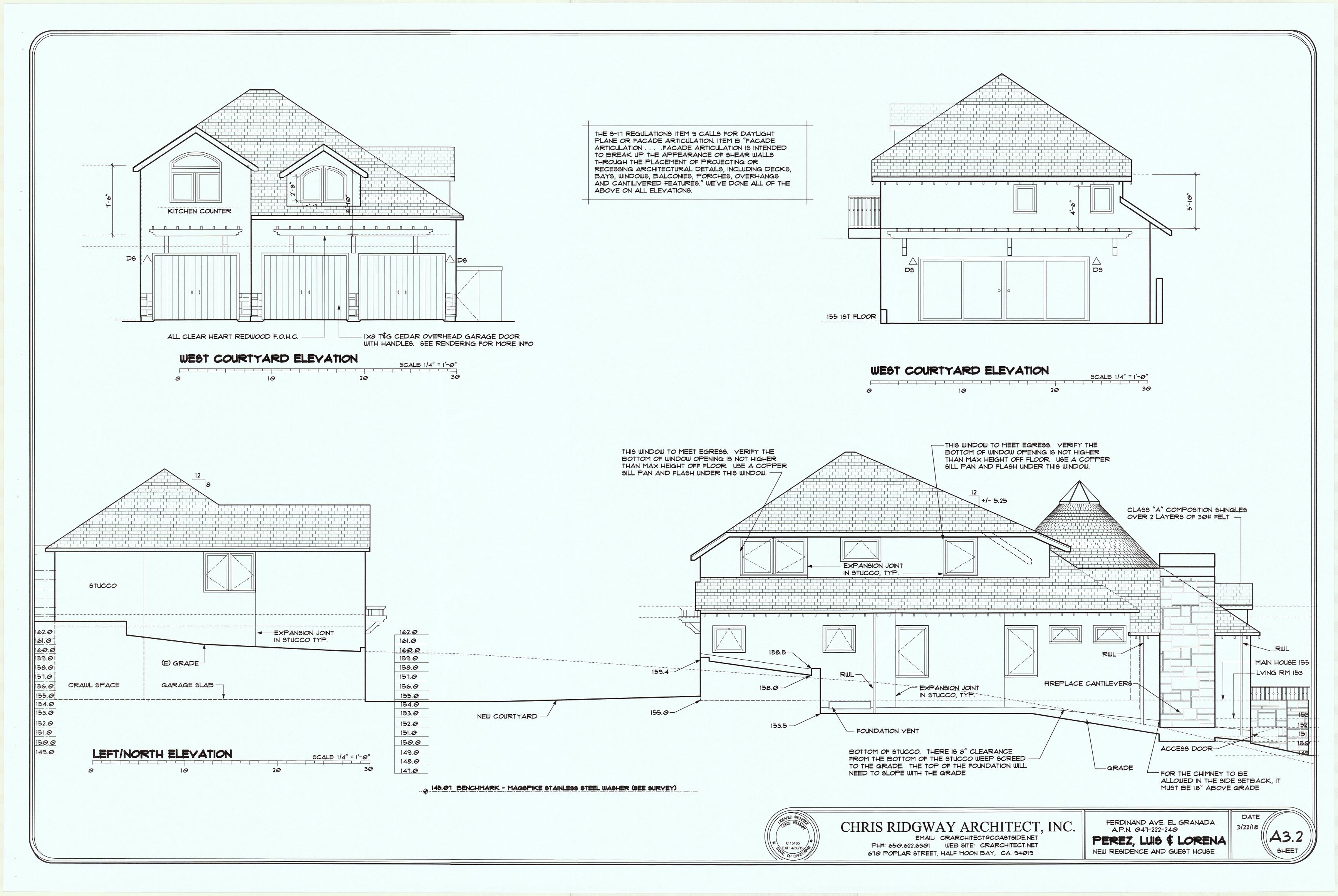
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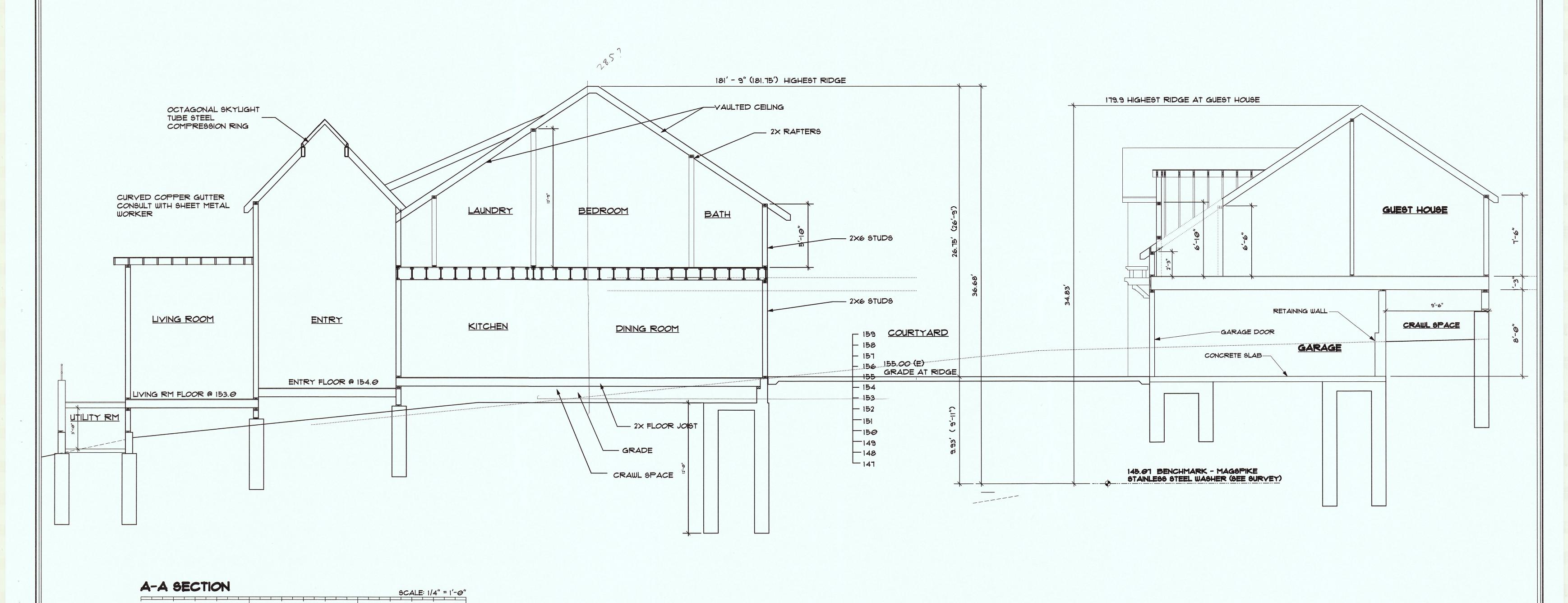
FERDINAND AVE. EL GRANADA A.P.N. 047-222-240 PEREZ, LUIS \$ LORENA

NEW RESIDENCE AND GUEST HOUSE

DATE SHEET 42.2







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STATE OF CALFORN

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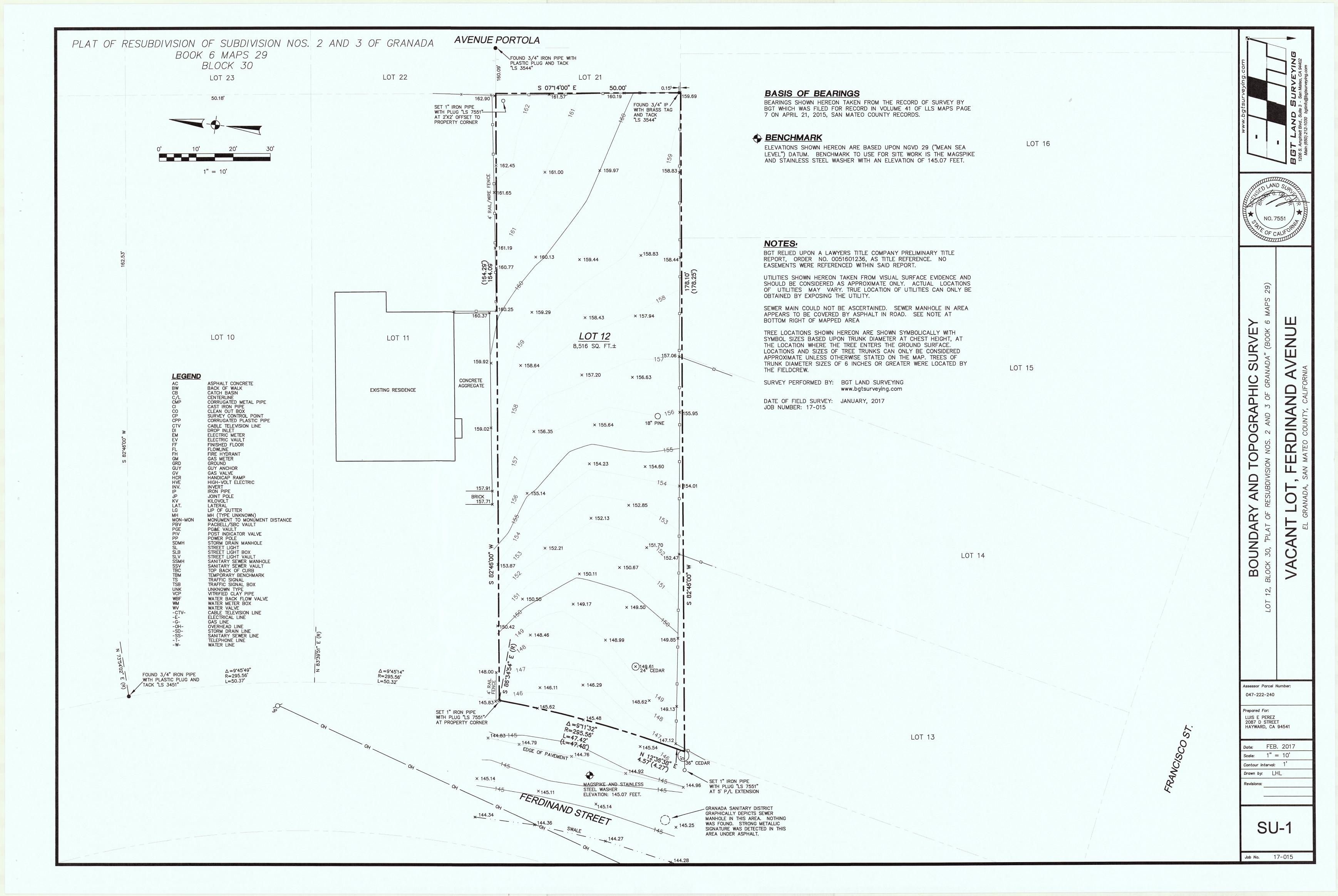
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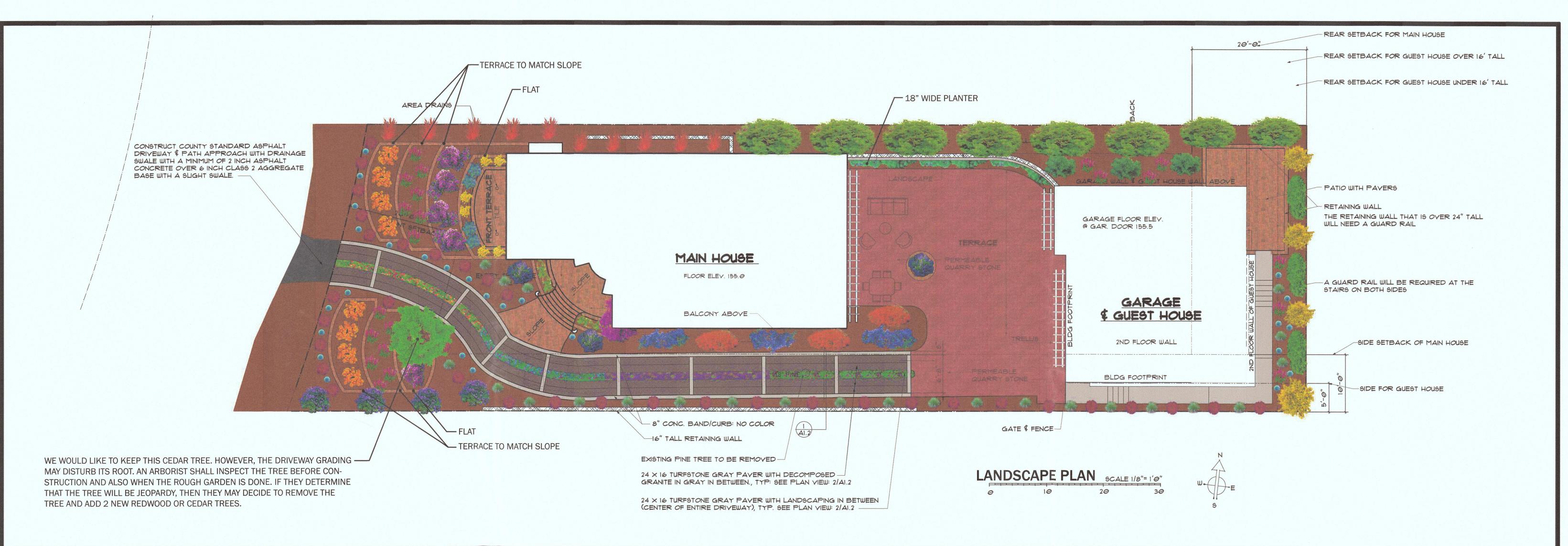
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A.P.N. 047-222-240

PEREZ, LUIS \$ LORENA

NEW RESIDENCE AND GUEST HOUSE

DATE 3/22/18 A3.3 9HEET





	1				GROWTH	1	DECIDUOUS/	CA.	000000
	#	SIZE	NAME	COMMON NAME	RATE	AVG. SIZE	EVERGREEN	NATIVE	COASTAL
ES									7
1									
	1			EXISTING CEDAR					
A second									
4.100	4	15 GAL	CUPRESSES MACROCARPA 'CITRIODORA'	LEMON YELLOW	MODERATE	20HT X 10 FT	EVERGREEN	Х	X
			CHRIODORA	CYPRESS					
And the second		45.041	DADEDEI OMED	DOUGAINIUI I FA	MODEDATE	12HT X 3 FT	DECIDUOUS/		X
	1	15 GAL	PAPERFLOWER	BOUGAINVILLEA	MODERATE	12HI X 3 FI	EVERGREEN		^
IRUBS:									
ITODO.									
	VARIES	1 GAI		VARIOUS	MODERATE	VARIES	EVERGREEN	х	x
- CAR	v, 1111110	ate will like		SUCCULENTS	Rose of 1.4 Apr				
							EVERGREEN/		
	25	1 GAL	FESTUCA GLAUCA	BLUE FESCUE	MODERATE	7IN HT X 10 IN	PERENNIAL	Х	X
	24	1 GAL	FESTUCA MAIREI	ATLAS FESCUE	MODERATE	4HT X 3 FT	EVERGREEN		X
Walks.									
		and the state of t							
	000			FIREWORKS		OLITE V O FFE	DECID/	v	
	36	1 GAL	PENNISETUM SETACEUM	FOUNTAIN GRASS	MODERATE	3HT X 2 FT	EVERGRN	Х	X
							DECIE.		
	5	1 GAL	RHODODENDRON MACROPHYLLUM	CALIFORNIA ROSE- BAY	MODERATE	8HT X 6 FT	DECID/ EVERGRN	Х	X
22									
	21	1 GAL	PENSTEMON 'GARNET'	PENSTEMON	MODERATE	4FT X 2 FT	PERENNIAL		
TIT THE									
	7	1 GAL	ABUTILON PALMERI	INDIAN MALLOW	MODERATE	4HT X 4 FT	EVERGREEN	X	

PLANT LIST GROWTH OF DECIDUOUS/ CA.										
	#	SIZE	NAME	COMMON NAME	RATE	AVG. SIZE	DECIDUOUS/ EVERGREEN	CA. NATIVE	COASTA	
	2	1 GAL	MALACOTHAMNUS FASCICULATUS	MESA BUSHMALLOW	FAST	3-12HT X 6 FT	EVERGREEN	x	X	
12.	6	1 GAL	ACHILLEA	YARROW	MODERATE	8HT X 3 FT	PERENNIAL	х	х	
	10	1 GAL	ERIOGONIUM GRANDE RUBESCENS	RED TWIG DOGWOOD	MODERATE	2HT X 2 FT	EVERGREEN	х	х	
	4	3.5 GAL	HEDERA ALGERIENSIS	ALGERIAN IVY	FAST	CAN CLIMB TO 40FT HT	EVERGREEN		Х	
	2	1 GAL	LUPINUS LONGIFOLIUS	VIOLET BUSH LUPINE	MODERATE	4HT X 4 FT	DECIDUOUS	х	х	
	8	15 GAL	LAURUS NOBILIS	BAY LAUREL	SLOW	12-15HT X 12 FT	EVERGREEN	х	x	
The state of the s	4	5 GAL	ABUTILON X HYBRIDUM 'ROSEUS'	PINK FLOWERING MAPLE	FAST	8-12HT X 8 FT	EVERGREEN / PERENNIAL	х	х	
	3	5 GAL	RIBES VIBURNIFOLIUM	CALLUNA EVERGREEN CURRANT	MODERATE	3HT X 5 FT	EVERGREEN	х	х	
	3	1 GAL	RHAMNUS CALIFORNICA 'MOUND SAN BRUNO'	COFFEEBERRY	MODERATE	4HT X 6 FT	EVERGREEN	х	С	
*3	9		ZAUSCHNERIA (EPILOBIUM) CALIFORNIA 'MEXICANA'	CALIFORNIA FUCHSIA	MODERATE	2HT X 2 FT	EVERGREEN	х	x	

	#	SIZE	NAME	COMMON NAME	GROWTH RATE	AVG. SIZE	DECIDUOUS/ EVERGREEN	CA. NATIVE	COASTAL
GROUNDCOVER	<u>}:</u>								
	3	1 GAL	CEANOTHUS GRISEUS HORIZONTALIS 'YANKEE POINT'	CARMEL CREEPER	MODERATE	2HT X 8 FT	EVERGREEN	х	X
	8	FLATS	THYMUS PRAECOX	CREEPING THYME	MODERATE	4HT X 6 FT	EVERGREEN	х	х
	8	FLATS	ARCTOSTAPHYLOS UVA-URS	POINT REYES MANZANITA	MODERATE	5IN.HT X 10IN.	EVERGREEN	x	x
	8	FLATS	FRAGARIA VESCA	WOODLAND STRAWBERRY	MODERATE	8IN. HT X 7 FT	PERENNIAL	x	х
	8	FLATS	PORTULACA GRANDIFLORA	MOSS ROSE	MODERATE	8IN. HT X 1.5 I	PERENNIAL		х

GENERAL NOTES:

1. NO IRRIGATION SYSTEM TO BE INSTALLED

2. A MINIMUM THREE INCH (3) LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

3. PRIOR TO PLANTING, 4 YARDS OF COMPOST MUST BE INCORPORATED PER 1000 SQ. FT. OF PERMEABLE LANDSCAPE AREA.



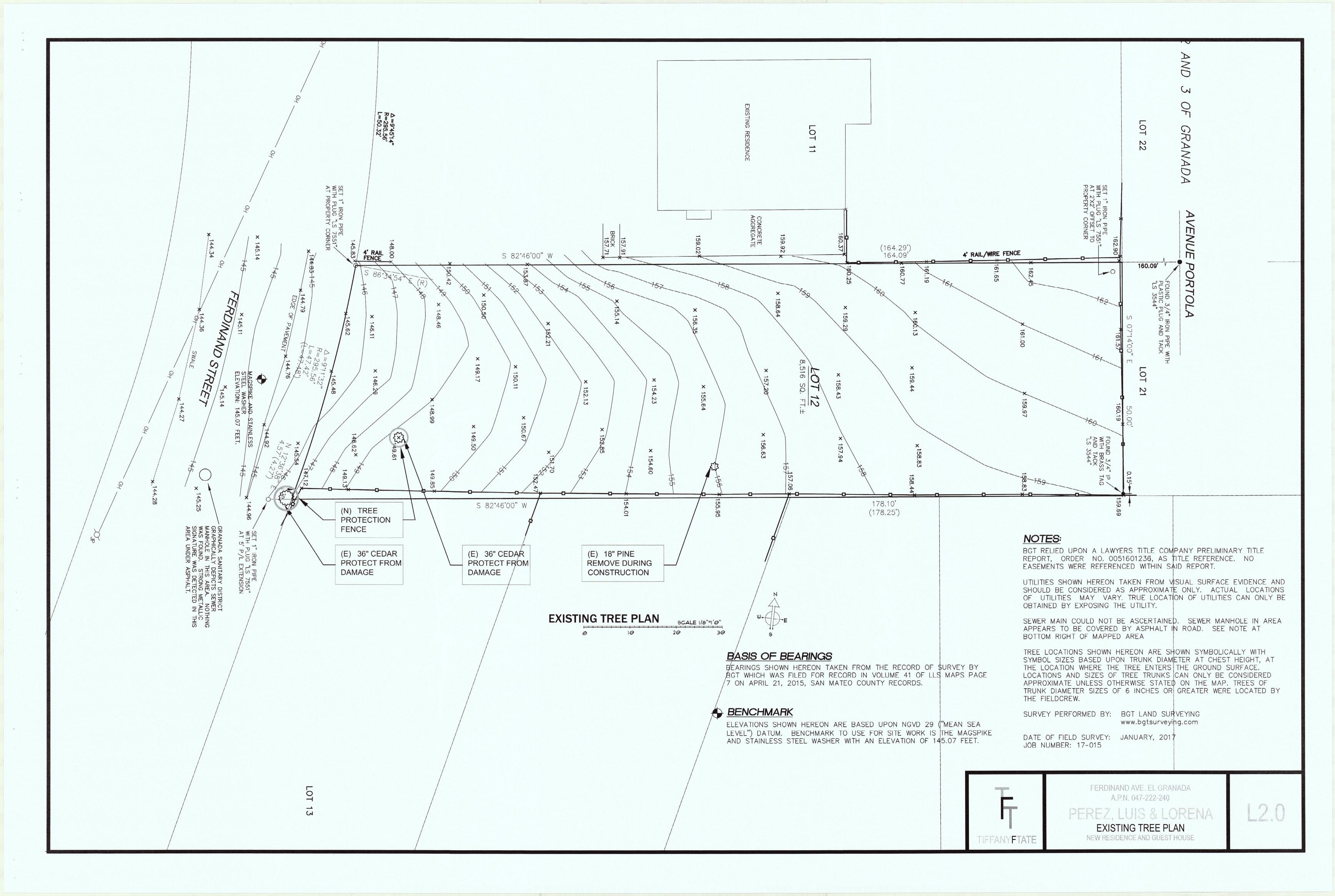
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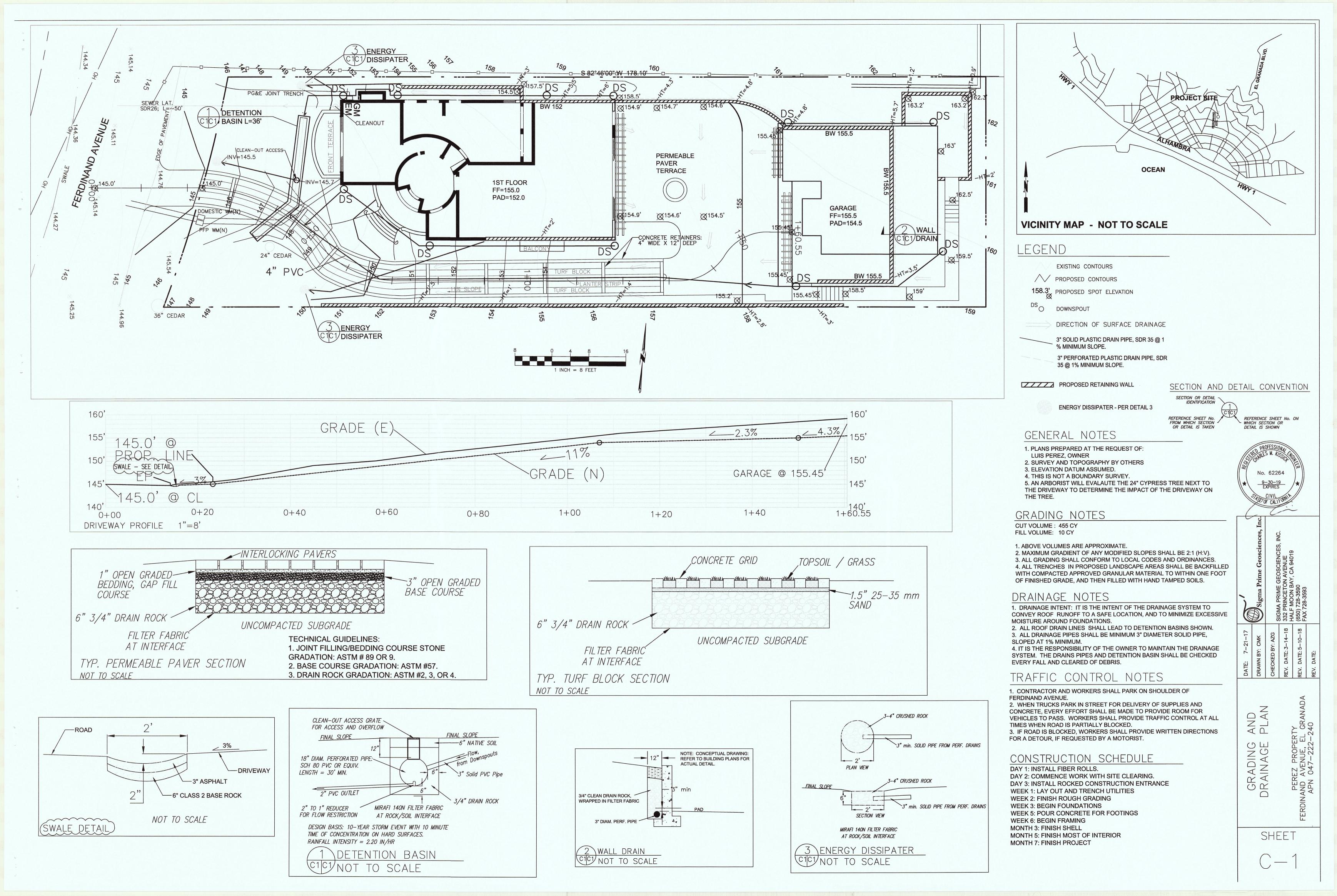
PEREZ, LUIS & LORENA

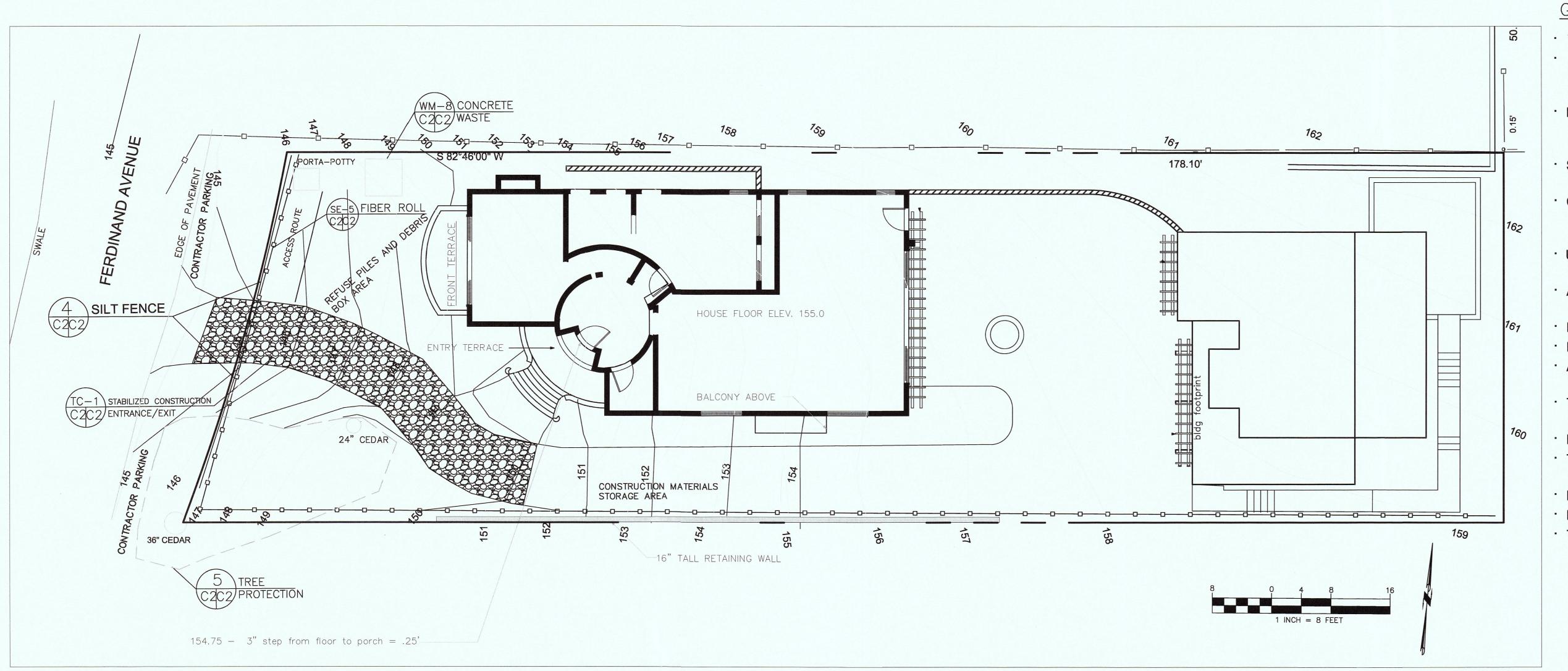
LANDSCAPE PLAN

NEW RESIDENCE AND GUEST HOUSE

L1.0







GENERAL EROSION AND SEDIMENT CONTROL NOTES

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
 - Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- · Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- · Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- · Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site
- The tree protection shall be in place before any grading, excavating or grubbing is started.

SECTION AND DETAIL CONVENTION

EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE

AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS



CONSTRUCTION SCHEDULE

DAY 3: INSTALL ROCKED CONSTRUCTION ENTRANCE

WEEK 5: POUR CONCRETE FOR FOOTINGS

Vertical spacing measured along the face of the slope

ENTRENCHMENT DETAIL

If more than one fiber roll is placed in a row, the rolls must be overlapped, not abutted

MONTH 3: FINISH SHELL

MONTH 5: FINISH MOST OF INTERIOR

PEREZELECTRICAL@ATT.NET

ARE REQUIRED.

SE-5

Note: Install fiber roll

NAME: LUIS PEREZ

TITLE/QUALIFICATION: OWNER

EROSION CONTROL NOTES

INSTALL AT LOCATIONS SHOWN AFIX AS SHOWN IN DETAIL SE-5

I. GRADING MAY NOT TAKE PLACE DURING THE WET SEASON AFTER OCTOBER 1 UNLESS REQUESTED AND APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR. 2. EVEN WITH PERMISSION TO GRADE DURING THE WET SEASON, NO

GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN. 3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.

4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL. 5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE. 6. ROCKED CONSTRUCTION ENTRANCE SHALL BE 50 FEET LONG BY 24 FEET

WIDE AND CONFORM TO THE FOLLOWING: A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 6 INCH STONE B. PAD SHALL BE NOT LESS THAN 12" THICK.

C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY. D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE

SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED. IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA. 7. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE)

SHEET

DAY 1: INSTALL FIBER ROLLS. DAY 2: COMMENCE WORK WITH SITE CLEARING WEEK 1: LAY OUT AND TRENCH UTILITIES

WEEK 2: FINISH ROUGH GRADING WEEK 3: BEGIN FOUNDATIONS

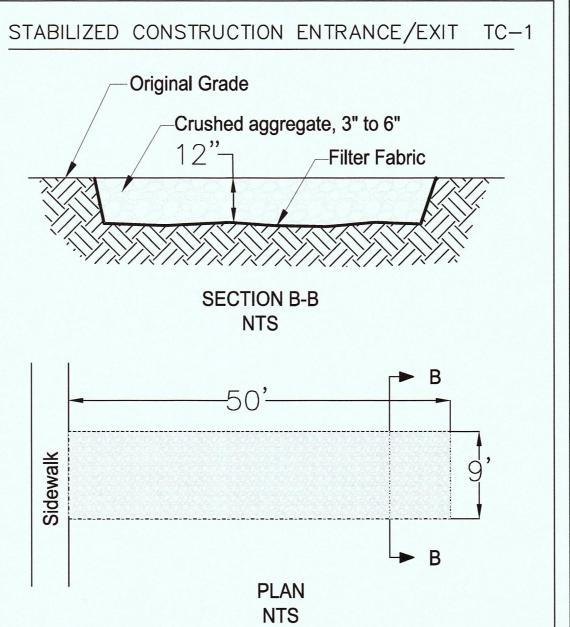
WEEK 6: BEGIN FRAMING

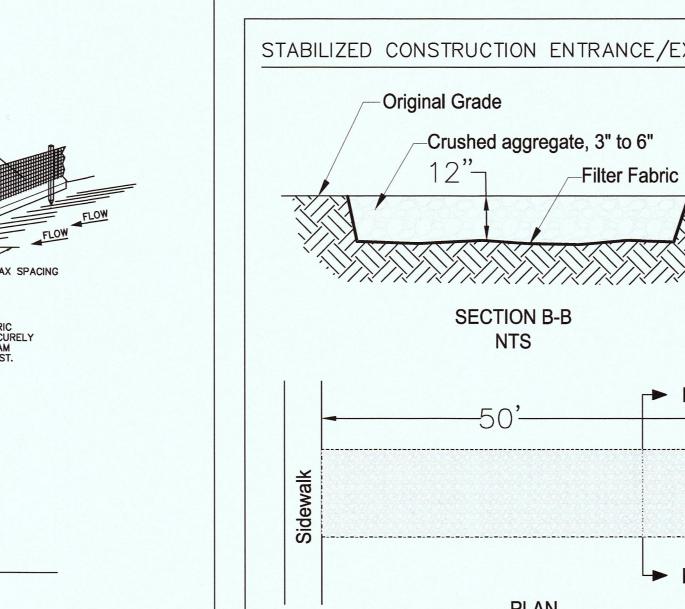
MONTH 7: FINISH PROJECT

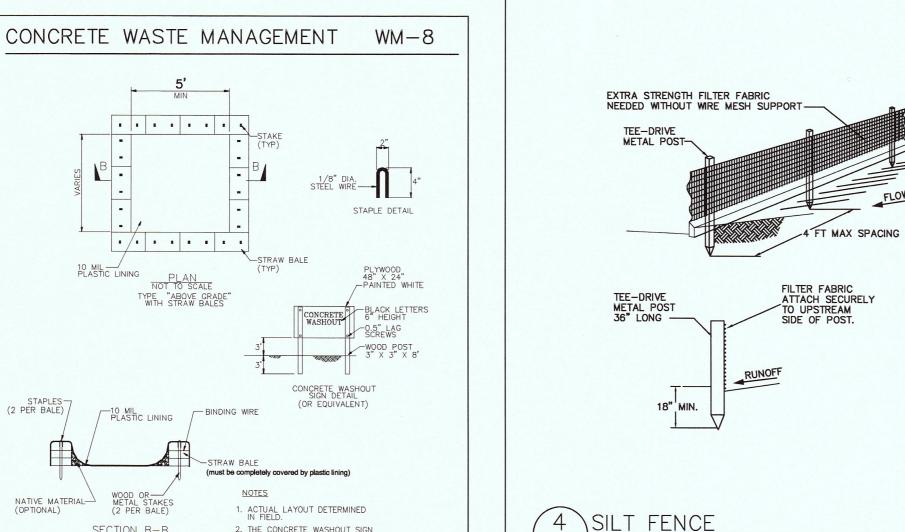
FIBER ROLLS

EXTRA STRENGTH FILTER FABRIC

C2C2 NOT TO SCALE







TREE PROTECTION FENCE:

POLYEHTYLENE FENCING

COLOR ORANGE. STEEL POSTS INSTALLED AT 8' O.C

2" X 6' STEEL POSTS OR

- 5" THICK LAYER OF MULCH

MAINTAIN EXISTING GRADE

INDICATED ON THE PLANS.

OPERATE INSIDE THE PROTECTIVE FENCING

INSTALLATION AND REMOVAL.

5 TREE PROTECTION

TREE PROTECTION NOTES

1. TREE PROTECTION FENCING SHALL BE INSTALLED

2. TREE PROTECTION FENCES SHALL BE INSTALLED

PRIOR TO ANY GRADING AND REMAIN ON-SITE

THROUGHOUT CONSRUCTION PROCESS.

AS CLOSE TO DRIP LINES AS POSSIBLE.

EQUIPMENT WITHIN THESE AREAS.

MONITORED AND DOCUMENTED.

SAW OR TOPPER.

PERMIT.

3. OWNER/BUILDER SHALL MAINTAIN TREE

PROTECTION ZONES FREE OF EQUIPMENT AND

BE INSPECTED BY A CERTIFIED ARBORIST OR

MATERIALS STORAGE AND SHALL NOT CLEAN ANY

4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL

REGISTERED FORESTER PRIOR TO CUTTING, AND

5. ROOTS TO BE CUT SHALL BE SEVERED WITH A

6. PRE-CONSTRUCTION SITE INSPECTION WILL BE

7. AN ARBORIST WILL EVALAUTE THE 24" CYPRESS

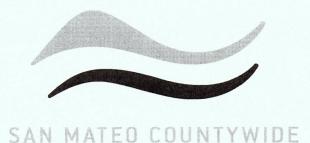
TREE NEXT TO THE DRIVEWAY TO DETERMINE THE

REQUIRED PRIOR TO ISSUANCE OF BUILDING

IMPACT OF THE DRIVEWAY ON THE TREE.

C2C2/NOT TO SCALE

WITH THE TREE PROTECTION



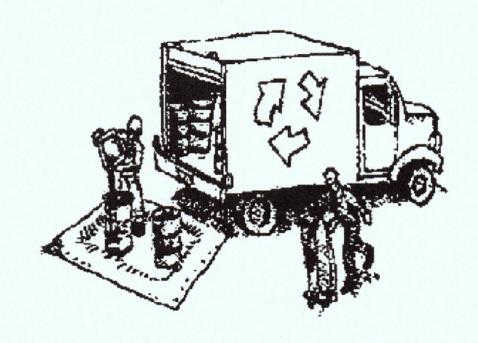
Construction Best Management Practices (BMPs)

Water Pollution Prevention Program

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Clean Water. Healthy Community.

Materials & Waste Management



Non-Hazardous Materials

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ☐ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



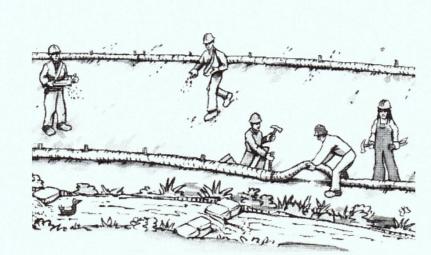
Maintenance and Parking

- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

Spill Prevention and Control

- ☐ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthwork & Contaminated Soils



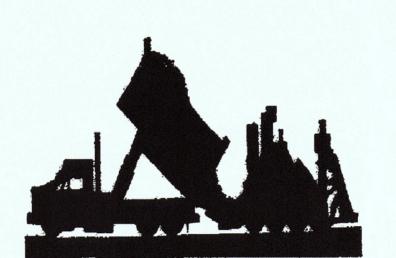
Erosion Control

- ☐ Schedule grading and excavation work for dry weather only.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- ☐ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ☐ Keep excavated soil on the site where it will not collect into the street.
- ☐ Transfer excavated materials to dump trucks on the site, not in the street.
- ☐ Contaminated Soils
- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
- Unusual soil conditions, discoloration, or odor.
- Abandoned underground tanks.
- Abandoned wells
- Buried barrels, debris, or trash.

Paving/Asphalt Work

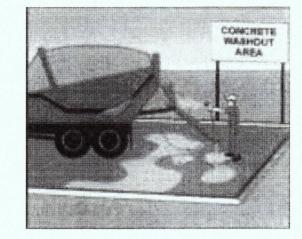


- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

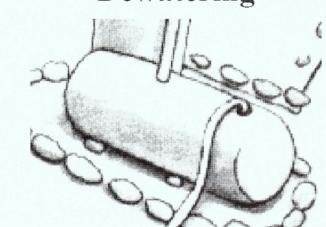
- ☐ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



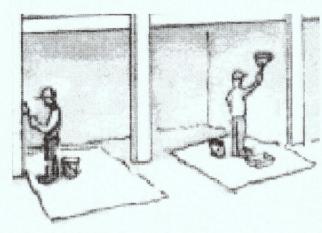
- ☐ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

Dewatering



- ☐ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

Painting & Paint Removal



Painting cleanup

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- ☐ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint removal

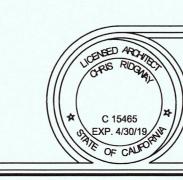
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

Landscape Materials



- ☐ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ☐ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



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3/22/18 BMPI

SHEET

DATE

