

0.14 0 0.07 0.14 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:4,513



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Planning Permit Application Form

455 County Center, 2nd Floor • Redwood City CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849
www.co.sanmateo.ca.us/planning

PLN: 2017-00447

BLD:

Applicant/Owner Information

Applicant: Edward C Love, Architect

Mailing Address: 720 Mill St

Half Moon Bay

Phone, W: 6507287615

E-mail Address: edwardclovearch@gmail.com

RECEIVED

OCT 20 2017

Zip: 94019

H:

FAX:

San Mateo County
Planning and Building Department

Name of Owner (1): Bruce Seaman

Mailing Address: ~~65 Alcatraz Ave~~

Half Moon Bay

Phone, W: 6507266888

E-mail Address: bseaman@att.net

Zip: 94019

H:

Name of Owner (2):

Mailing Address:

Phone, W:

H:

E-mail Address:

Zip:

Project Information

Project Location (address):

Avenue Portola

El Granada, CA

Zoning: R-1/S-17/CD/DR

Assessor's Parcel Numbers: 47 — 243 — 60

Parcel/lot size: 5,000

SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)

Single family dwelling, 2,650 SQ. FT. WOOD FRAME, 3 STORIES, W/ ATTACHED GARAGE, CARTAKER'S QUARTERS, ELEVATOR

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):

Undeveloped lot, UPSLOPE, BUSH, 5 PINES TO BE REMOVED

Describe Existing Structures and/or Development:

None

Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature:

Bruce Seaman 10/20/17

Owner's signature:

Applicant's signature:

Ed C Love 9/12/17

Application for Design Review by the County Coastside Design Review Committee

RECEIVED

County Government Center • 455 County Center • Redwood City CA 94063
Mail Drop PLN 122 • 650 • 363 • 4161 • FAX 650 • 363 • 4849

Permit #: PLN 2017-00447
OCT 20 2017
Other Permit #: _____

San Mateo County
Planning and Building Department

Applicant:

Name: EDWARD C. LOVE, ARCH.
Address: 720 MILL STREET
HALF MOON BAY Zip: 94019
Phone, W: 650-728-7445 H: 650-728-1723
Email: edwardclovearch@gmail.com

Owner (if different from Applicant):

Name: BRUCE SEAMAN
Address: P.O. Box 756
EL GRANADA Zip: 94018
Phone, W: 650-726-6688 H: _____
Email: bseaman@att.net

Architect or Designer (if different from Applicant):

Name: _____
Address: _____ Zip: _____
Phone, W: _____ H: _____ Email: _____

2. Project Site Information

Project location:

APN: 047-243-060
Address: TBD
EL GRANADA Zip: 94018
Zoning: R-1/S-17/CD/DR
Parcel/lot size: 50' x 100' sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe): _____

3. Project Description

Project:

- New Single Family Residence: 2,650 sq. ft.
- Addition to Residence: _____ sq. ft.
- Other: _____

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit X
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Describe Project:

3 STORY, WOOD FRAME, SINGLE FAMILY RESIDENCE W/ CARE-TAKERS QUARTERS ON 1ST FLOOR & 2 CAR ATTACHED GARAGE
5 TREES TO BE REMOVED

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	<u>HARDIE PLEAK SIDING</u>	<u>MOUNTAIN SAGE</u>	<input type="checkbox"/>
b. Trim	<u>HARDIE TRIM</u>	<u>BENJAMIN-MOORE BROADWAY</u>	<input type="checkbox"/>
c. Windows	<u>MILGARD VINYL</u>	<u>WHITE</u>	<input type="checkbox"/>
d. Doors	<u>WOOD</u>	<u>NATURAL STAIN</u>	<input type="checkbox"/>
e. Roof	<u>STANDING SEAM METAL</u>	<u>DARK GREY</u>	<input type="checkbox"/>
f. Chimneys	<u>NA</u>		<input type="checkbox"/>
g. Decks & railings	<u>HANDY DECK TILES</u> <u>GLASS RAILINGS</u>	<u>IPE NATURAL</u>	<input type="checkbox"/>
h. Stairs	<u>CONCRETE</u>		<input type="checkbox"/>
i. Retaining walls	<u>CONCRETE</u>	<u>GRAY</u>	<input type="checkbox"/>
j. Fences	<u>REDWOOD</u>	<u>NATURAL</u>	<input type="checkbox"/>
k. Accessory buildings	<u>N.A.</u>		<input type="checkbox"/>
l. Garage/Carport	<u>ATTACHED</u>		<input type="checkbox"/>

Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

Signatures

Bruce Sean
Owner:

Ed AC Jove
Applicant:

10/20/17
Date:

9/12/17
Date:

Planning and Building Department

455 County Center, 2nd Floor • Redwood City, CA • 94063
 Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

**Certificate of Exemption
 or Exclusion from a Coastal
 Development Permit**

Permit #: PLN 2017-00447

OCT 20 2017

Permanent Record
 Microfilming Required

Permit #: BLD _____ San Mateo County

1. Basic Information

Owner

Name: BRUCE SEAMAN

Address: P.O. Box 756

EL GRANADA Zip: 94018

Phone: W 650-726-6688

Email Address: bseaman@att.net

Applicant

Name: EDWARD C. LOVE, ARCH.

Address: 720 MILL STREET

HALF MOON BAY Zip: 94019

Phone: W 650-728-7615 H 650-728-1723

Email Address: edwardclovearch@gmail.com

2. Project Information

Project Description:

3 STORY, WOOD FRAME, SINGLE
 FAMILY RESIDENCE W/CARTRAKE
 QUARTERS ON 1ST FLOOR,
 2 CAR ATTACHED GARAGE.
 5 PINE TREES TO BE REMOVED

Assessor's Parcel Number(s):

047-243-060

Existing water source:

- Utility connection _____
- Well _____

Proposed water source:

- Utility connection CCWD
- Well _____

Staking of well location and property lines are required.

- Provide site plan depicting location and all trees.
- Will this require any grading or vegetation/tree removal? Yes No

If Yes, additional permits may be required. Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.

3. Signatures

We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we hereby agree to carry out this project in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance.

Bruce Seaman _____ 10/20/17 _____
 Owner Date

Ed C. Love _____ 9/12/17 _____
 Applicant Date

(Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)

Staff Use Only

4. Basis of Exemption or Exclusion

Use attached review sheet to determine basis of exemption and whether project qualifies. Review basis of exemption with applicant/owner and initial appropriate category below:

Initial _____

- ___ A. Improvements to Existing Single Family Residence. [PRC 30610(a), CCAG 13250, ZR 6328.5(a)]
- ___ B. Improvements to Existing Structure Other Than Single Family Residence or Public Works Facility. [PRC 30610(b), CCAG 13253, ZR 6328.5(b)]
- ___ C. Existing Navigation Channel. [PRC 30610(c), ZR 6328.5(c)]
- ___ D. Repair or Maintenance Activity. [PRC 30610(d), CCAG 13252, ZR 6328.5(d)]
- ___ E. Single Family Residence Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, AB 643, ZR 6328.5(e)]

- ___ F. Agriculturally-Related-Development-Categorical-Exclusion Area. [PRC 30610(e), CCAG 13240, ORDERS E-79-7 and E-81-1, ZR 6328.5(e)]
- ___ G. Utility Connections. [PRC 30610(f), ZR 6328.5(f)]
- ___ H. Replacement of Structures Following Disasters. [PRC 30610(g), ZR 6328.5(g)]
- ___ I. Emergency Activities. [PRC 30611, ZR 6328.5(h)]
- ___ J. Lot Line Adjustment. [ZR 6328.5(i)]
- ___ K. Land Division for Public Recreation Purposes. [ZR 6328.5(j)]

5. Well Inspection - All Coastal Zone Areas

- Required Not Required

Inspection made by: _____

Date of Inspection: _____

Yes	No
<input type="checkbox"/>	<input type="checkbox"/> Removal of trees?
<input type="checkbox"/>	<input type="checkbox"/> If Yes, is tree removal permit included?
<input type="checkbox"/>	<input type="checkbox"/> Trimming of trees?
<input type="checkbox"/>	<input type="checkbox"/> Excessive removal of vegetation?
<input type="checkbox"/>	<input type="checkbox"/> Excessive grading? (If Yes, CDP is required)
<input type="checkbox"/>	<input type="checkbox"/> Erosion control plan required?

Approval of Permit is subject to the following: (check if applicable)

- Submittal and Approval of a Tree Removal Permit
- Submittal and Approval of a Grading Permit
- Submittal and Approval of an Erosion Control Plan
- Submittal and Approval of a Coastal Dev. Permit

6. Approval

I have reviewed the above-described project and have determined that it meets all criteria for the exemption/exclusion checked above.

Exemption/Exclusion is approved.

Planning Department _____

Date _____

Project is subject to the following condition(s) of approval: _____

7. Processing

- ___ Fee collected
- ___ Original Certificate of Exemption to Building Inspection file.
- ___ Copies of Certificate of Exemption to:
 1. Applicant/Owner.
 2. Planning Department Exemption Binder.

- 3. Any relevant Planning or Building Inspection files.
- 4. California Coastal Commission, 45 Fremont Street, Suite 2000, San Francisco, CA 94105

___ Update Permit*Plan Case Screen and Activities

Environmental Information Disclosure Form

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PLN 2017-00447

OCT 20 2017

Project Address: AVE. PORTOLA
EL GRANADA

San Mateo County
Planning and Building Department

Name of Owner: BRUCE SEAMAN
Address: P.O. BOX 756, EL GRANADA 94018
Phone: _____

Assessor's Parcel No.: 047 - 243 - 060

Name of Applicant: EDWARD C. LOUIE, ARCH
Address: 720 MILL ST, H.M.B.
Phone: 650-728-7615

Zoning District: R-1/S-17

Existing Site Conditions

Parcel size: 50x100, 5,000 SQ.FT

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). AVG. 18% UPSLOPE, 4 SIGNIFICANT PINE TREES IN POOR HEALTH TO BE REMOVED. SEE ARBORIST'S REPORT

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input checked="" type="checkbox"/>		d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? <u>5 PINES IN POOR HEALTH</u>
		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation: <u>245</u> c.y. Fill: <u>- 0 -</u> c.y.
	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

3 PINES ARE IN THE FOOTPRINT OR IMMEDIATELY ADJACENT TO THE HOUSE. 2 PINES IN THE REAR YARD ARE IN POOR HEALTH. SEE ARBORIST'S REPORT.

Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
	X	a. Construction outside of the footprint of an existing, legal structure?
	X	b. Exterior construction within 100-feet of a stream?
	X	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
	X	d. Land-use within a riparian area?
	X	e. Timber harvesting, mining, grazing or grading?
	X	f. Any work inside of a stream, riparian corridor, or shoreline?
	X	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
	X	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
	X	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.



I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: Ed J. Cove
 (Applicant may sign)

Date: 9/12/17

PLN 2017-00447



MILGARD VINYL
WINDOWS
IVORY



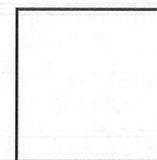
HARDIE PLANK
LAP SIDING
MOUNTAIN SAGE



BENJAMIN MOORE
BROADWAY



STANDING SEAM
METAL ROOF
DARK GRAY



TRIM
WHITE

REVISION



Edward C. Love
Architect
720 MILL STREET



DATE: _____
SCALE: _____
DRAWN: _____
JOB: _____
SHEET: _____

PLN 2017-00447

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Bronze 7" High Outdoor Dark Sky Tube Light

Style # 21618

[Read 3 Reviews](#) [Write a Review](#)

Adaptable for any decor, this Kichler outdoor light makes a wonderful home accent.

\$58.00 *FREE SHIPPING & FREE RETURNS**

[Low Price Guarantee](#)

QTY: 1

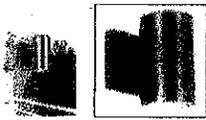
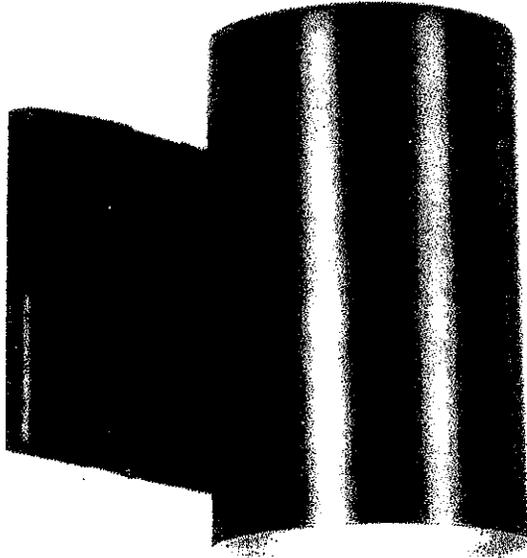
[In Stock](#) | [Ships in 1 to 2 Days](#) | [Check Store Availability](#)

[Live Chat](#) [Personal Callback](#)

Clean, modern design, yet adaptable for any decor, this outdoor wall light with a bronze finish makes a wonderful home accent.

- Bronze finish.
- Design by Kichler lighting.
- Takes one 60 watt bulb (not included).
- 7" high.
- 4 1/2" wide.
- Extends 7" from the wall.
- Dark Sky compliant.

KICHLER



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San Mateo County
Planning and Building Department

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\$68.00



\$112.00



\$137.30



\$150.91



\$150.91

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GENERAL NOTES

A. Before submitting a proposal for this work, the bidder shall visit the site and learn the existing conditions. He shall examine the plans and specifications and base his bid on them. During construction, no changes from plans and specifications shall be made without written consent of the Architect and Owner. Structural changes must be approved by the Architect and Structural Engineer.

B. The General Contractor (G.C.) shall obtain and pay for all permits (except those paid for by the Owner) and licenses and shall give all notices. The G.C. is required to comply with all current Codes, Ordinances, & Regulations related to this project. Any conflict between drawings, specifications and ordinances shall be immediately referred to the Architect in writing. The G.C. for this work shall be currently licensed by the State of California. The employees and Subcontractors used by the G.C. to construct and finish the work shown on the plans must all be skilled workmen under the directions of a competent foreman. The G.C. shall continuously maintain adequate protection of all work from damage and shall protect the Owner's property and adjacent property from injury, damage, or loss arising from this contract. Sales tax shall be paid by the G.C. and included in the bid.

C. The G.C. shall, at all times, keep the premises and streets free of waste and rubbish caused by the work, and at completion, shall remove all rubbish, surplus materials and equipment and leave the work 'broom clean'. The G.C. shall verify the location of all existing underground utilities prior to excavation and shall maintain, keep in service, and protect against damage, all existing utilities and city services during construction. Any existing utilities to be abandoned shall be properly disconnected, plugged, or capped as required by code and/or sound construction practices. G.C. to provide an operation and maintenance manual to occupant or owner.

D. The Owner may order extra work or make changes by altering, adding to, or deducting from the work. The Contract sum shall be adjusted accordingly and adequate records shall be kept by the G.C. to substantiate any additional charges. All such work shall be executed under the conditions of the original Contract Documents.

E. The Owner shall not be liable or responsible for any accident, loss, injury, or damages happening or accruing during the term of the performance of the work and in connection therewith, to persons and/or property. The G.C. shall have in full force and effect during the life of this Contract, full coverage Liability and Workmen's Compensation Insurance, which shall comply with California laws and will not be canceled or changed during the term of this Contract without notice being given to the Owner, and shall require all intermediate and Subcontractors to take out and maintain similar policies of insurance. All such policies shall be with insurance companies acceptable to the Owner. Unless expressly stated otherwise, the Owner will take out and carry a comprehensive insurance policy including fire, extended coverage, vandalism and malicious mischief protecting both his interest and that of the G.C.

F. In addition to guarantees called for elsewhere in these specifications, the G.C. shall guarantee "fit and finish" work for a period of one (1) year after notice of completion is filed, against defective materials or faulty workmanship, that is discovered and reported within that period. The warranty period for latent defects is 10 years.



G. In general the drawings will indicate dimensions, position, type of construction, specifications, qualities and methods. Any work indicated on the drawings, and not mentioned in the specifications, or vice versa, shall be furnished as though fully set forth in both. Work not particularly detailed, marked, or specified shall be the same as similar parts that are detailed, marked or specified. The larger the scale of the drawing, the more precedent, i.e.: 3 inches per foot scale governs 1/4 inch per foot scale. Written dimensions on these drawings shall have precedence over scaled dimensions. Written dimensions are approximate and must be verified by G.C. The G.C. shall verify, and be responsible for all existing conditions and dimensions prior to, and during, all phases of work.

H. If any Subcontractor finds any lack of information, discrepancy, and/or omissions in these drawings, or if the Subcontractor is unclear as to the drawings' meaning and/or intent, the Subcontractor shall contact the G.C., who shall then contact the Architect at once for interpretation and/or clarification before proceeding with that portion of the work.

I. The G.C. shall provide adequate concealed blocking and anchoring for all ceiling- and wall-mounted equipment, hardware, fixtures, and accessories.

J. All products listed in these drawings by ICBO/NER number shall be installed per the report and manufacturer's written instructions. Product substitution for products listed shall also have an ICBO/NER-approved written evaluation report and be approved and listed by other nationally-recognized testing agencies.

K. Exterior openable windows and doors shall be weatherstripped. All open joints, penetrations, and other openings in the building envelope shall be sealed, caulked, gasketed, and/or weatherstripped to limit, or eliminate, air leakage.

L. See structural sheets for structural materials, dimensions and details.

M. See attached Title 24 forms and/or calculation for project energy efficiency requirements.

N. Upon request, verification of compliance with the relevant Codes may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the Building Official which show substantial conformance.

SITE DATA

APN: 047-243-060
ZONING: R-1/5-17/CD/DR
TYPE OF CONSTRUCTION: V-B
PLN2017-00447

OWNER:
BRUCE SEAMAN
65 ALCATRAZ AVE
HALF MOON BAY, CA 94019

ARCHITECT:
EDWARD C LOVE, ARCHITECT
720 MILL ST
HALF MOON BAY, CA 94019

APPLICABLE CODES

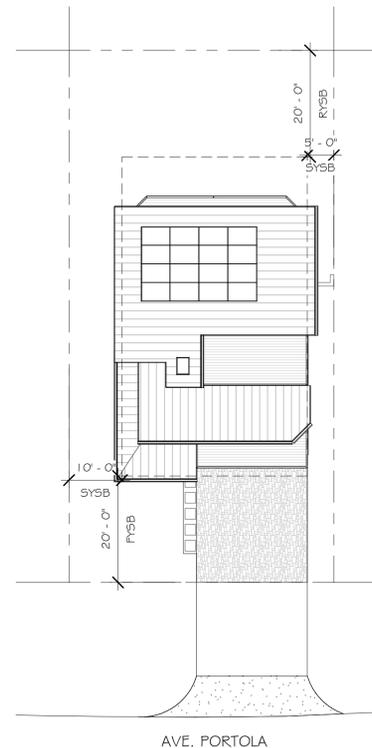
SAN MATEO COUNTY

SAN MATEO COUNTY ZONING AND BUILDING ORDINANCES
2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA BUILDING CODE AND AMENDMENTS
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA FIRE CODE
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
ANY APPLICABLE COUNTY CODES, ORDINANCES, OR AMENDMENTS TO THE CALIFORNIA BUILDING CODE

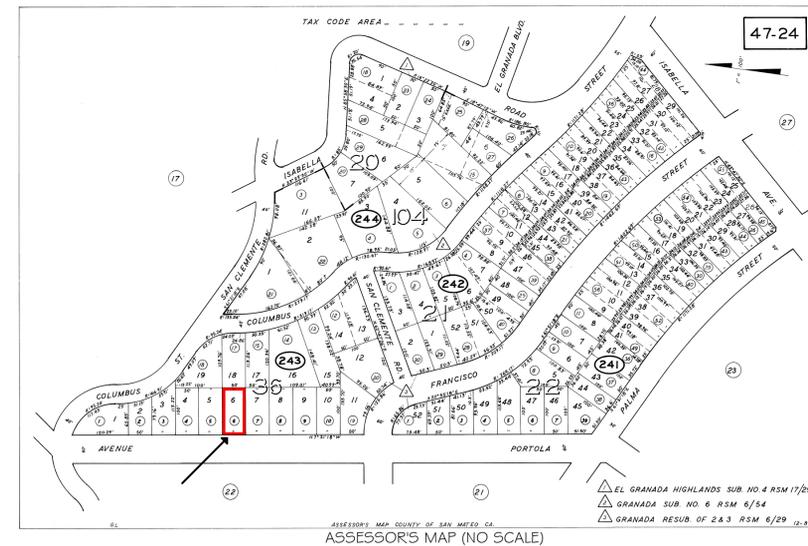
	EXISTING		PROPOSED		TOTAL		ALLOWED	
	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%
LOT AREA	5000		5000		5000		5000	
PARCEL COVERAGE			1700	34.0	1700	34.0	1750	35.0
FLOOR AREA			FIRST FLOOR 600 SECOND FLOOR 1015 THIRD FLOOR 637 GARAGE 398		FIRST FLOOR 600 SECOND FLOOR 1015 THIRD FLOOR 637 GARAGE 398			
			TOTAL 2650	53.0	TOTAL 2650	53.0	2650	53.0

Sheet List	
Sheet Number	Sheet Name

CS	Cover Sheet
CSAN	Cover Sheet Additional Notes
SU	Survey
SP	Site Plan & Roof Plan
A101	First Floor Plan
A102	Second Floor Plan
A103	Third Floor Plan
A104	Roof Plan
A201	Elevations - South & West
A202	Elevations - North & East
A301	Section Views
A501	Details
A502	Details
E101	Lighting & Electrical - Floor 1
E102	Lighting & Electrical - Floor 2
E103	Lighting & Electrical - Floor 3
P101	Gas Line Iso
C1	Grading & Drainage
C2	Erosion Control
LP	Landscape Plan
T24	Title 24



2 Site Plan
1/16" = 1'-0"



REVISIONS



Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearcht@gmail.com

SEAMAN-LINN RESIDENCE
AVENUE PORTOLA
EL GRANADA, CA

COVER SHEET



DATE: 09/29/17

SCALE: As indicated

DRAWN: GMH

JOB: SEAMAN

SHEET:

CS

OF SHEETS

ADDITIONAL NOTES:

CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED PER CALGREEN 4.408.2 (OR IN ACCORDANCE WITH LOCAL ORDINANCE). MINIMUM OF 65% OF CONSTRUCTION WASTE SHALL BE DIVERTED FOR RECYCLING OR SALVAGE PER CALGREEN 4.408.1

OPERATIONS & MAINTENANCE MANUALS SHALL BE PROVIDED TO BUILDING OWNER ADDRESSING ITEMS 1 - 10 IN CALGREEN 4.410.1

DUCT SYSTEMS SHALL BE SIZED, DESIGNED, AND EQUIPED PER CALGREEN 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.

BATHROOM EXHAUST FANS SHALL COMPLY WITH CALGREEN 4.506.1. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN AND MUST BE CONTROLLED BY A HUMIDITY SENSOR.

PROTECT ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (CALGREEN 4.406.1)

COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (CALGREEN 4.504.1)

ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (CALGREEN 4.504.2.1)

PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (CALGREEN 4.504.2.2)

AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND TOXIC COMPOUNDS (CALGREEN 4.504.2.3). VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.

CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS (CALGREEN 4.504.3)

MINIMUM OF 80% FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH CALGREEN 4.504.4

PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (CALGREEN 4.504.5)

INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (CALGREEN 4.505.2)

CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE (CALGREEN 4.505.3)

REVISIONS



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DATE: 11/30/17

SCALE: 1/4" = 1'-0"

DRAWN: GMH

JOB: SEAMAN

SHEET:

CSAN

OF SHEETS



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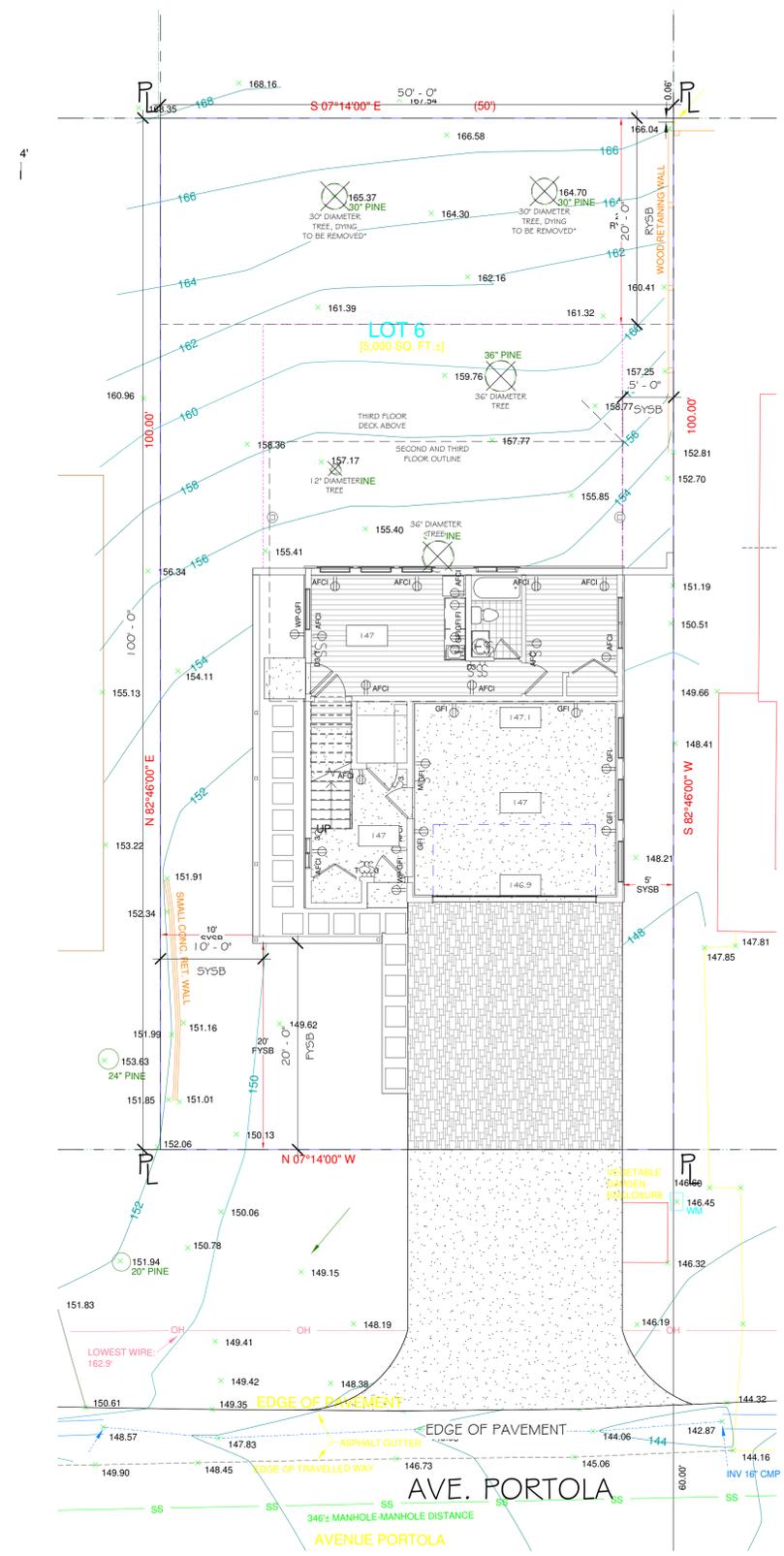
SEAMAN-LINN RESIDENCE
AVENUE PORTOLA
EL GRANADA, CA

SITE PLAN &
ROOF PLAN

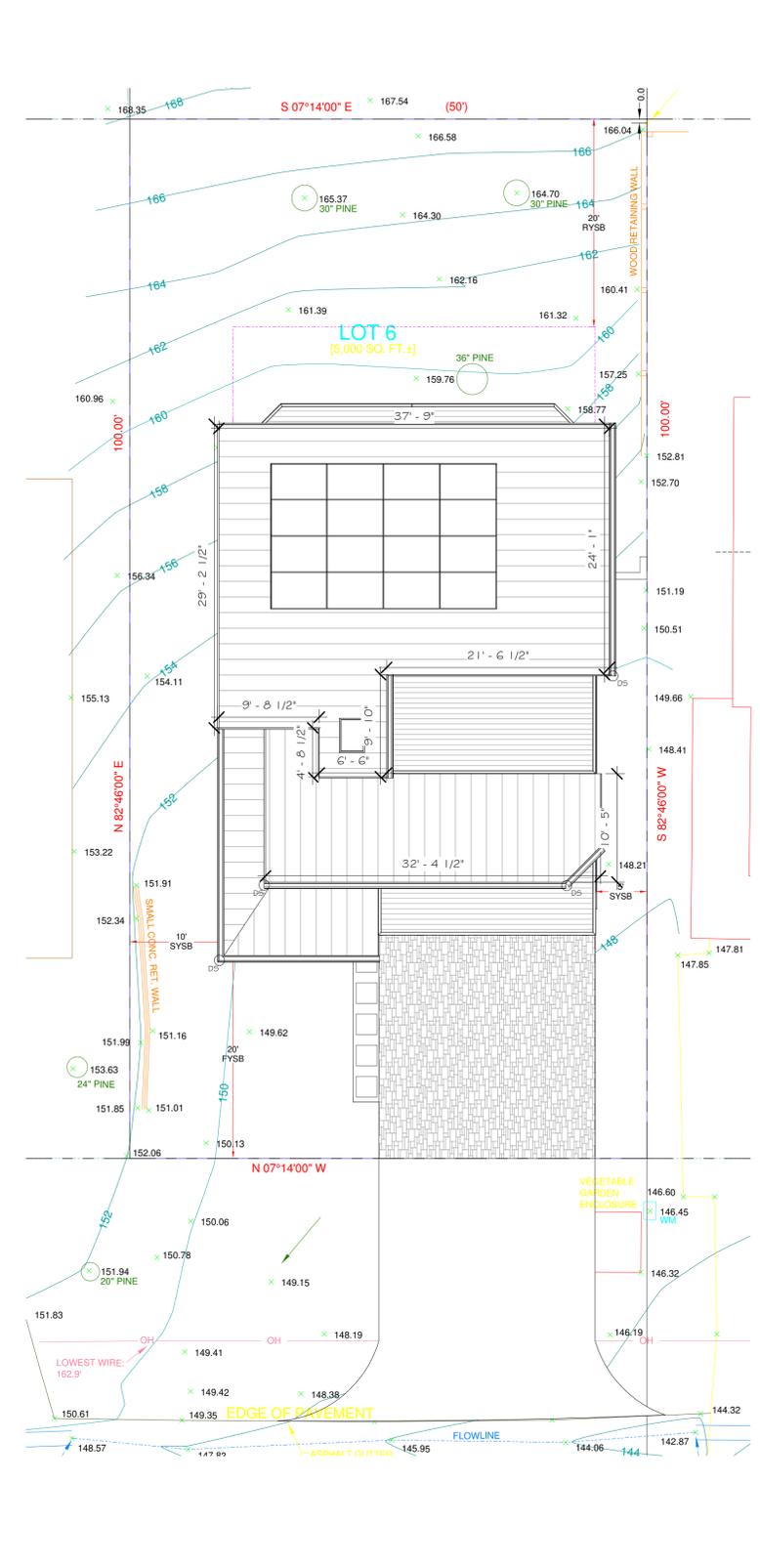


DATE: 09/29/17
SCALE: 1/8" = 1'-0"
DRAWN: GMH
JOB: SEAMAN
SHEET:

SP
OF SHEETS



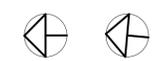
1 Site - SP
1/8" = 1'-0"



2 Site - SP Roof
1/8" = 1'-0"

SEE C1 GRADING PLAN
FOR REVISED GRADING

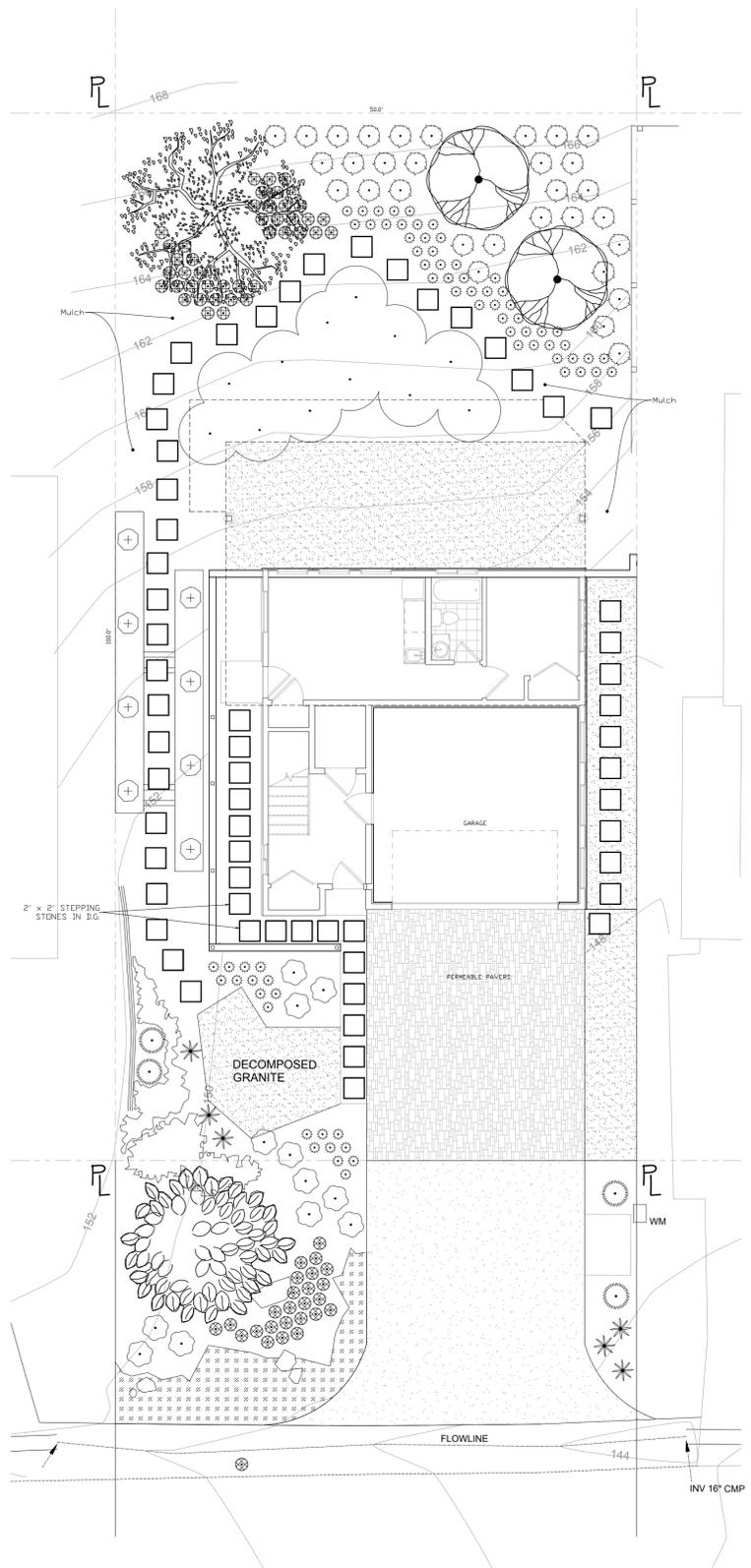
ODS : DOWNSPOUT



PROJECT NORTH TRUE NORTH

* SEE ARBORIST REPORT

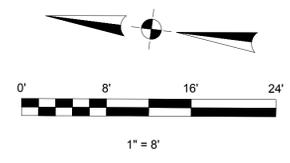
SITE PLANS ARE BASED ON THE
SURVEY BY BGT DATED OCT 2016



PLANT LIST

TREES:									
KEY	SIZE	BOTANICAL NAME	COMMON NAME	GROWTH RATE	AVG. SIZE	DECID./EVERGREEN	CALIF. NATIVE	COAST	DROUGHT TOLERANT
	15 GAL	AESCULUS CALIFORNICA	CALIFORNIA BUCKEYE	MODERATE	30'H X 30'W	DECIDUOUS	Y	Y	Y
	24" BDX	ARCTOSTAPHYLOS 'DR. HURD'	MANZANITA	SLOW	12'H X 12'W	EVERGREEN	Y	Y	Y
	15 GAL	PRUNUS CERASIFERA	PURPLE LEAF PLUMB	MODERATE	20'H X 15'W	DECIDUOUS	Y	Y	Y
SHRUBS & GROUNDCOVERS:									
KEY	SIZE	BOTANICAL NAME	COMMON NAME	GROWTH RATE	AVG. SIZE	DECID./EVERGREEN	CALIF. NATIVE	COAST	Y
	1 GAL	SISYRINCHIUM BELLUM 'ARROYO DE LA CRUZ'	BLUE EYED GRASS	FAST	1'H X 1'W	EVERGREEN	Y	Y	Y
	5 GAL	NASSELLA PULCHRA	PURPLE NEEDLE GRASS	FAST	2'H X 2'W	SUMMER DORMANT	Y	Y	Y
	1 GAL	ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	FAST	1'H X 1'W	SUMMER DORMANT	Y	Y	Y
	1 GAL	ARCTOSTAPHYLOS UVA-URSI 'GREEN SUPREME'	'GREEN SUPREME' BEARBERRY	MODERATE	1'H X 6'W	EVERGREEN	Y	Y	N
	1 GAL	ADIANTUM X TRAYCI	MAIDENHAIR	SLOW	1'H X 2'W	EVERGREEN	Y	Y	N
	5 GAL	BLECHNUM SPICANT	DEER FERN	MODERATE	2'H X 2'W	EVERGREEN	Y	Y	N
	1 GAL	SOLEIRODIA SOLEIRODII	BABY'S TEARS	FAST	2'H X 6'W	EVERGREEN	N	Y	Y
	1 GAL	ARCTOSTAPHYLOS UVA-URSI 'POINT REYES'	KINNIKINNICK	MODERATE	1'H X 6'W	EVERGREEN	Y	Y	Y
	1 GAL	ACHILLEA MILLEFOLIUM	CALIFORNIA YARROW	FAST	1'H X 3'W	EVERGREEN	Y	Y	Y
	1 GAL	ARTEMISIA PYCNOCEPHALA 'DAVID'S CHOICE'	SAND HILL SAGE	FAST	1'H X 3'W	EVERGREEN	Y	Y	Y
	5 GAL	HETEROTHECA SESS. BOLANDERI 'SAN BRUNO MTN.'	GOLDEN ASTER	MODERATE	1'H X 3'W	EVERGREEN	Y	Y	Y
	1 GAL	LOBELIA ERINUS	LOBELIA	FAST	6'H X 1'W	SUMMER DORMANT	N	Y	N
	1 GAL	SEDUM RUPESTRE 'ANGELINA'	ANGELINA STONECROP	MODERATE	6'H X 3'W	EVERGREEN	N	Y	Y

Area	Sqft	%
House footprint	1008	20.1
Driveway	507	10.1
Landscape Area	2198	44.1
Turf	0	0.0
Mulch & Gravel w/ Stepping Stones	1287	25.7
Total	5000	100



Notes:

1. Incorporate compost at a rate of at least four (4) cubic yards per 1000sqft to a depth of 6 inches into landscape area
2. All landscape to be hand watered
3. A minimum of 3 inch layer of mulch shall be applied on all exposed soil surfaces, except in areas of creeping or rooting groundcover
4. At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, & certificate of installation.

REVISIONS



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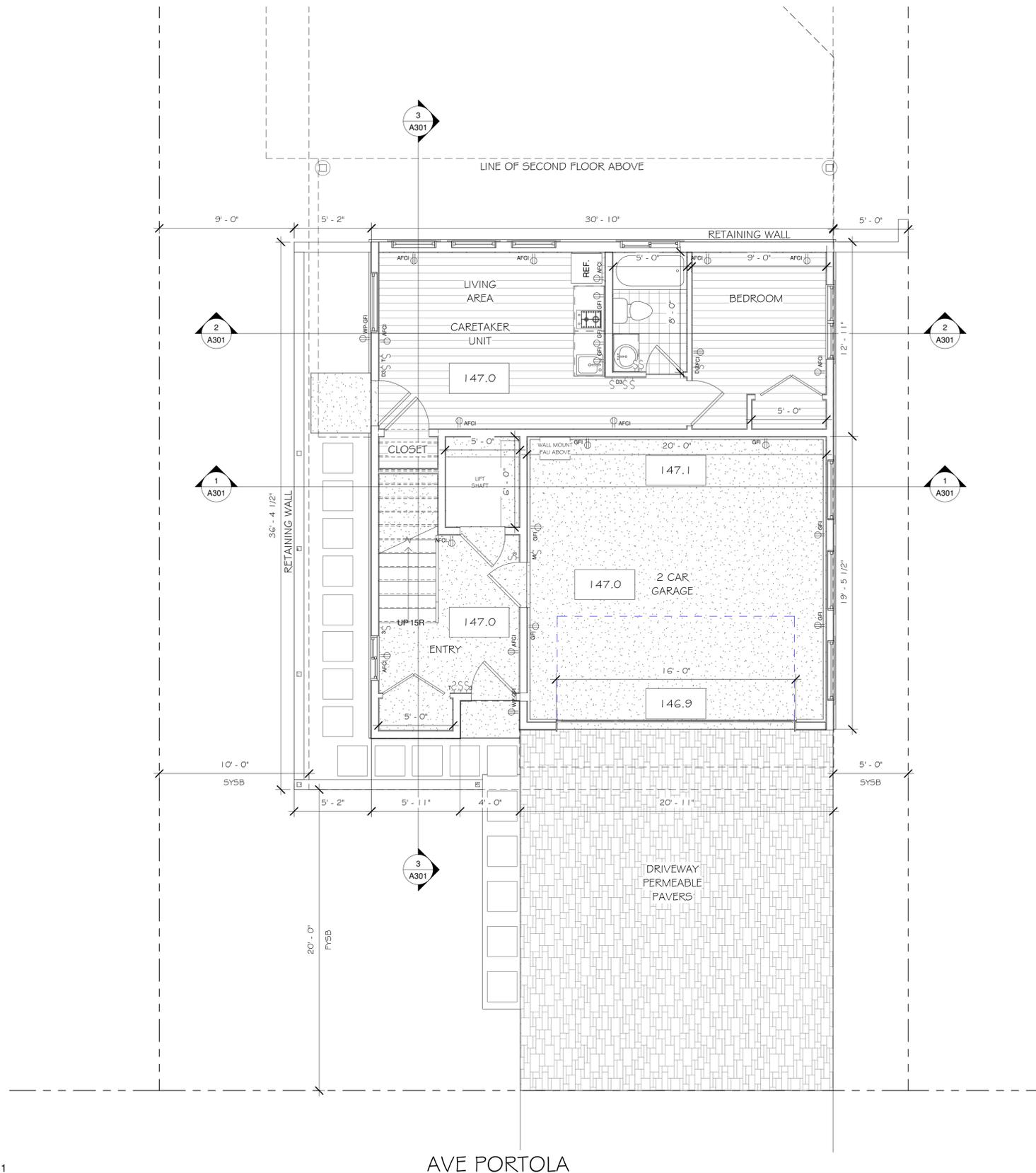
The Seaman Residence
Ave Portola
El Granada, CA

LANDSCAPE PLAN



DATE: 01-12-18
SCALE: 1/8" = 1'
DRAWN: GMH
JOB: SEAMAN
SHEET:

LP
OF SHEETS



1 Floor 1
1/4" = 1'-0"

AVE PORTOLA

REVISIONS

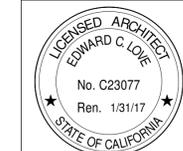


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SEAMAN-LINN RESIDENCE
AVENUE PORTOLA
EL GRANADA, CA

FIRST FLOOR PLAN



DATE: 09/29/17

SCALE: 1/4" = 1'-0"

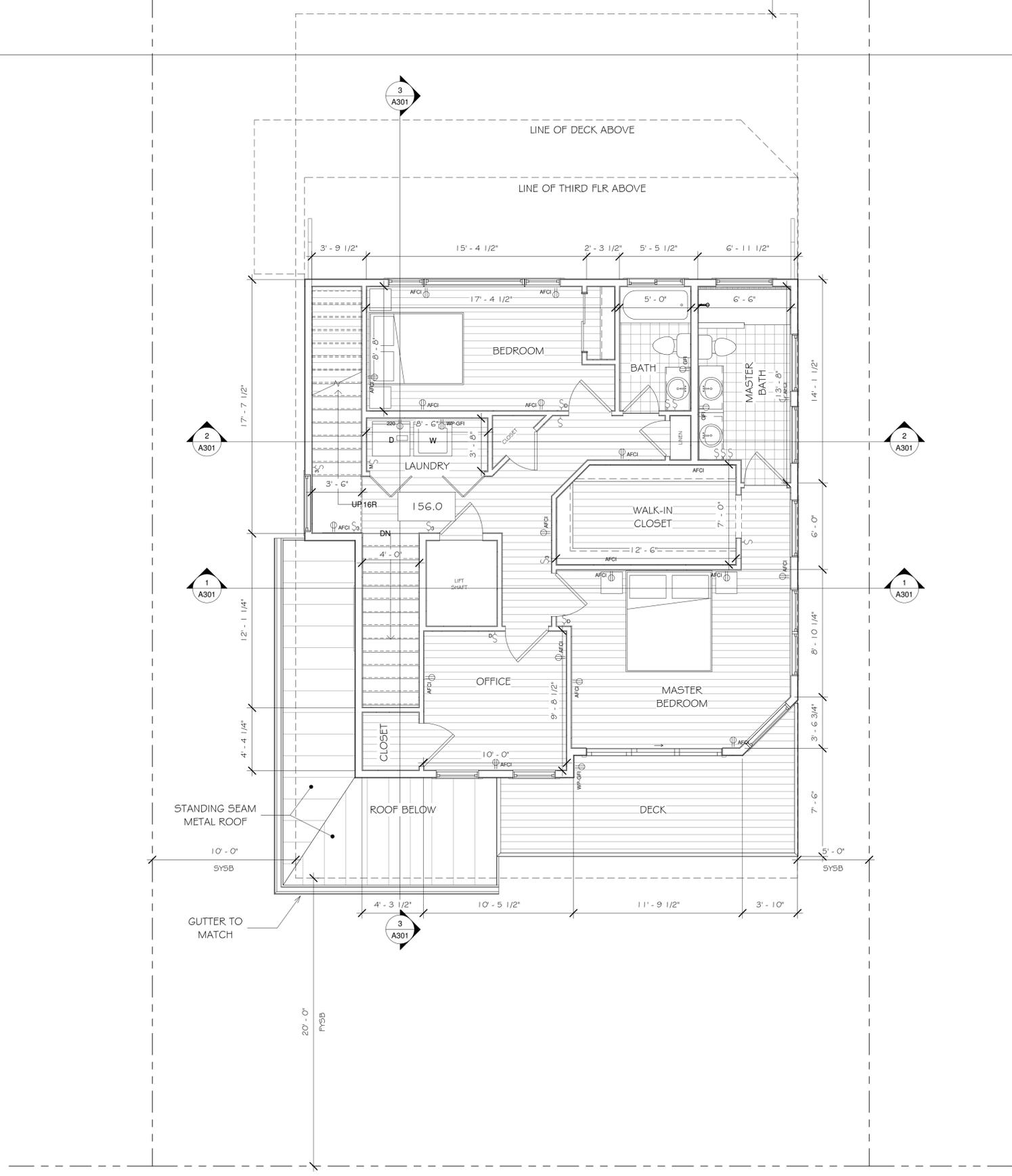
DRAWN: GMH

JOB: SEAMAN

SHEET:

A101

OF SHEETS



1 Floor 2
1/4" = 1'-0"

REVISIONS



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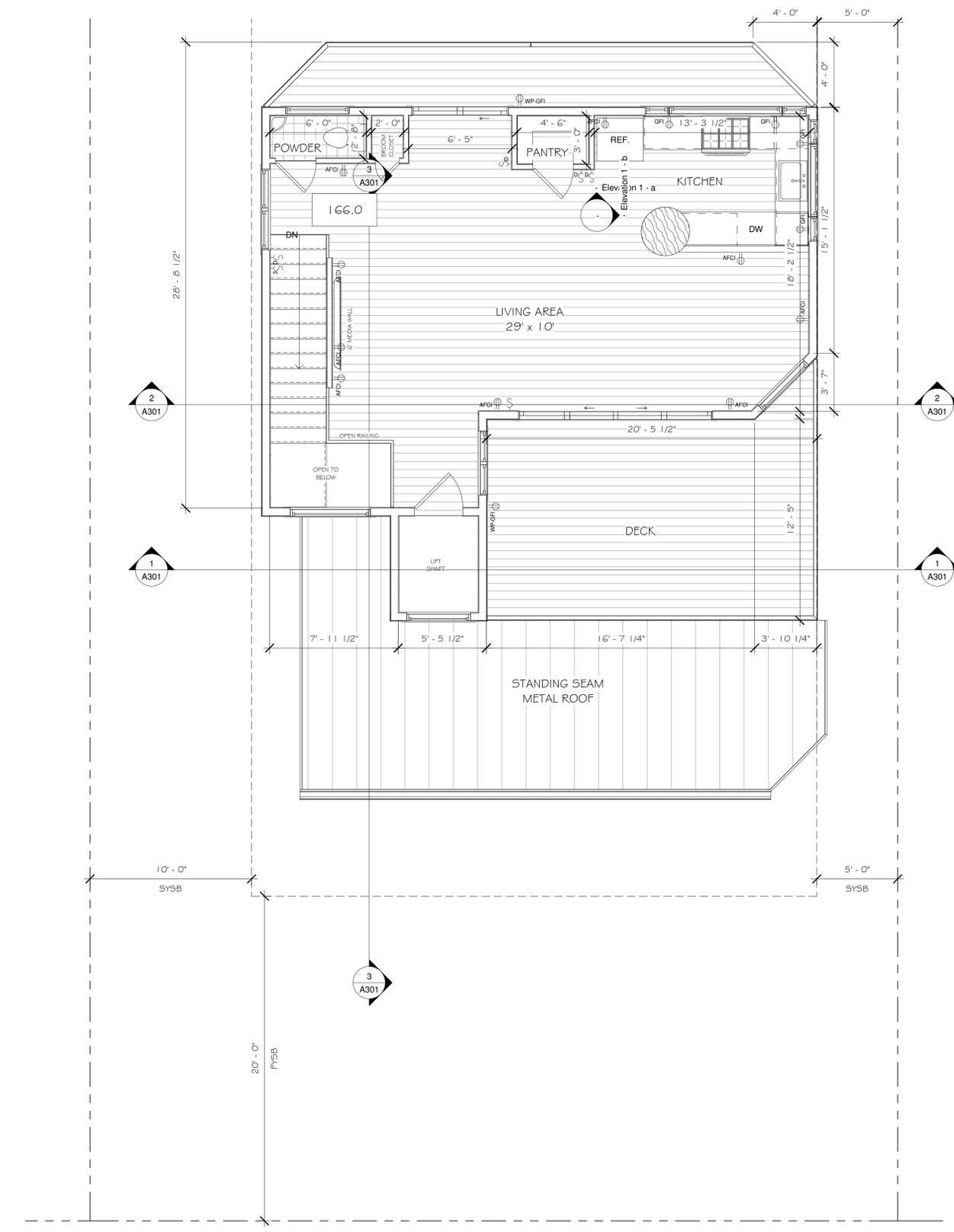
SEAMAN-LINN RESIDENCE
AVENUE PORTOLA
EL GRANADA, CA

SECOND FLOOR PLAN



DATE: 09/29/17
SCALE: 1/4" = 1'-0"
DRAWN: GMH
JOB: SEAMAN

SHEET:
A102
OF SHEETS



① Floor 3
1/4" = 1'-0"

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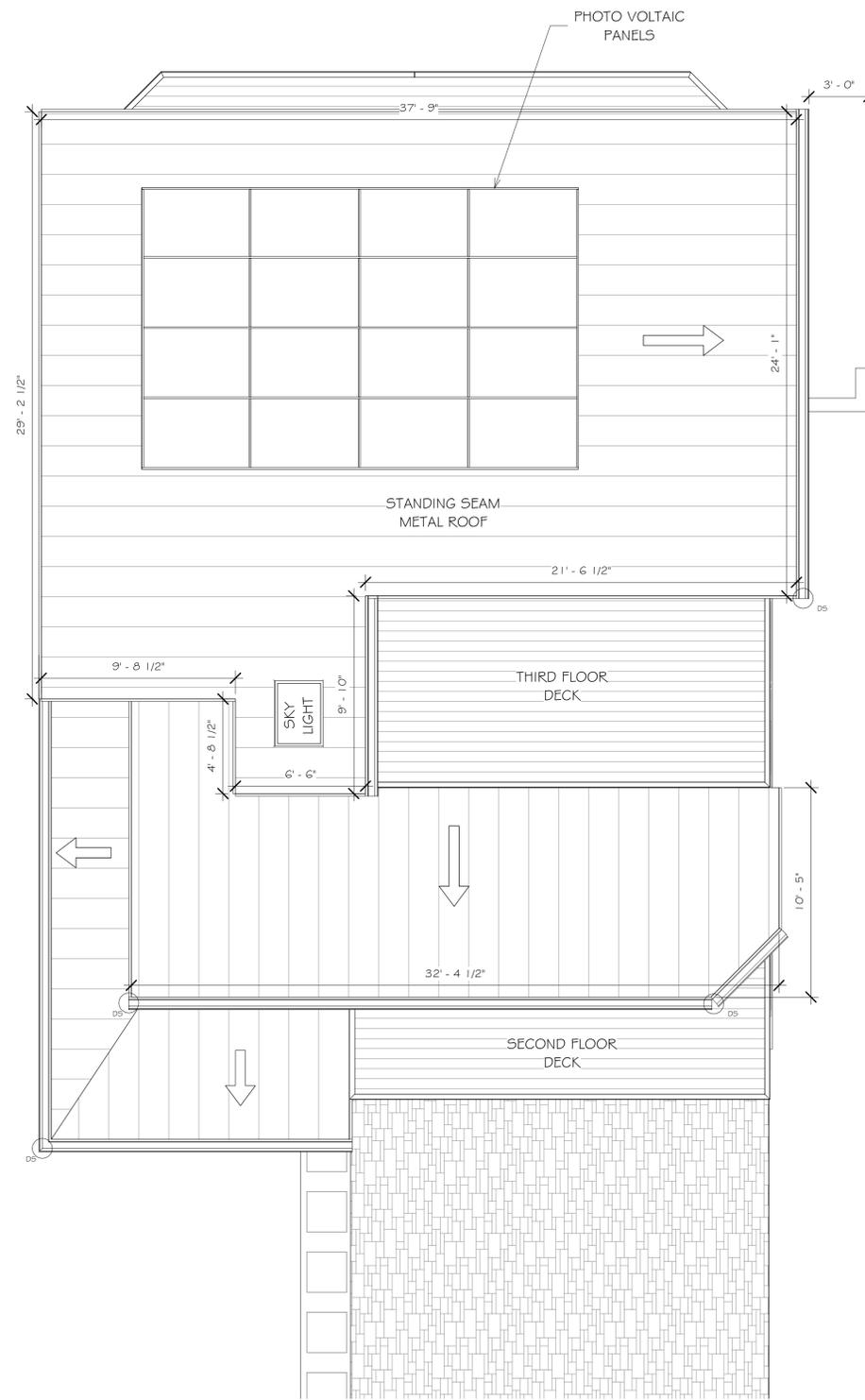
SEAMAN-LINN RESIDENCE
AVENUE PORTOLA
EL GRANADA, CA

THIRD FLOOR PLAN



DATE: 09/29/17
SCALE: 1/4" = 1'-0"
DRAWN: GMH
JOB: SEAMAN

SHEET:
A103
OF SHEETS



1 Roof Plan
1/4" = 1'-0"

REVISIONS



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SEAMAN-LINN RESIDENCE
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ROOF PLAN



DATE: 09/29/17

SCALE: 1/4" = 1'-0"

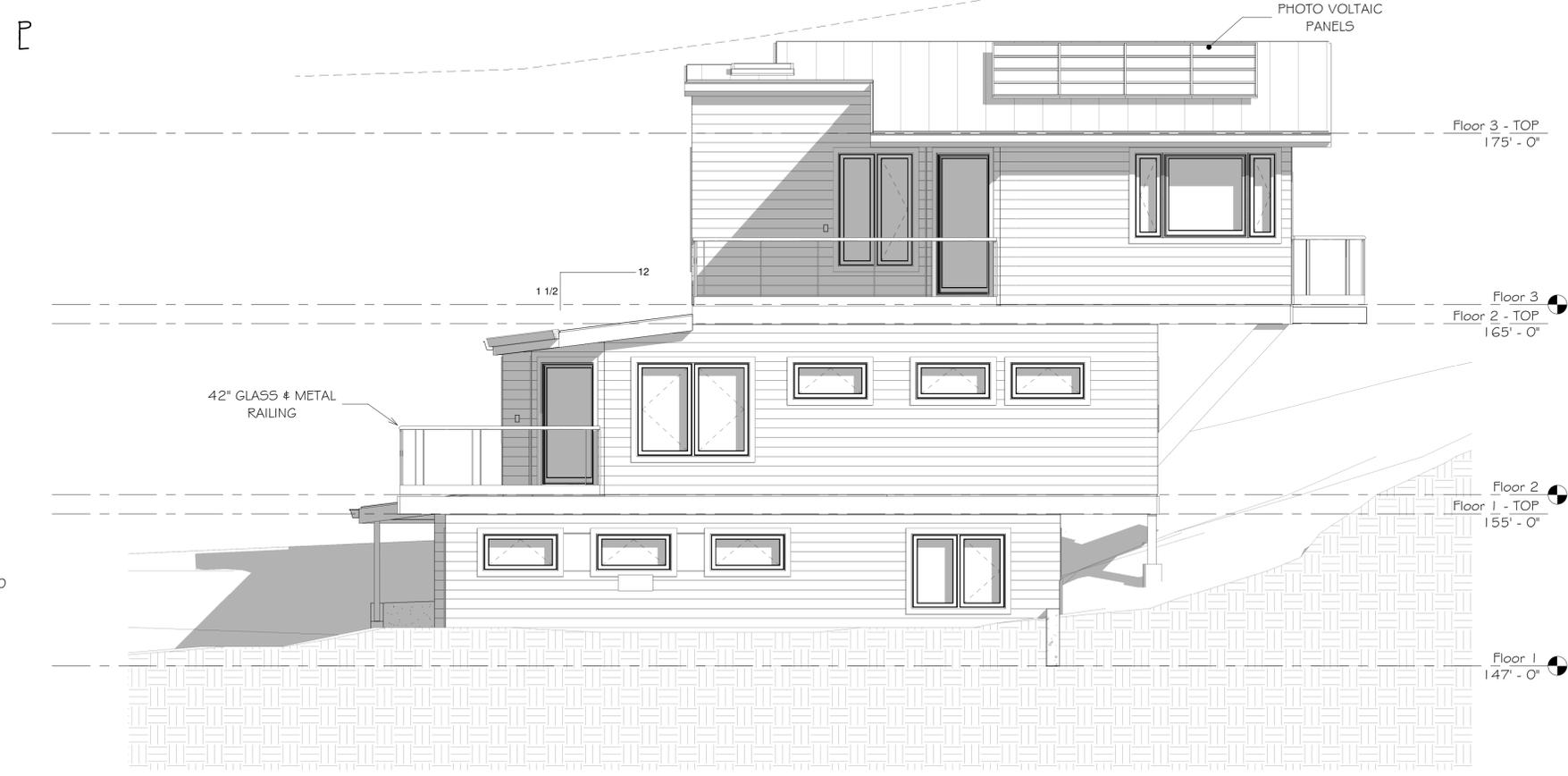
DRAWN: GMH

JOB: SEAMAN

SHEET:

A104

OF SHEETS



① South (Right Side)
1/4" = 1'-0"



② West (Front)
1/4" = 1'-0"

REVISIONS



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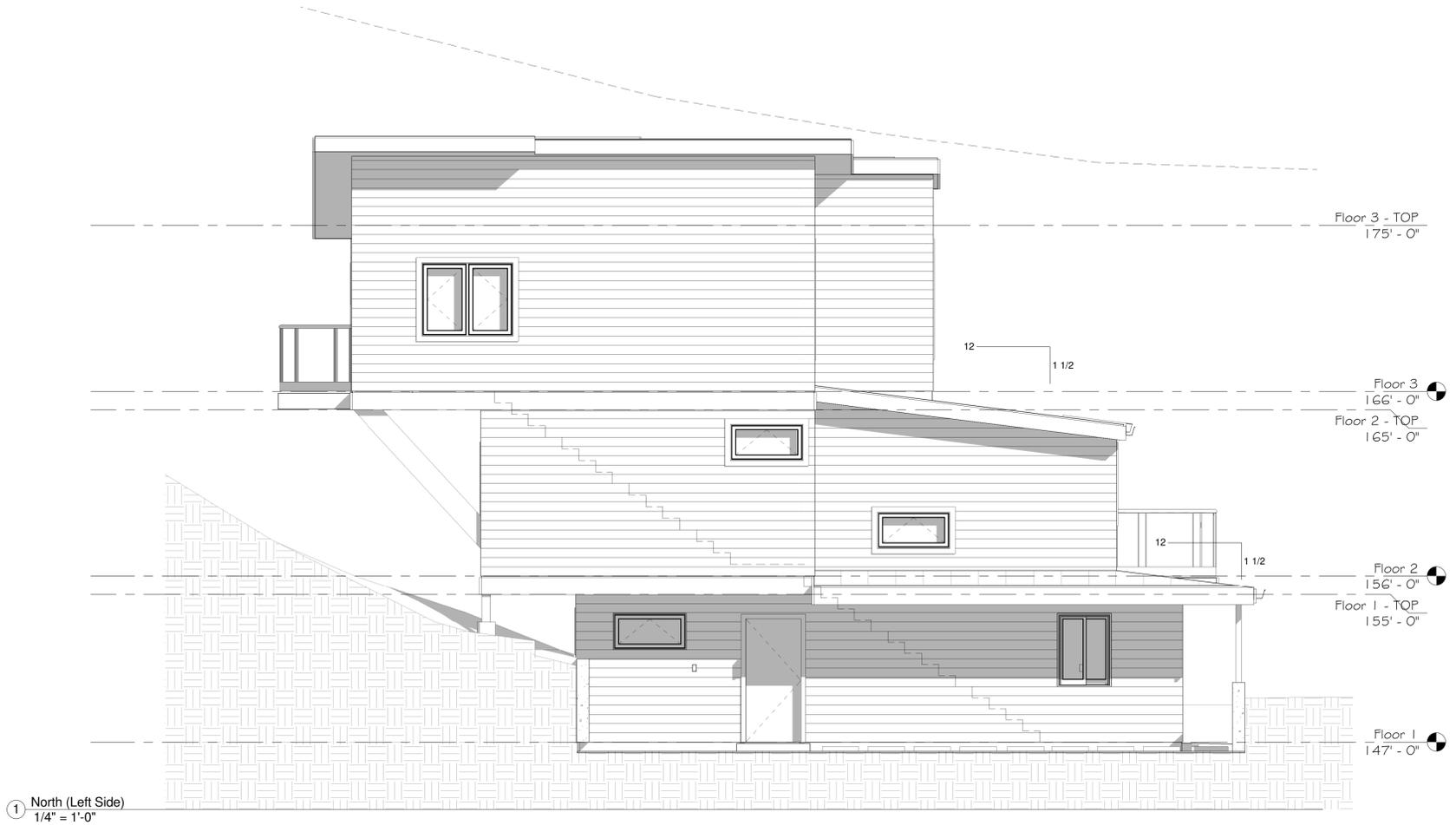
SEAMAN-LINN RESIDENCE
AVENUE PORTOLA
EL GRANADA, CA

ELEVATIONS
SOUTH & WEST

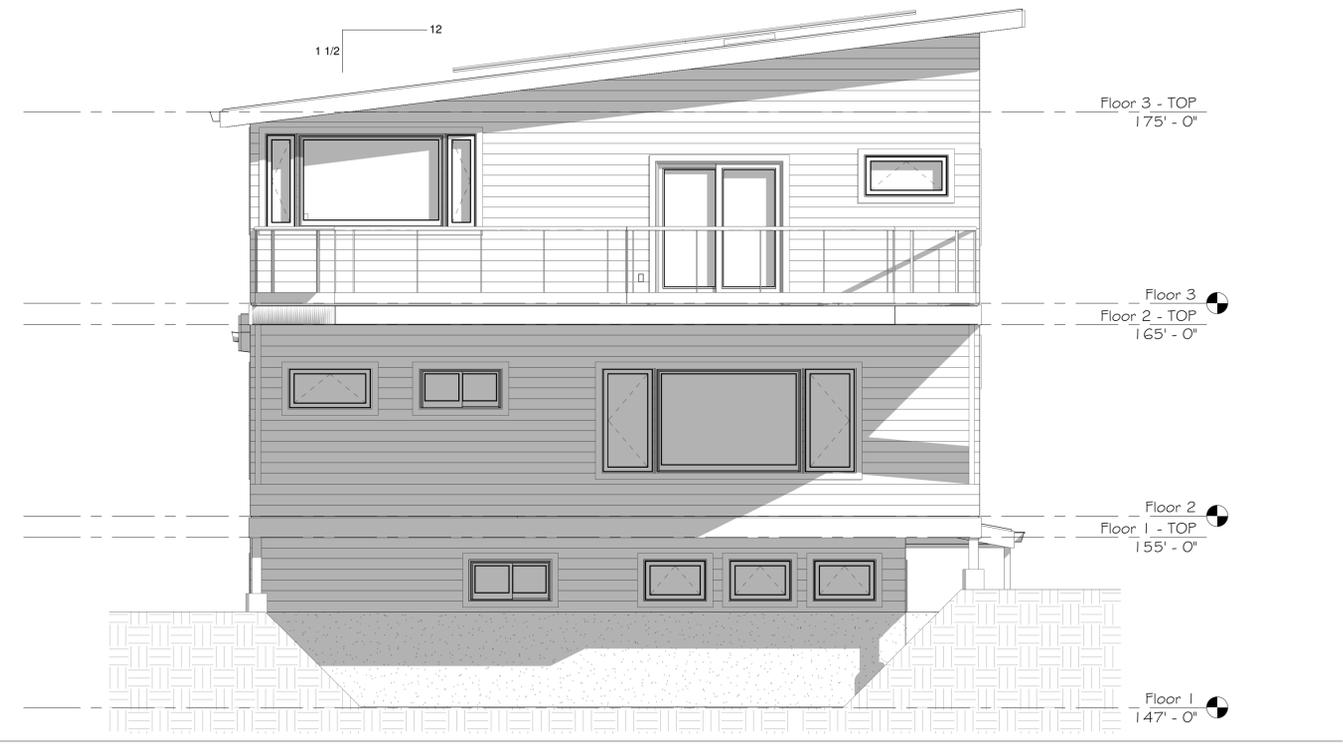


DATE: 09/29/17
SCALE: 1/4" = 1'-0"
DRAWN: GMH
JOB: SEAMAN

SHEET:
A201
OF SHEETS



① North (Left Side)
1/4" = 1'-0"



② East (Rear)
1/4" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION



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SEAMAN-LINN RESIDENCE
AVENUE PORTOLA
EL GRANADA, CA

ELEVATIONS
NORTH & EAST



DATE: 09/29/17
SCALE: 1/4" = 1'-0"
DRAWN: GMH
JOB: SEAMAN

SHEET:
A202
OF SHEETS

REVISIONS



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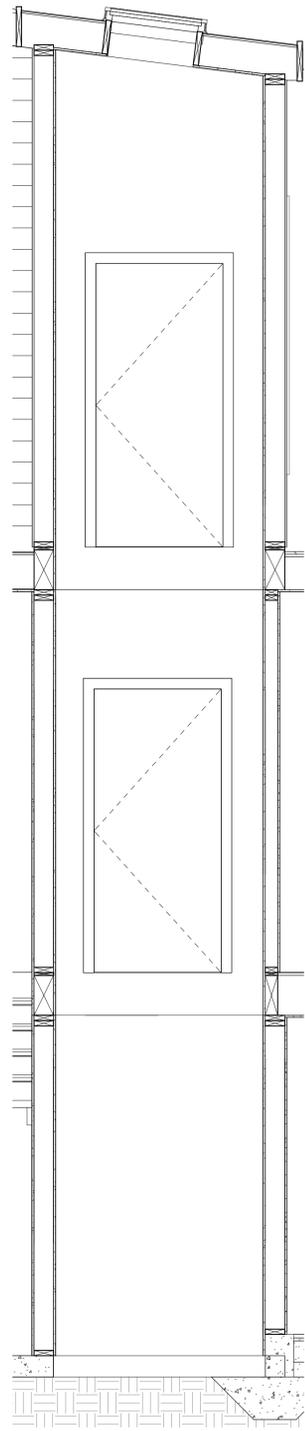
SECTION VIEWS



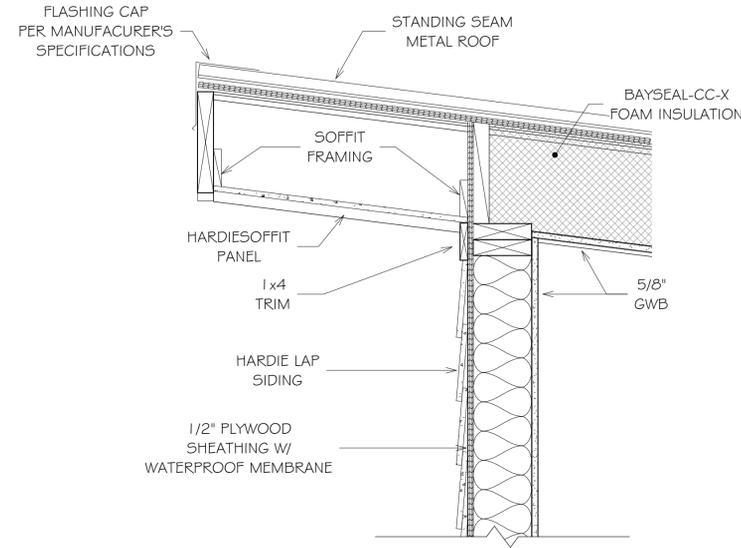
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SCALE: 1/4" = 1'-0"
DRAWN: GMH
JOB: SEAMAN

SHEET:
A301
OF SHEETS

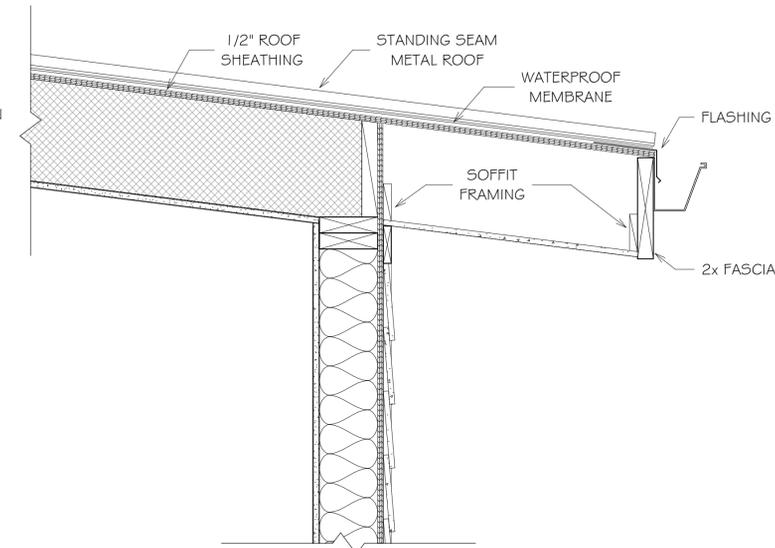




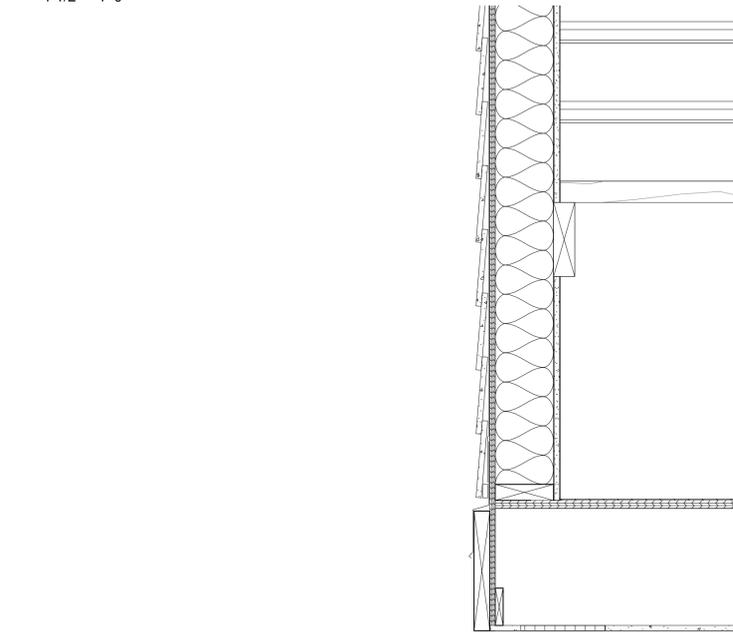
① Detail - Lift Shaft
1/2" = 1'-0"



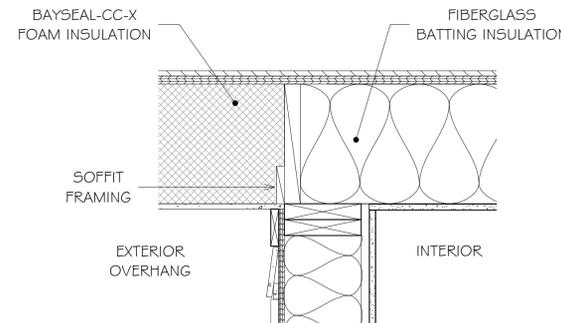
② Detail - Shed Roof Top to Wall
1 1/2" = 1'-0"



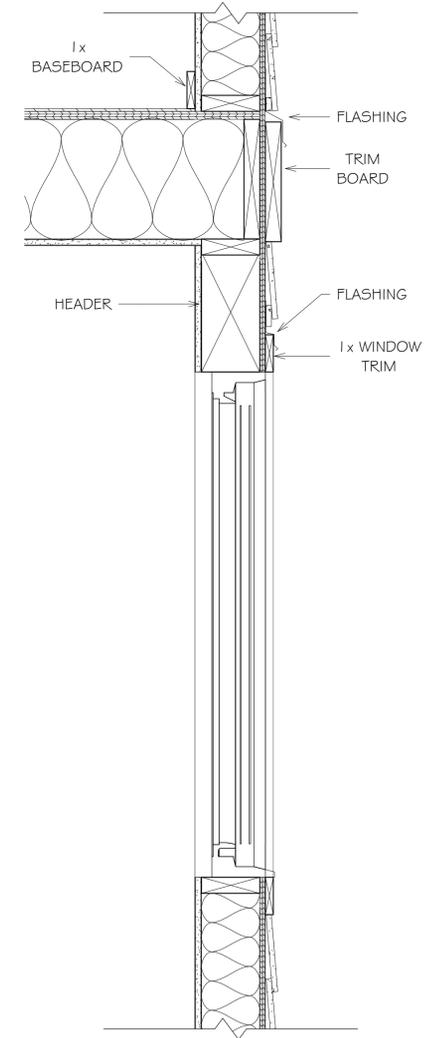
③ Detail - Shed Roof Bottom to Wall
1 1/2" = 1'-0"



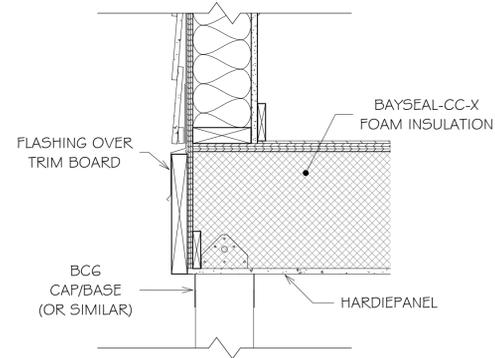
④ Detail - Wall @ Overhang 1
1 1/2" = 1'-0"



⑤ Detail - Wall @ Overhang 2
1 1/2" = 1'-0"



⑥ Detail - Wall @ Window
1 1/2" = 1'-0"



⑦ Detail - Overhang @ Post
1 1/2" = 1'-0"

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DETAILS



DATE: 11/27/17
SCALE: As indicated
DRAWN: GMH
JOB: SEAMAN

SHEET:
A501
OF SHEETS

REVISIONS



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DETAILS



DATE: 11/29/17

SCALE: 1 1/2" = 1'-0"

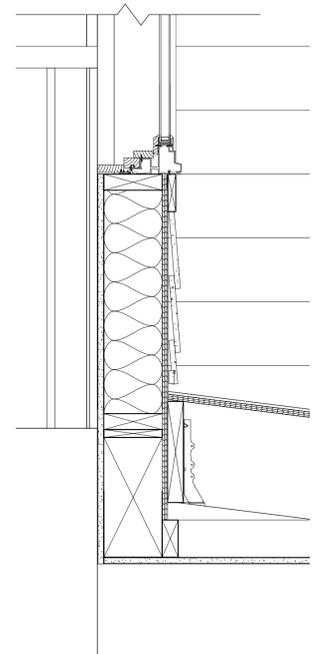
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JOB: SEAMAN

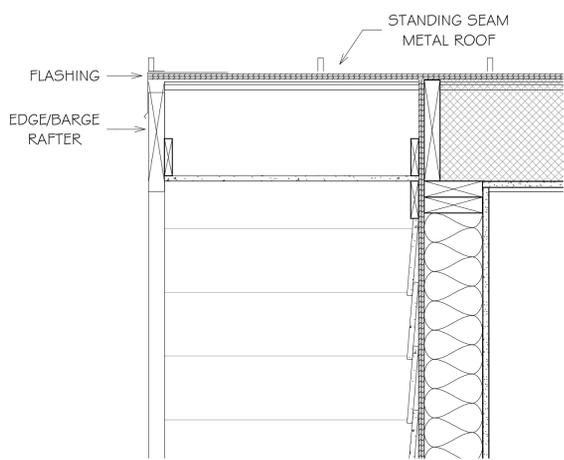
SHEET:

A502

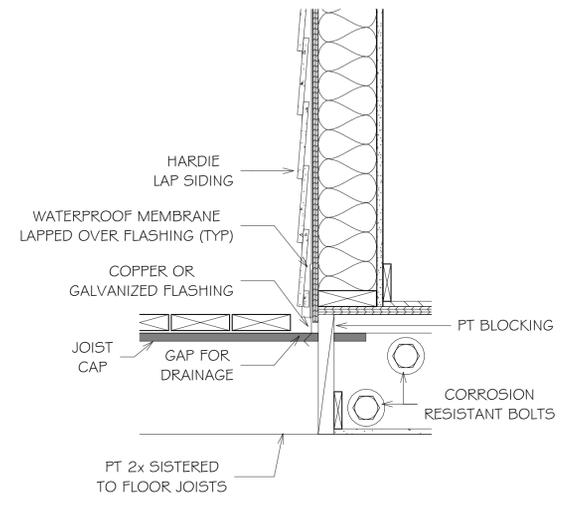
OF SHEETS



2 Detail - Roof Connection to Wall
1 1/2" = 1'-0"



3 Detail - Roof Edge
1 1/2" = 1'-0"



1 Detail - Cantilevered Deck @ Wall
1 1/2" = 1'-0"

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LIGHTING & ELECTRICAL
FLOOR 1



DATE: 11/30/17
SCALE: 1/4" = 1'-0"
DRAWN: GMH
JOB: SEAMAN
SHEET:
E101
OF SHEETS

MEP NOTES:

1. ALL LIGHTING SHALL BE HIGH-EFFICACY (CEC 150(k)1)
2. ALL OUTDOOR LIGHTING SHALL BE HIGH-EFFICACY AND CONTROLLED BY MOTION SENSOR # PHOTOCONTROL OR OTHER APPROVED METHODS (CEC 150(k)3)
3. IN BATHROOMS, AT LEAST ONE LIGHT SHALL BE CONTROLLED BY A VACANCY SENSOR (CEC 150.0(k)2J)
4. 125-VOLT, 15 # 20 AMP RECEPTICAL OUTLETS SHALL BE LISTED TAMPER-RESISTANT (CEC 406.11)
5. ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15 # 20 AMP OUTLETS IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE ARC-FAULT CIRCUIT INTERRUPTOR (AFCI) PROTECTED (CEC 210.12(A))
6. A DEDICATED 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS (CEC 210.11(C)(3))
7. A MINIMUM OF TWO 20 AMP SMALL APPLIANCE CIRCUITS FOR THE KITCHEN COUNTER TOPS SHALL BE PROVIDED. SUCH CIRCUIT SHALL HAVE NO OTHER OUTLETS. LOADS SHALL BE BALANCED (CEC 210.52(B)(2))
8. PROVIDE 220-VOLT, 30 AMP DEDICATED CIRCUIT FOR DRYER (CEC 220.54)
9. ALL BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND EQUIPED WITH HUMIDITY SENSOR
10. KITCHEN EXHAUST SHALL BE A MINIMUM OF 100 CFM

11. WATER CONSERVING FIXTURES # FITTINGS SHALL BE USED IN ACCORDANCE WITH CGBC 4.303. SHALL INCLUDE A MAXIMUM OF 1.28 GPF FOR WATER CLOSETS, MAXIMUM OF 2.0 GPM @80 PSI FOR SINGLE SHOWERHEADS, COMBINED FLOW RATE OF MULTIPLE SHOWERHEADS NOT TO EXCEED 2.0 GPM @ 80 PSI, MAXIMUM 1.2 GPM @ 60 PSI FOR LAVATORY FAUCETS, MAXIMUM 1.8 GPM @ 60 PSI FOR KITCHEN FAUCETS.

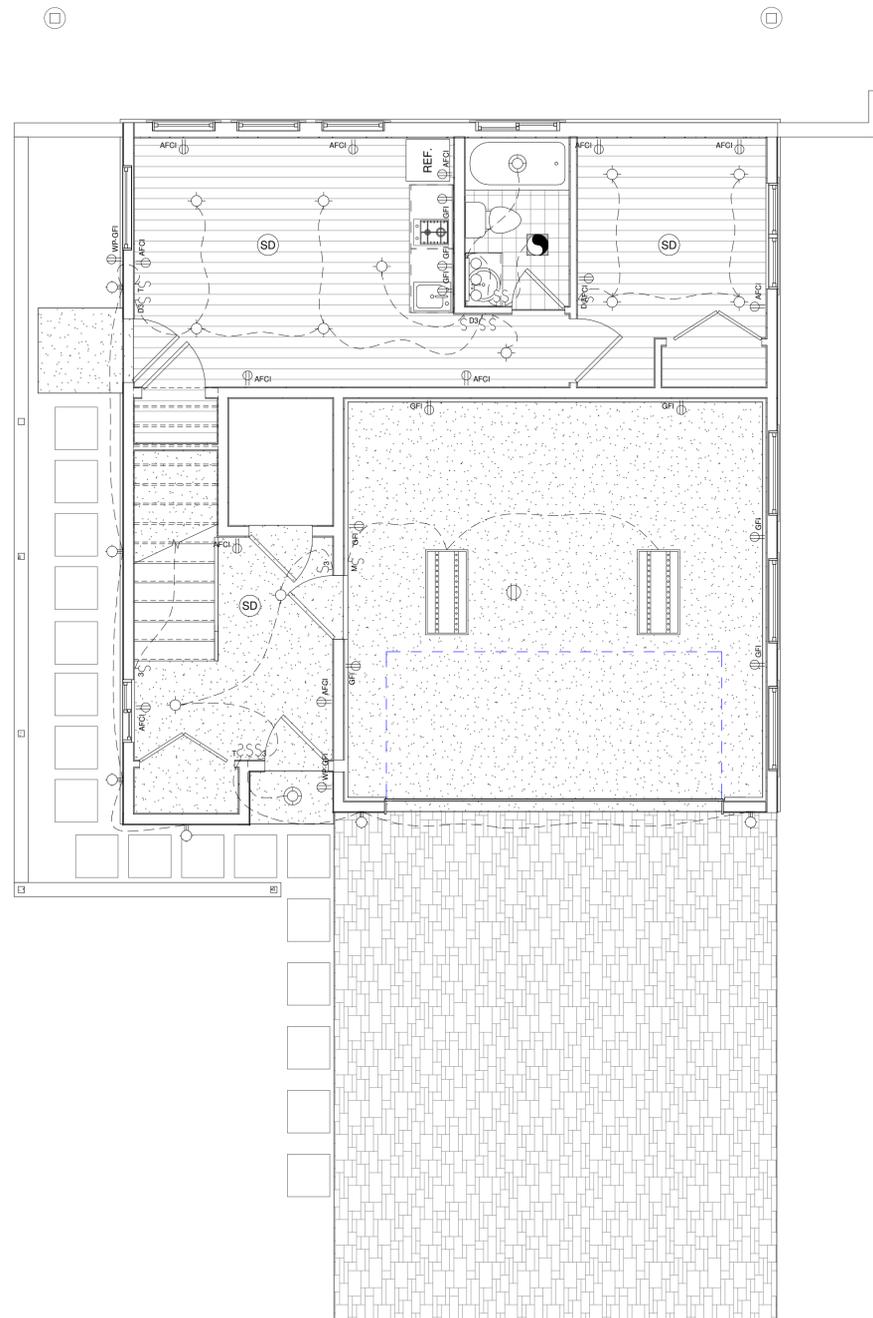
WHOLE HOUSE VENTILATION NOTES:

ALL BATHROOMS TO BE EQUIPED WITH WHISPERGREEN SELECT™ ONE FAN - MULTIPLE IAQ SOLUTIONS, 50-80-110 CFM | FV-05-11VK1.

DUCT SIZE: 4" - 6" (BASED ON CONTRACTOR'S DECISION)

ASHRAE 62.2 REQUIRED MECHANICAL VENTILATION RATE:
 $Q_{FAN} CFM = 84.63$

A LABEL/SIGN SHALL BE AT CONTROLLER OF SWITCH TO INFORM OCCUPANTS THAT FRESH AIR VENTILATOR IS A WHOLE HOUSE VENTILATION FAN THAT SHOULD OPERATE WHENEVER THE BUILDING IS OCCUPIED.



- Combination Smoke/Carbon Monoxide Detector, Hardwired w/ Battery Backup
- Ceiling Fan
- Ceiling Mounted Duplex Outlet
- 220-volt outlet
- Arc Fault Circuit Interrupt Outlet
- Ground Fault Interrupt Outlet
- Weather Proof GFI Outlet
- Ceiling Mount LED Box Light
- Extensor LED Darksky (Shielded) Light Fixture
- Recessed LED Can Light
- Directional Recessed LED Can Light
- Water Proof Recessed LED Can Light
- Vanity Light Fixture

Legend - MEP
1/4" = 1'-0"

1 Floor 1 - MEP
1/4" = 1'-0"

REVISIONS



EDWARD C. LOVE, ARCHITECT

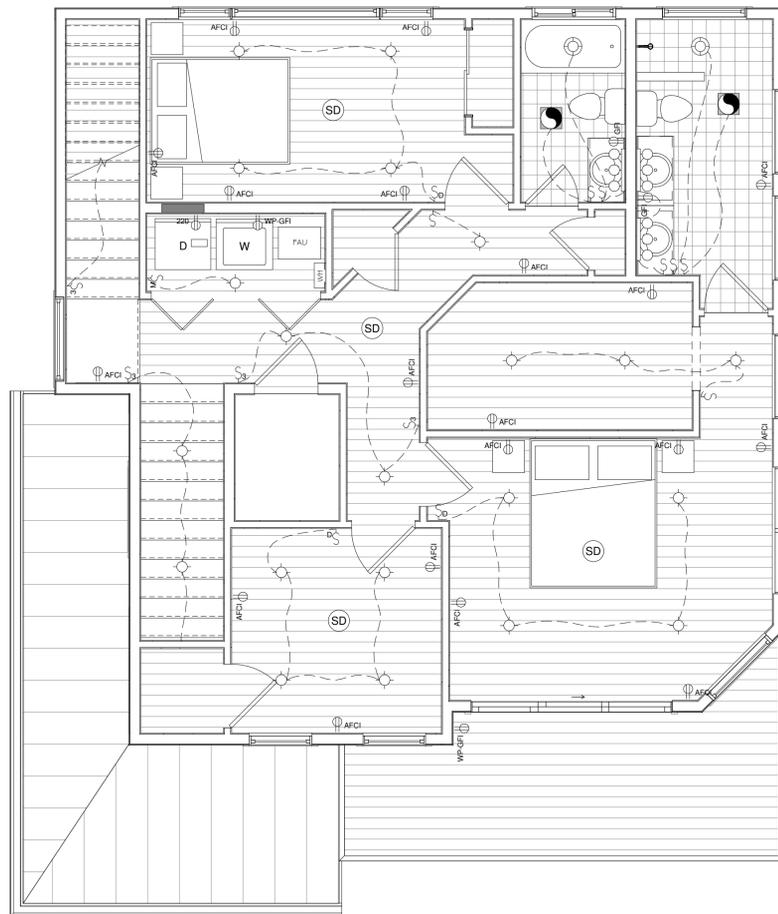
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SEAMAN-LINN RESIDENCE
AVENUE PORTOLA
EL GRANADA, CA

LIGHTING & ELECTRICAL
FLOOR 2



DATE: 11/30/17
SCALE: 1/4" = 1'-0"
DRAWN: GMH
JOB: SEAMAN
SHEET:
E102
OF SHEETS



1 Floor 2 - MEP
1/4" = 1'-0"

- Legend - MEP
1/4" = 1'-0"
- Combination Smoke/Carbon Monoxide Detector, Hardwired w/ Battery Backup
 - Ceiling Fan
 - Ceiling Mounted Duplex Outlet
 - 220-volt outlet
 - Arc Fault Circuit Interrupt Outlet
 - Ground Fault Interrupt Outlet
 - Weather Proof GFI Outlet
 - Ceiling Mount LED Box Light
 - Exterior LED Darksly (Shielded) Light Fixture
 - Recessed LED Can Light
 - Directional Recessed LED Can Light
 - Water Proof Recessed LED Can Light
 - Vanity Light Fixture

REVISIONS



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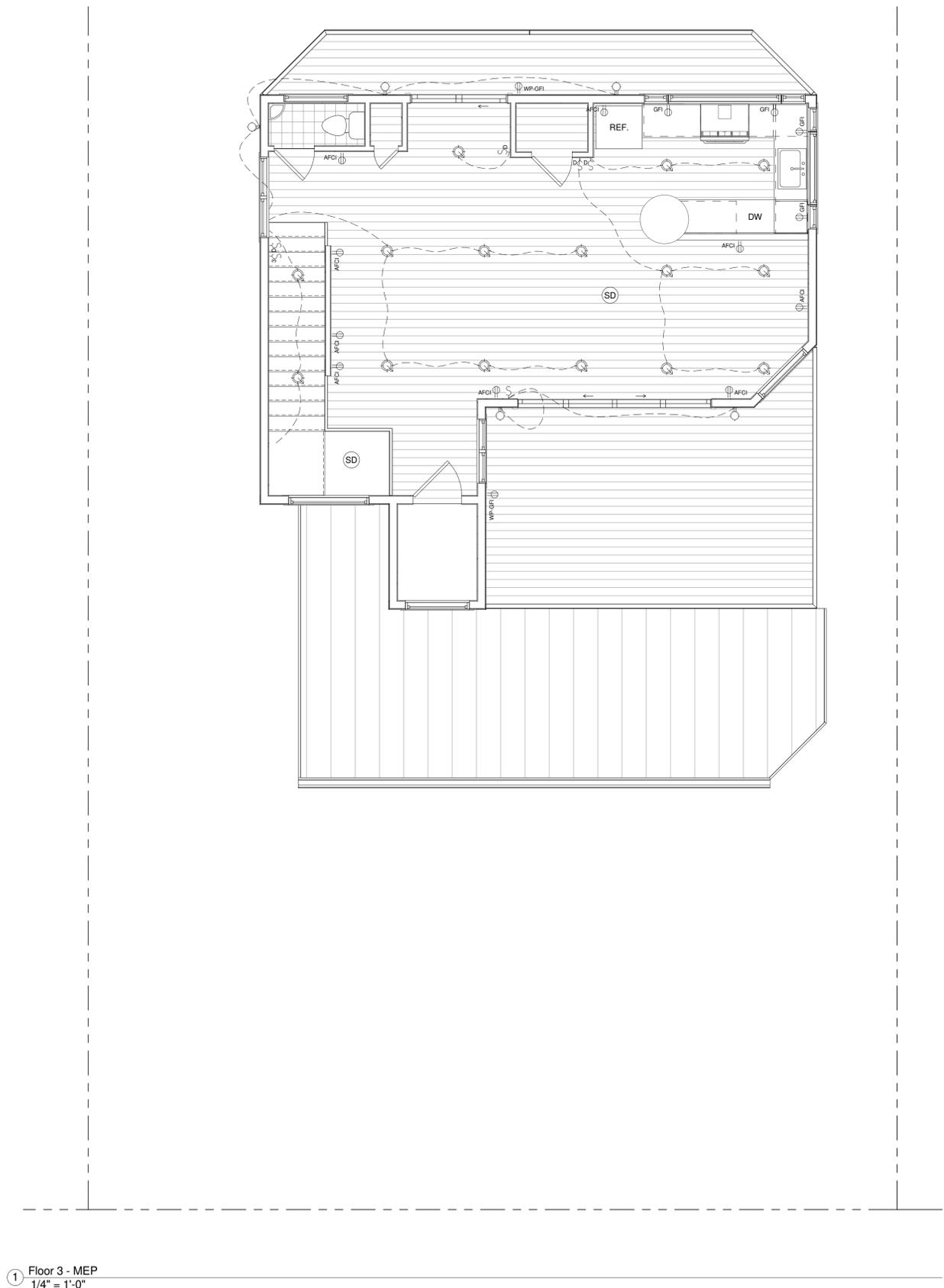
SEAMAN-LINN RESIDENCE
AVENUE PORTOLA
EL GRANADA, CA

LIGHTING & ELECTRICAL
FLOOR 3



DATE: 11/30/17
SCALE: 1/4" = 1'-0"
DRAWN: GMH
JOB: SEAMAN

SHEET:
E103
OF SHEETS



1 Floor 3 - MEP
1/4" = 1'-0"

- Combination Smoke/Carbon Monoxide Detector, Hardwired w/ Battery Backup
- Ceiling Fan
- Ceiling Mounted Duplex Outlet
- 220-volt outlet
- Arc Fault Circuit Interrupt Outlet
- Ground Fault Interrupt Outlet
- Weather Proof GFI Outlet
- Ceiling Mount LED Box Light
- Exterior LED Darksky (Shielded) Light Fixture
- Recessed LED Can Light
- Directional Recessed LED Can Light
- Water Proof Recessed LED Can Light
- Vanity Light Fixture

Legend - MEP
1/4" = 1'-0"



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SEAMAN-LINN RESIDENCE
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GAS LINE ISO



DATE: 11/30/17

SCALE:

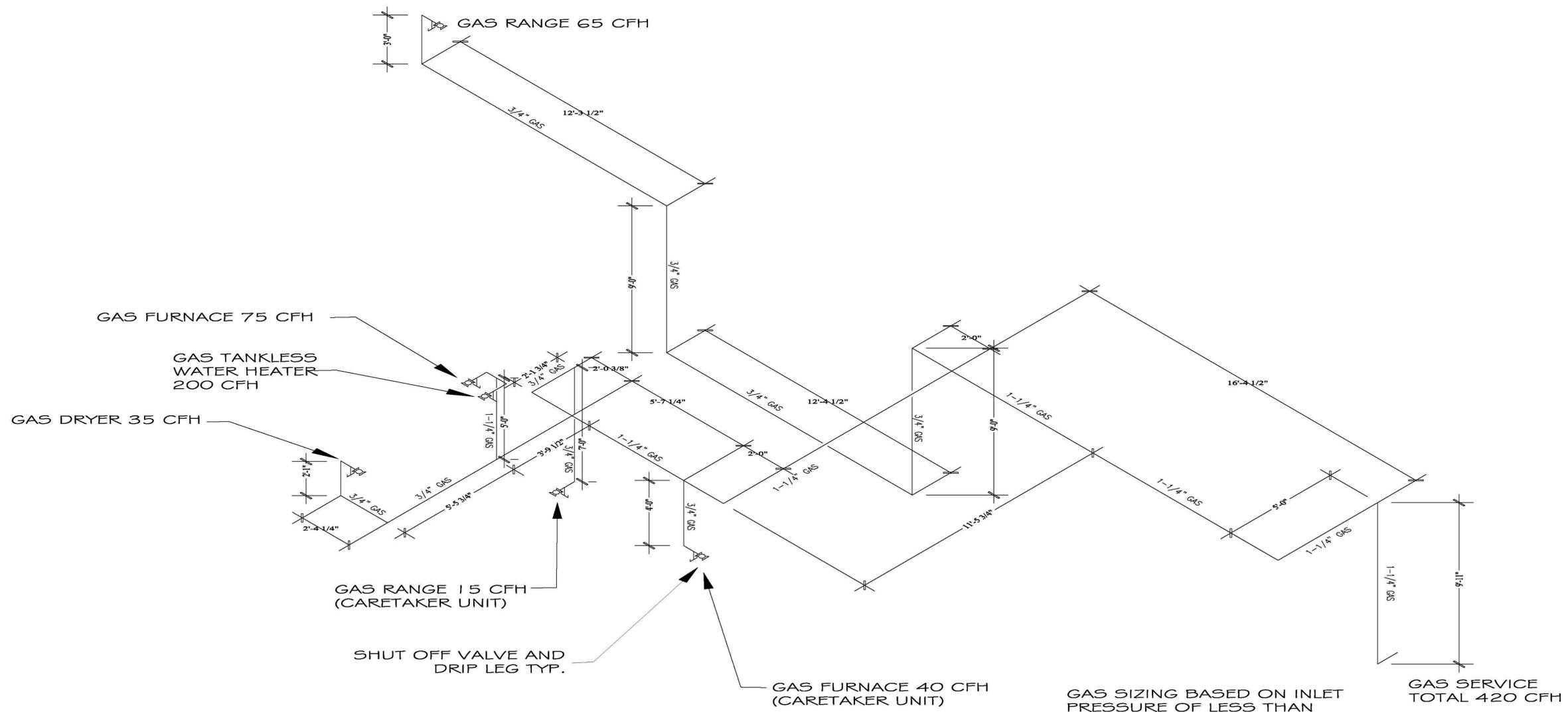
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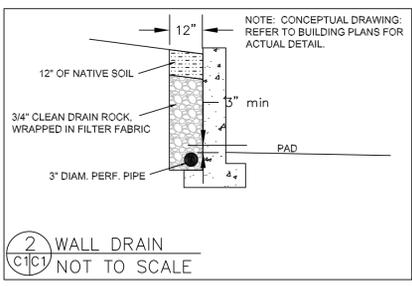
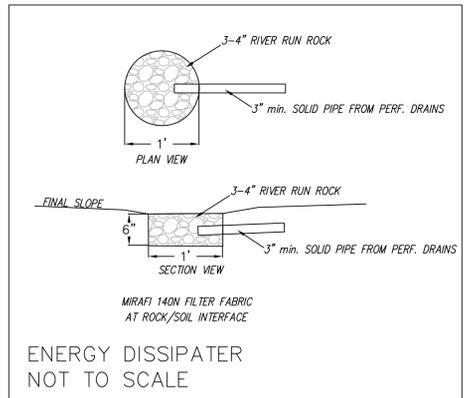
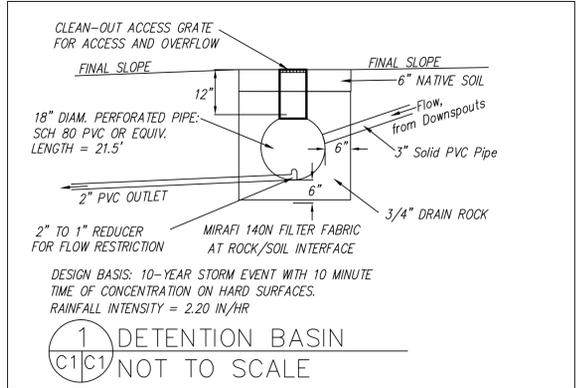
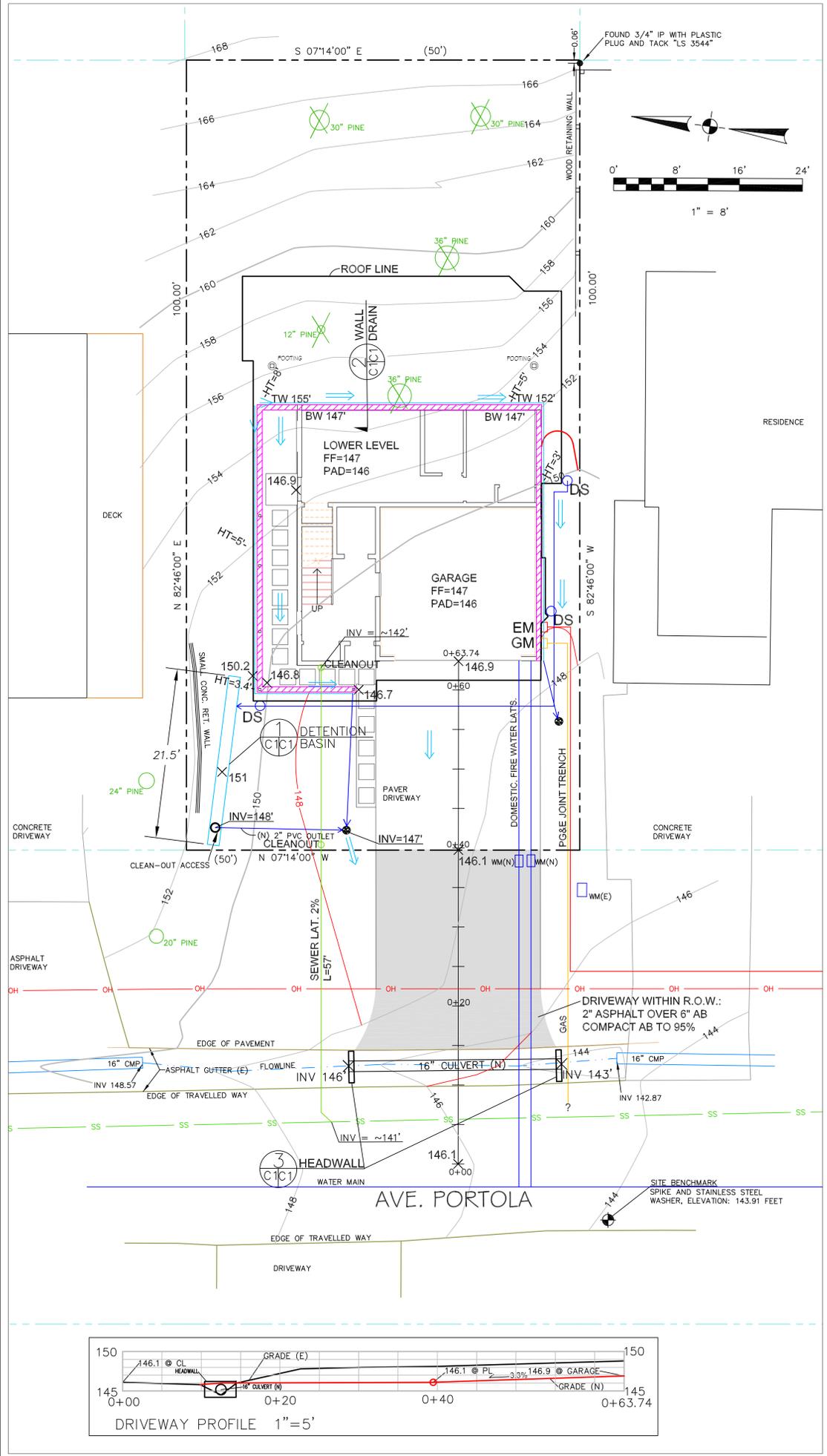
JOB: SEAMAN

SHEET:

PI01

OF SHEETS





GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: ED LOVE, ARCHITECT
2. SURVEY AND TOPOGRAPHY BY BGT SURVEYING, DATED 9-30-16.
3. ELEVATION DATUM ASSUMED.
4. THIS IS NOT A BOUNDARY SURVEY.

GRADING NOTES

CUT VOLUME: 245 CY
FILL VOLUME: 0 CY

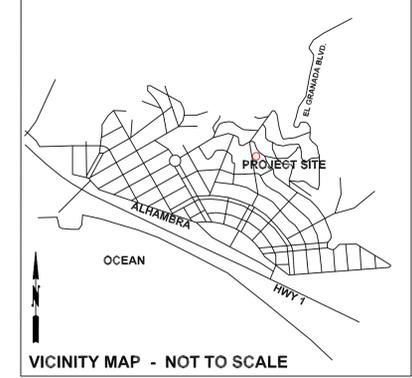
1. ABOVE VOLUMES ARE APPROXIMATE.
2. MAXIMUM GRADIENT OF ANY MODIFIED SLOPES SHALL BE 2:1 (H:V).
3. ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
4. ALL TRENCHES IN PROPOSED LANDSCAPE AREAS SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.
5. CONTRACTOR SHALL INSTALL ALL RIGHT OF WAY IMPROVEMENTS PER COUNTY STANDARD DETAILS.

DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF AND DRIVEWAY RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS.
2. ALL ROOF DRAIN LINES SHALL LEAD TO DETENTION BASIN SHOWN.
3. ALL DRAINAGE PIPES SHALL BE 3" MIN. DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

TRAFFIC CONTROL NOTES

1. CONTRACTOR AND WORKERS SHALL PARK ALONG AVENUE PORTOLA.
2. WHEN TRUCKS PARK IN STREET FOR DELIVERY OF SUPPLIES AND CONCRETE, EVERY EFFORT SHALL BE MADE TO PROVIDE ROOM FOR VEHICLES TO PASS. WORKERS SHALL PROVIDE TRAFFIC CONTROL AT ALL TIMES WHEN ROAD IS PARTIALLY BLOCKED.



LEGEND

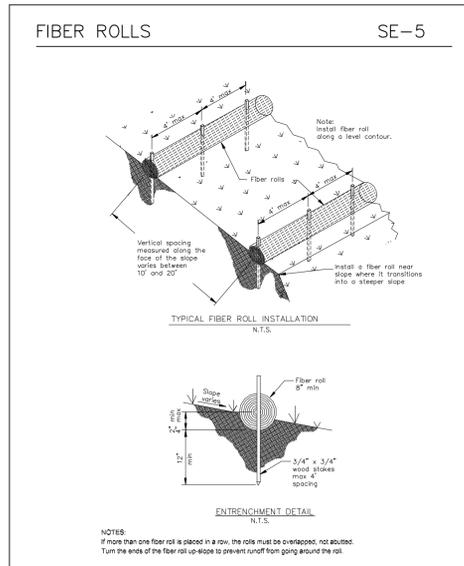
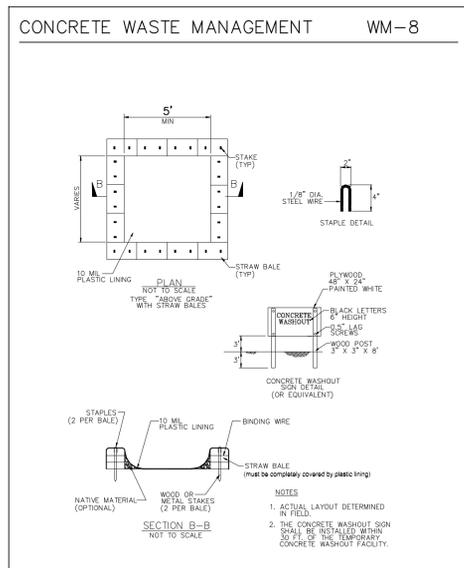
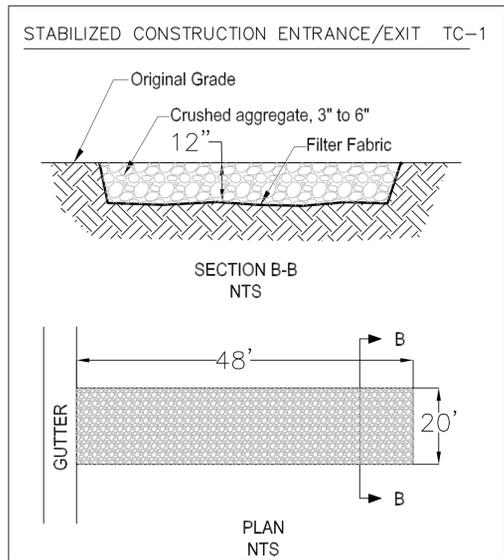
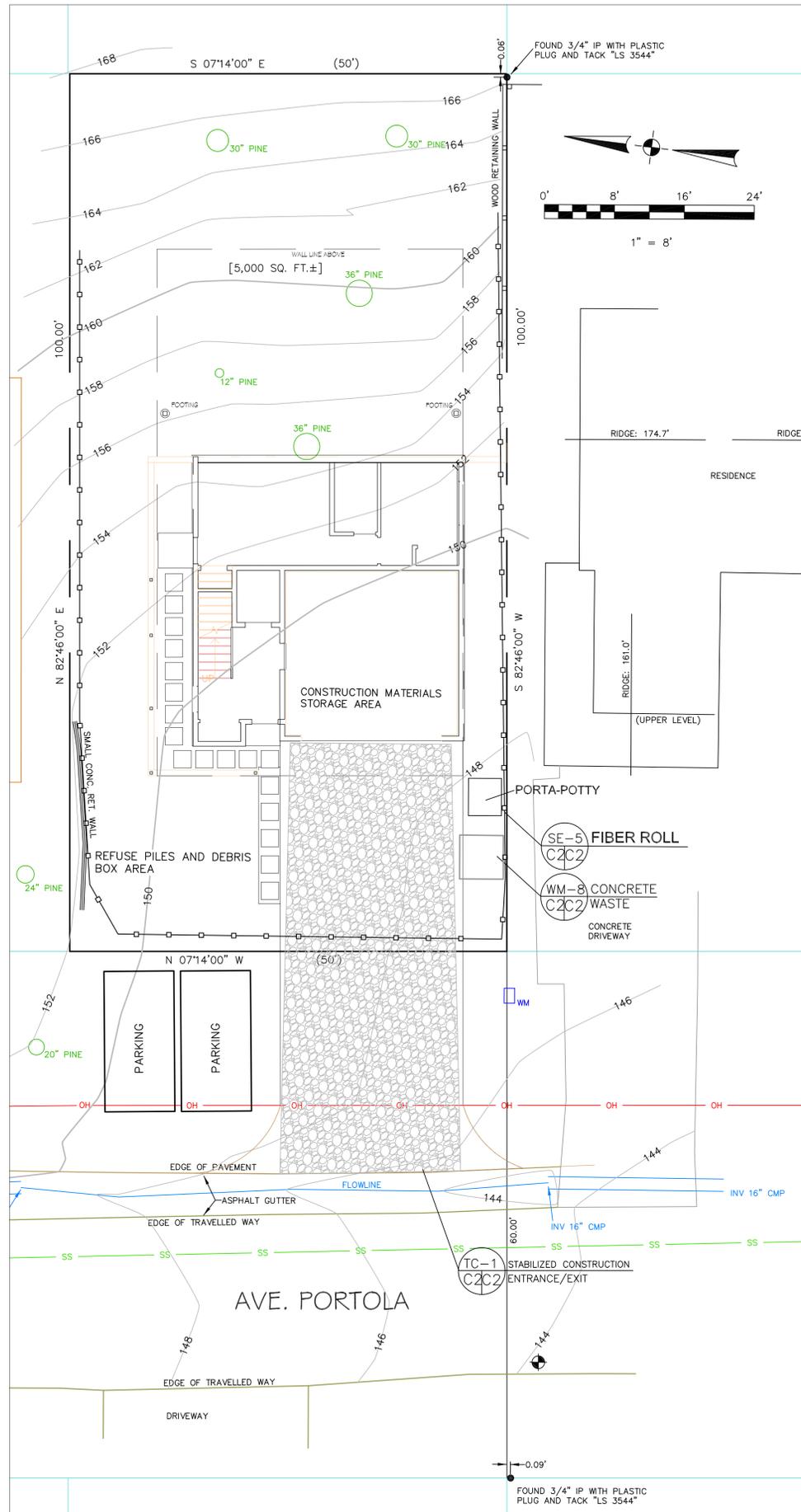
- EXISTING CONTOURS
- PROPOSED CONTOURS
- 146.9 PROPOSED SPOT ELEVATION
- DS DOWNSPOUT
- DIRECTION OF SURFACE DRAINAGE FLOW
- 3" SOLID PLASTIC DRAIN PIPE, SDR 35 @ 1% MINIMUM SLOPE.
- 12" PINE TREE TO BE REMOVED
- ENERGY DISSIPATER (SEE DETAIL BELOW)
- PROPOSED RETAINING WALL

SECTION AND DETAIL CONVENTION

- SECTION OR DETAIL IDENTIFICATION
- REFERENCE SHEET No. FROM WHICH SECTION OR DETAIL IS TAKEN
- REFERENCE SHEET No. ON WHICH SECTION OR DETAIL IS SHOWN
- E EXISTING
 - N NEW, PROPOSED
 - FF FINISHED FLOOR ELEVATION
 - GM GAS METER
 - EM ELECTRIC METER
 - SSMH SANITARY SEWER MANHOLE



DATE: 8-29-17	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE:	REV. DATE:	REV. DATE:
<p>GRADING AND DRAINAGE PLAN</p> <p>SEAMAN PROPERTY AVENUE PORTOLA EL GRANADA APN 047-243-060</p>					



GENERAL EROSION AND SEDIMENT CONTROL NOTES

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site
- Use of plastic sheeting between October 1st and April 30th is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile.
- The tree protection shall be in place before any grading, excavating or grubbing is started.

EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: BRUCE SEAMAN
 TITLE/QUALIFICATION: OWNER
 PHONE: 650-726-6688
 E-MAIL: BSEAMAN@ATT.NET

USE OF PLASTIC SHEETING BETWEEN OCTOBER 1ST AND APRIL 30TH IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.

EROSION CONTROL NOTES

- FIBER ROLL INSTALL AT LOCATIONS SHOWN. AFIX AS SHOWN IN DETAIL SE-5
1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
 2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
 3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
 4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
 5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH MULCH AND/OR LANDSCAPING.
 6. ROCKED CONSTRUCTION ENTRANCE FROM SIDEWALK TO GARAGE SHALL BE 48 FEET LONG BY 20 FEET WIDE AND CONFORM TO THE FOLLOWINGS:
 - A. THE MATERIAL FOR THE PAD SHALL BE 4 INCH MINIMUM STONE OVER GEO-TEXTILE FABRIC.
 - B. PAD SHALL BE NOT LESS THAN 12" THICK.
 - C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.



Erosion and Sediment Control Plan

SEAMAN PROPERTY
 AVENUE PORTOLA
 EL GRANADA
 APN 047-243-060

SHEET C-2

DATE: 8-29-17
 DRAWN BY: CMK
 CHECKED BY: AZG
 REV. DATE:
 REV. DATE:
 REV. DATE:

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 FAX 726-3693