

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: February 16, 2017

TO: Zoning Hearing Officer

FROM: Planning Staff

SUBJECT: Consideration of a Non-Conforming Use Permit, pursuant to Sections 6133.3 and 6137 of the San Mateo County Zoning Regulations, to construct a non-conforming single-family residence and a non-conforming detached carport on a non-conforming parcel located at 573 Menlo Oaks Drive in the unincorporated Menlo Oaks area of San Mateo County.

County File Number: PLN 2016-00104 (Wood)

PROPOSAL

The applicants propose to construct a 3,032 sq. ft. two-story single-family residence with four bedrooms, one office, three bathrooms, and a 303 sq. ft. sub-grade basement accessed by an exterior staircase at the rear of the residence on a non-conforming 10,133 sq. ft. parcel where 20,000 sq. ft. is the minimum parcel size required. The shortest width of the parcel is 43.42 feet where the average minimum parcel width of 75 feet is required. Two decks, totaling 439 sq. ft., will be attached to the residence. A detached 400 sq. ft. non-conforming carport is proposed to be constructed in the front yard 40 feet from the front property line. The proposed carport is non-conforming because detached accessory buildings on interior parcels abutting one street (the case of the subject parcel) may not encroach upon the front half of the parcel pursuant to Section 6411(b) (General Provisions and Exceptions) of the San Mateo County Zoning Regulations. A total of 120 cubic yards (cy) (90 cy of cut and 30 cy of fill) of grading is proposed. No trees over 12 inches in diameter at breast height (dbh) will be removed. The existing residence on the parcel, built in 1928, will be demolished.

RECOMMENDATION

That the Zoning Hearing Officer approve the Non-Conforming Use Permit (County File Number PLN 2016-00104), by making the required findings and adopting the conditions of approval in Attachment A.

BACKGROUND

Report Prepared By: Carmelisa Morales, Project Planner, 650/363-1873

Applicants: Danielle and Eric Wood

Owners: Danielle and Eric Wood

Location: 573 Menlo Oaks Drive, Menlo Park

APN: 062-140-160

Parcel Size: 10,133 sq. ft.

Parcel Legality: The parcel is considered legal as it is developed with a principally permitted use (single-family residence), constructed in 1928, with a building permit.

Existing Zoning: R-1/S-100 (Single-Family Residential District/ S-100 Combining District with 20,000 sq. ft. minimum parcel size)

General Plan Designation: Low Density Residential (0.3 to 2.3 dwelling units per acre)

Sphere-of-Influence: Menlo Park

Existing Land Use: Single-Family Residence

Water Supply: California Water Service, Bear Gulch District

Sewage Disposal: West Bay Sanitary District

Flood Zone: Zone X (Area of Minimal Flooding), Map page 06081C0308E; effective date October 16, 2012.

Environmental Evaluation: Categorically exempt pursuant to Section 15303, Class 3, of the California Environmental Quality Act (CEQA), related to construction of a single-family residence and an accessory structure.

Setting: The project site is located on a flat parcel in a residential neighborhood in Menlo Oaks, an unincorporated community adjacent to Menlo Park. There is an existing residence with a detached garage in the rear yard, built in 1928, that will be demolished subject to the approval of this application.

DISCUSSION

A. KEY ISSUES

1. Conformance with the General Plan

Staff has determined that the proposed project complies with all applicable County General Plan policies, specifically:

Policy 8.15 (*Land Use Compatibility*) seeks to protect and enhance the character of existing single-family areas. The proposed project complies with this designation as the County General Plan designates the subject parcel as Low Density Residential (0.3 to 2.3 dwelling units per acre). Demolition of the existing residence and construction of the proposed residence do not change the use of the property as a single-family residence.

In addition, Policy 8.35 (*Zoning Regulations*), Policy 8.36 (*Uses*), and Policy 8.40 (*Parking Requirements*) aim to regulate urban uses by providing development standards that are consistent with the overall land use designation. The proposed single-family residence will be compatible with the neighborhood and adhere to all applicable regulations with the exception of the side yard setbacks of the residence and location of the detached carport which will be discussed further in 2.a. below:

2. Conformance with the Zoning Regulations

a. Development Standards

The project parcel is zoned R-1/S-100 (Single-Family Residential District/ S-100 Combining District). The legal 10,133 sq. ft. parcel is non-conforming for lot width and building lot area (i.e., parcel size). There is a residence and detached two-car garage on the parcel that will be demolished for construction of the new two-story single-family residence and detached two-car carport. The proposed residence will be non-conforming for side yard setbacks. The proposed carport (i.e., detached accessory building) will also be non-conforming for the location as it will be located in the front yard. The proposed development on the parcel would comply with the required development standards for the R-1/S-100 Zoning District for all other applicable zoning regulations as outlined in the tables below:

S-100 District Development Standards			
	Required	Existing	Proposed
Minimum Lot Width	Average 75 ft.	43.42 ft.*	No change
Minimum Building Area	20,000 sq. ft.	10,133 sq. ft.*	No change
Minimum Front Yard Setback	20 ft.	-	114 ft.
Minimum Left Side Yard Setback	10 ft.	-	4 ft.**
Minimum Right Side Yard Setback	10 ft.	-	6 ft. 6 in.**
Minimum Rear Yard Setback	20 ft.	-	30 ft.
Maximum Lot Coverage ¹ (All Development)	25% (2,533 sq. ft.)	-	22% (2,278 sq. ft.)
Maximum Floor Area Ratio ² (All Development)	30% (3,039 sq. ft.)	-	29% (3,032 sq. ft.)
Maximum Building Height	30 ft.	-	20 ft. 10 ¾ in.
Minimum Covered Parking ³	2 Spaces	-	2 Spaces
<p><i>*Non-conforming.</i></p> <p><i>**Proposal requiring a non-conforming use permit.</i></p> <p>1. Lot Coverage calculation includes residence with front covered porch (1,878 sq. ft.) and detached carport (400 sq. ft.).</p> <p>2. Floor Area Ratio calculation includes residence and covered porch (3,032 sq. ft.). Detached carport (400 sq. ft.) and sub-grade basement (303 sq. ft.) not included.</p> <p>3. San Mateo County Zoning Regulations Section 6119.</p>			

Detached Accessory Building Development Standards⁴		
	Required	Proposed
Maximum Floor Area of Rear Yard Area	30% (1,519 sq. ft.)	7% (400 sq. ft.) In Front Yard**
Maximum Floor Area	1,000 sq. ft.	400 sq. ft.
Maximum Plate Height	10 ft.	9 ft.
Minimum Front Yard Setback	3 ft.	40 ft.
Minimum Left Side Yard Setback	3 ft.	4 ft.
Minimum Right Side Yard Setback	3 ft.	18.5 ft.
Minimum Rear Yard Setback	3 ft.	164 ft.
<p><i>**Proposal requiring a non-conforming use permit.</i></p> <p>4. San Mateo County Zoning Regulations Sections 6410 and 6411.</p>		

The S-100 Zoning District development standards require the left and right side yard setbacks to be a minimum of 10 ft. Section 6411 from Chapter 22 (*General Provisions and Exceptions*) of the San Mateo County Zoning Regulations also requires detached accessory buildings to be located in the rear yard if the parcel is an interior parcel

abutting one street. With the exception of the proposed side yard setbacks and the location of the detached accessory building, the proposed two-story single-family residence and detached two-car carport meet the applicable zoning regulations.

The applicants are requesting a non-conforming use permit to allow the left yard setback of the residence to be 4 ft., the right yard setback of the residence to be 6 ft. 6 in., and the detached carport to be in the front yard due to the non-conforming width and parcel size of the subject parcel.

3. Conformance with Non-Conforming Use Permit Regulations

The subject parcel is non-conforming as identified in Section 2.a. above. Section 6133.3.b(2) (*Development of Non-Conforming Parcels*) of the San Mateo County Zoning Regulations requires the issuance of a use permit when proposed development on an improved non-conforming parcel does not conform with the zoning regulations currently in effect. Alternatively, Section 6137 (*Exceptions*) allows applicants to request a non-conforming use permit to construct new development that does not conform with the zoning regulations, as is being proposed under the subject application. Therefore, the following findings, as required by Sections 6133.3.b(3) and 6137, must be made:

a. That the proposed development is proportioned to the size of the parcel on which it is being built.

The legal parcel is substandard in size. The S-100 Zoning District standards require an average minimum parcel width of 75 ft. with minimum side yard setbacks of 10 ft. for the residence, resulting in 27% of the parcel width for setbacks. Due to the non-conformity, the proposed residence will be proportional to the parcel size with a left side yard setback of 4 ft. and a right side yard setback of 6 ft. 6 in. which will devote 25% of the parcel's width to setbacks. The right side yard setback will be wider to minimize the impact of the second level of the proposed residence on the adjacent residence at 591 Menlo Oaks Drive. The proposed left yard setback is narrower than the right yard setback by 2 ft. 2 in. because the access easement for a flag lot bordering the west and south property lines of the subject parcel (551 Menlo Oaks Drive) lies between the subject parcel and the adjacent residence at 549 Menlo Oaks Drive. The only single story section of the proposed residence is also closest to the left side yard further minimizing the visual impact on neighboring parcels.

As discussed in 2.a., the proposed carport is also non-conforming due to its location in the front yard. The applicants chose this location to

allow for a wider residence and to decrease the amount of impervious surface on the parcel. The proposed driveway will also be compatible with neighboring parcels in length.

Aside from the proposed carport and setbacks, the proposed development is proportional with the maximum floor area and lot coverage limits required by the applicable zoning district.

- b. That all opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations currently in effect have been investigated and proven to be infeasible.**

Surrounding properties are currently developed and used as single-family residences, and are under separate ownership. The subject parcel is bordered on the left by an easement to access the property directly behind the subject parcel. Furthermore, the owners at 591 Menlo Oaks Drive did not accept the applicants' offer to purchase a portion of their land. Consequently, acquisition is not feasible.

- c. That the proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible.**

The proposed project is nearly in compliance with the applicable zoning regulations as is reasonably possible. Despite the decreased side yard setbacks, the proposed residence will be proportional to the size of the non-conforming parcel and be compatible in scale and value with the neighborhood. The location of the detached carport in the front yard will also decrease the amount of impervious surface on the parcel and be more accessible to the right-of-way.

- d. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.**

As proposed and conditioned, Staff has determined that the proposed single-family residence and detached two-car carport do not impact the public welfare or cause detriment to property or improvements in the neighborhood. The decreased setbacks are feasible due to the adjacent access easement and ideal proportion for the residence in comparison to its non-conforming width and size. The proposed carport will be adjacent to the access easement as well and allow for more pervious surface area on the parcel compared to the existing driveway required to access the existing detached garage in the rear

yard. Furthermore, the project site is not located within the Coastal Zone and therefore does not generate a significant adverse impact to coastal resources.

- e. **That the use permit approval does not constitute a granting of special privileges.**

Approval of a non-conforming use permit does not constitute the granting of a special privilege as Chapter 4 (*Zoning Non-Conformities*) of the San Mateo County Zoning Regulations provides the same exception process for similar parcels under the same conditions. With the exception of three parcels along Menlo Oaks Drive, the majority of the widths and lot sizes of neighboring parcels are in compliance.

B. ENVIRONMENTAL REVIEW

The project is categorically exempt pursuant to Section 15303, Class 3, from the California Environmental Quality Act (CEQA), related to the construction of a single-family residence and an accessory structure.

C. REVIEWING AGENCIES

	Approve	Conditions	Deny
Building Inspection Section	X	X	
Department of Public Works	X	X	
Geotechnical Section	X		
Menlo Park Fire Protection District	X	X	

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Project Plans

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County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2016-00104 Hearing Date: February 16, 2017

Prepared By: Carmelisa Morales For Adoption By: Zoning Hearing Officer
Project Planner

RECOMMENDED FINDINGS

For the Environmental Review, Find:

1. That this project is categorically exempt pursuant to Section 15303, Class 3, from the California Environmental Quality Act (CEQA) Guidelines for the construction of a single-family residence and an accessory structure.

For the Non-Conforming Use Permit, Find:

2. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood, as the site is not located within the Coastal Zone and the proposed project generates negligible impacts on adjacent parcels and the surrounding neighborhood. The decreased setbacks will allow for a proportionally sized residence and the location of the detached carport will decrease the overall amount of impervious surfaces on the parcel.
3. That the proposed development is proportioned to the size of the parcel on which it is being built, as the decreased setbacks allow for minimized visual impact and the location of the carport allows for the proposed residence to be of proportional size to the substandard parcel. The proposed residence also complies with maximum floor area and lot coverage limits of the applicable zoning district.
4. That all opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations currently in effect have been investigated and proven to be infeasible, as surrounding properties are currently developed and used as single-family residences, and are under separate ownership. The owners at 591 Menlo Oaks Drive also did not accept the applicants' offer to purchase a portion of their land. Therefore, acquisition is not feasible.

5. That the proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible, as the proposed project will comply with all applicable zoning regulations with the exception of non-conforming side yard setbacks for the residence and the non-conforming location of the detached carport in the front yard.
6. That the use permit approval does not constitute a granting of special privileges, as Chapter 4 (*Zoning Non-Conformities*) of the San Mateo County Zoning Regulations provides the same exception process for similar parcels under the same conditions.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. This approval applies only to the proposal, documents and plans described in this report and submitted to and approved by the Zoning Hearing Officer on February 16, 2017. Minor revisions or modifications to this project may be approved by the Community Development Director if they are consistent with the intent of and in substantial conformance with this approval.
2. This non-conforming use permit shall be valid for one (1) year from the date of approval by which time the project shall be completed. Any extension of this permit shall require submittal of an application for permit extension and payment of applicable permit extension fees sixty (60) days prior to the expiration date.
3. No trees over 12 inches in diameter at breast height (dbh) are permitted to be removed as part of this approval. The applicants shall be required to obtain approval of a tree removal permit for the removal of any tree with a diameter greater than 12 inches as measured 4.5 feet above the ground.
4. The applicants shall include an erosion and sediment control plan on the plans submitted for the building permit. This plan shall identify the type and location of erosion control devices to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site. A separate tree protection plan may also be required as part of the building permit. Species and size of trees shall be indicated on the plan (size shall be measured by dbh method).
5. The applicants shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Department of Public Works, the Geotechnical Section, and the respective Fire Authority.
6. A survey verification letter will be required during the construction phase of this project. Once the building permit has been issued and the forms have been set, the surveyor of record shall field measure the setback dimensions of the set forms

from applicable property lines and compose a survey verification letter, with stamp and signature, of the field measurements to be submitted to the Planning and Building Department for review and approval.

7. No site disturbance shall occur until a building permit has been issued.
8. Upon the start of excavation activities and through the completion of the project, the applicants shall be responsible for ensuring that dust control measures are implemented as needed.
9. Per San Mateo County Ordinance Code Section 8605.5, all equipment used in grading operations shall meet spark arrester and firefighting tool requirements, as specified in the California Public Resources Code.
10. During project construction, the applicants shall, pursuant to Chapter 4.100 of the San Mateo County Ordinance Code, minimize the transport and discharge of stormwater runoff from the construction site into storm drain systems by:
 - a. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30. Stabilizing shall include both proactive measures, such as the placement of hay bales or coir netting, and passive measures, such as revegetating disturbed areas with plants propagated from seed collected in the immediate area.
 - b. Storing, handling and disposing of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - c. Controlling and preventing the discharge of all pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
 - d. Using sediment controls or filtration to remove sediment when dewatering site and obtaining all necessary permits.
 - e. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - f. Delineating with field markers, clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses.
 - g. Protecting adjacent properties and undisturbed areas from construction impacts using vegetative buffers trips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - h. Performing clearing and earth-moving activities only during dry weather.

- i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
 - j. Limiting construction access routes and stabilizing designated access points.
 - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - l. The contractor shall train and provide instruction to all employees and subcontractors regarding the construction best management practices.
11. The applicants are responsible for ensuring that all contractors are aware of all stormwater quality measures and implementing such measures. Failure to comply with the construction Best Management Practices (BMPs) will result in the issuance of the correction notices, citations, or a project stop order.
- a. All landscaping shall be properly maintained and shall be designed with efficient irrigation practices to reduce runoff, promote surface filtration and minimize the use of fertilizers, herbicides and pesticides that can contribute to runoff pollution.
 - b. Where subsurface conditions allow, the roof downspout systems from all structures shall be designed to drain to a designated, effective infiltration area or structure (refer to BMPs Handbook for infiltration system designs and requirements).
12. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo Ordinance Code Section 4.88.360).

Building Inspection Section

13. Horizontal projections within 5 feet of property lines shall be protected on the underside by material of one hour construction.
14. At the building permit stage, submit the required Model Water Efficient Landscape Ordinance (MWELo) forms.

Department of Public Works

15. Prior to the issuance of the building permit, the applicants shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Department of Public Works for review and approval. The drainage

analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works for review and approval.

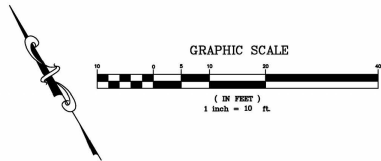
16. Prior to the issuance of the building permit, the applicants shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20%) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
17. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit is issued. The applicants shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
18. Prior to the issuance of the building permit, the applicants will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No. 3277.

Menlo Park Fire Protection District

19. Install a National Fire Protection Association (NFPA) 13-D fire sprinkler system under a separate fire permit to include the garage and residence. Based on review of the subject application's project plans, this residence will be below 3,600 sq. ft. and therefore will require the fire sprinkler system to be designed to a 2 head calculation. The fire sprinkler system shall comply with Menlo Park Fire Protection District Standards.
20. The residential fire sprinkler system shall have an interior alarm, activated by the flow switch that is audible in all sleeping areas.
21. For the fire suppression system, fire flow data from the water purveyor shall be provided at the time of deferred submittal.

22. Pursuant to California Building Code (CBC) 907.2.11.2 (2013), smoke detectors must be installed in each sleeping area, outside of each sleeping area, and on each level of the house. Pursuant to CBC Sec. 420 (2013), carbon monoxide detectors are required outside the sleeping areas and on each level of the house. The alarms for the smoke and carbon monoxide detectors are required to be interconnected.
23. Emergency escape and rescue openings are required to meet the following conditions and be verified by the Building Inspection Section:
 - a. Pursuant to California Fire Code (CFC)/CBC 1029.2 (2013), emergency escape and rescue openings shall have a minimum net clear opening of 5.7 sq. ft. (053 m²).
 - b. Pursuant to CFC/CBC 1029.2.1 (2013), the minimum height dimension for net clear openings is 24 inches (610 millimeters (mm)). The minimum width dimension for net clear openings is 20 inches (508 mm). The net clear opening dimensions shall be the result of normal operation of the opening.
 - c. Pursuant to CFC/CBC 1029.3 (2013), the bottom of the clear opening for emergency escape and rescue openings shall be no greater than 44 inches (1119 mm) measured from the floor.
24. The applicants are required to install illuminated address numbers that are at least 4 inches tall with a 1/2-inch stroke. The address numbers must be visible from the street and in contrast to its background. Where access is by means of a private road and the building cannot be viewed from a public right-of-way, a monument, pole, or other sign or means shall be used to identify the structure. Address numbers shall be maintained.
25. Approved plans and approval letter must be on-site at the time of inspection.
26. Final acceptance of this project is subject to field inspection.
27. Upon completion of work and prior to closing ceiling, contact Menlo Park Fire Protection District Deputy Fire Marshal, Bob Blach, at 650/688-8430, to schedule a final inspection. All inspections require a 48-hour notice.

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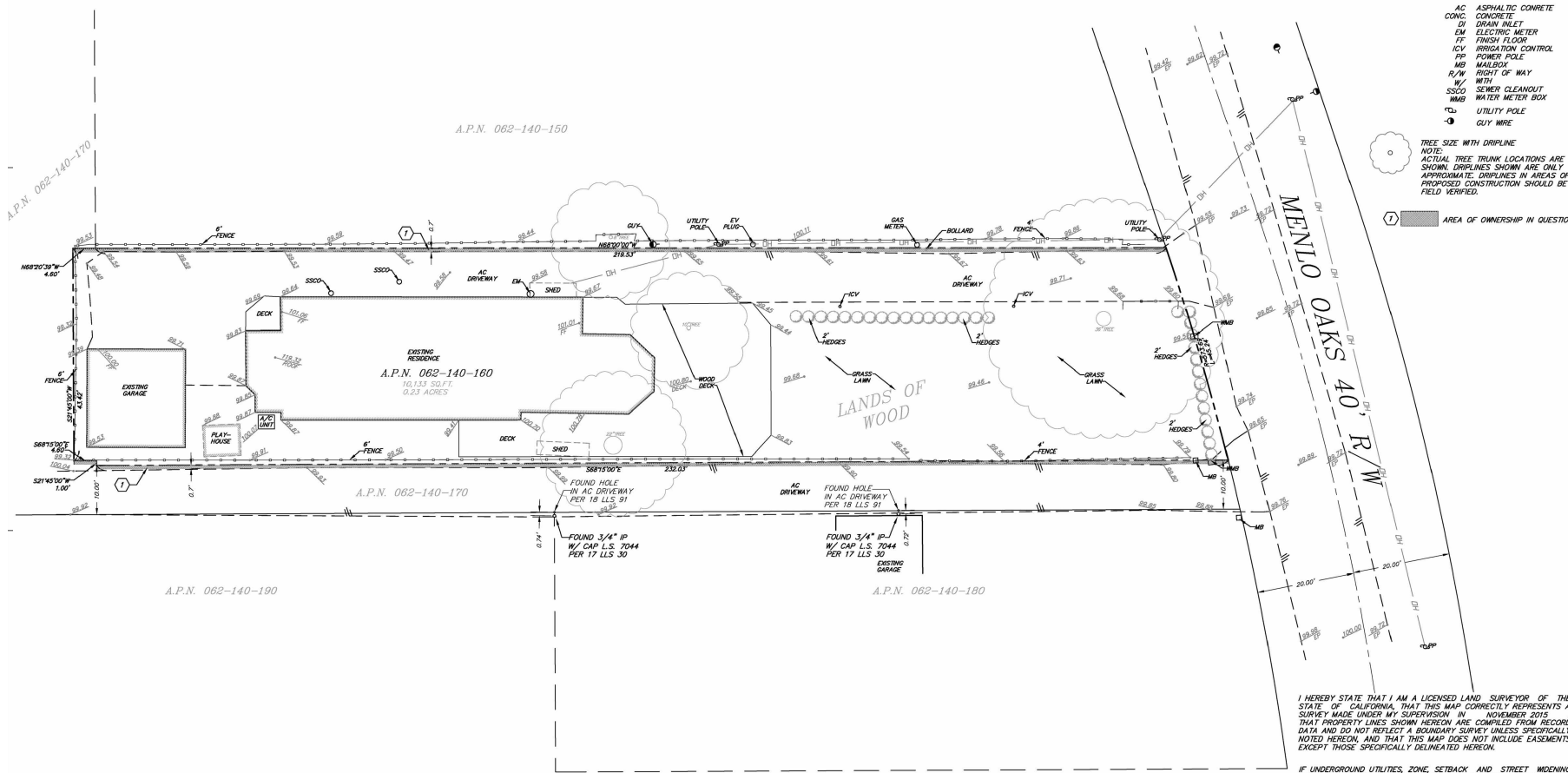
NOTES:
 A RECORD OF SURVEY SHOULD BE RECORDED TO VERIFY SUBJECT PROPERTY LINES.
BENCHMARK:
 ELEVATIONS ARE BASED ON ASSUMED DATUM. PROJECT BENCHMARK IS THE FINISH FLOOR OF THE EXISTING GARAGE AS SHOWN. ELEVATION = 100.00'
PROJECT SITE:
 573 MENDO OAKS DRIVE
 MENDLO PARK CALIFORNIA
 APM-062-140-160
 10,133 SQ.FT.
 0.23 ACRES

- LEGEND:**
- — — — — PROPERTY LINE
 - — — — — ADJACENT PROPERTY LINE
 - o — o — o — WOOD FENCE
 - x — x — x — WIRE FENCE
 - e — — — — CENTERLINE
 - — — — — OVERHEAD UTILITIES
 - — — — — EDGE OF PAVEMENT

- 00.00 SPOT ELEVATION
- AC ASPHALTIC CONCRETE
 - CONC. CONCRETE
 - DI DRAIN INLET
 - EM ELECTRIC METER
 - FZ FINISH FLOOR
 - ICV IRRIGATION CONTROL
 - PP POWER POLE
 - MB MAILBOX
 - R/W RIGHT OF WAY
 - WTH WITH
 - SSCO SEWER CLEAOWT
 - WMB WATER METER BOX
 - UP UTILITY POLE
 - GW GUY WIRE

TREE SIZE WITH DRIPLINE
 NOTE:
 ACTUAL TREE TRUNK LOCATIONS ARE SHOWN. DRIPLINES SHOWN ARE ONLY APPROXIMATE. DRIPLINES IN AREAS OF PROPOSED CONSTRUCTION SHOULD BE FIELD VERIFIED.

① AREA OF OWNERSHIP IN QUESTION



I HEREBY STATE THAT I AM A LICENSED LAND SURVEYOR OF THE STATE OF CALIFORNIA, THAT THIS MAP CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION IN NOVEMBER 2015 THAT PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND DO NOT REFLECT A BOUNDARY SURVEY UNLESS SPECIFICALLY NOTED HEREON AND THAT THIS MAP DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON.

IF UNDERGROUND UTILITIES, ZONE, SETBACK AND STREET WIDENING DATA ARE SHOWN HEREON, IT IS FOR INFORMATION ONLY, HAVING BEEN OBTAINED FROM AVAILABLE SOURCES NOT CONNECTED WITH THIS CORPORATION. THEREFORE, NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID INFORMATION.

ANDREW K. HOLMES L.S. 4428



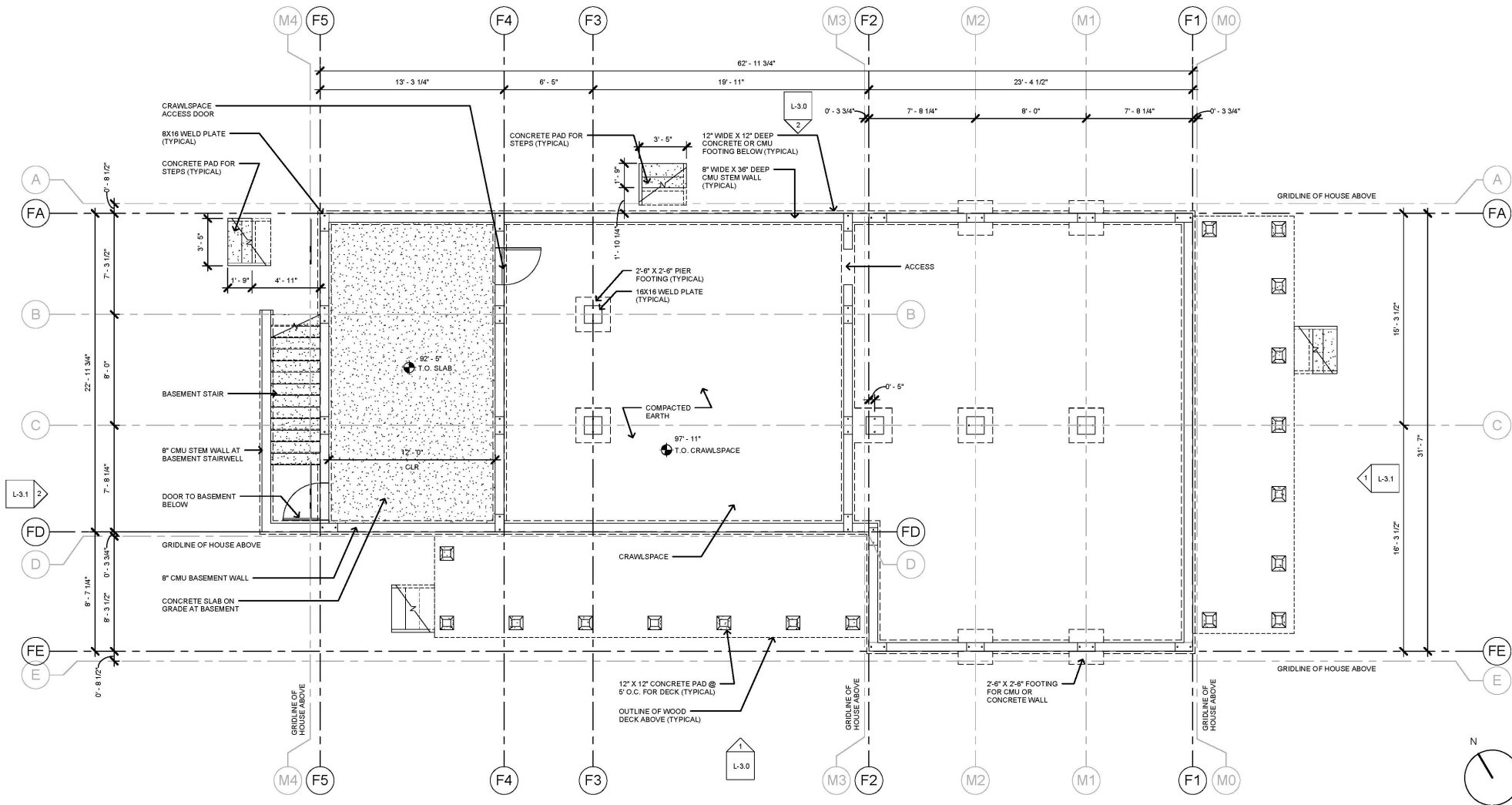
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REVISIONS:	BY:

PREPARED FOR:
ERIC & DANIELLE WOOD

TOPOGRAPHY SURVEY
 PORT LOT 10, BLOCK 7
 7 MAPS 27, SAN MATEO COUNTY, CA

DATE	11/20/2015
SCALE	1" = 10'
DRAWN	MIN
CER NO.	09.1714
DESK	1
SHEET	7 OF 7

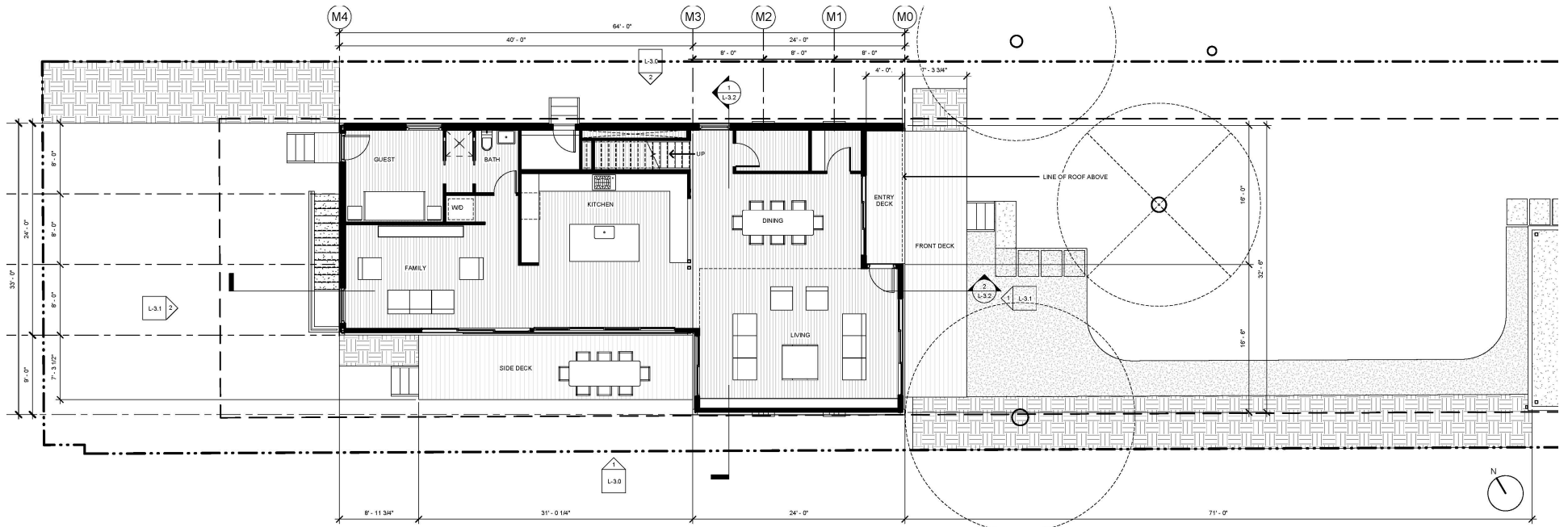


San Mateo County Zoning Hearing Officer Meeting

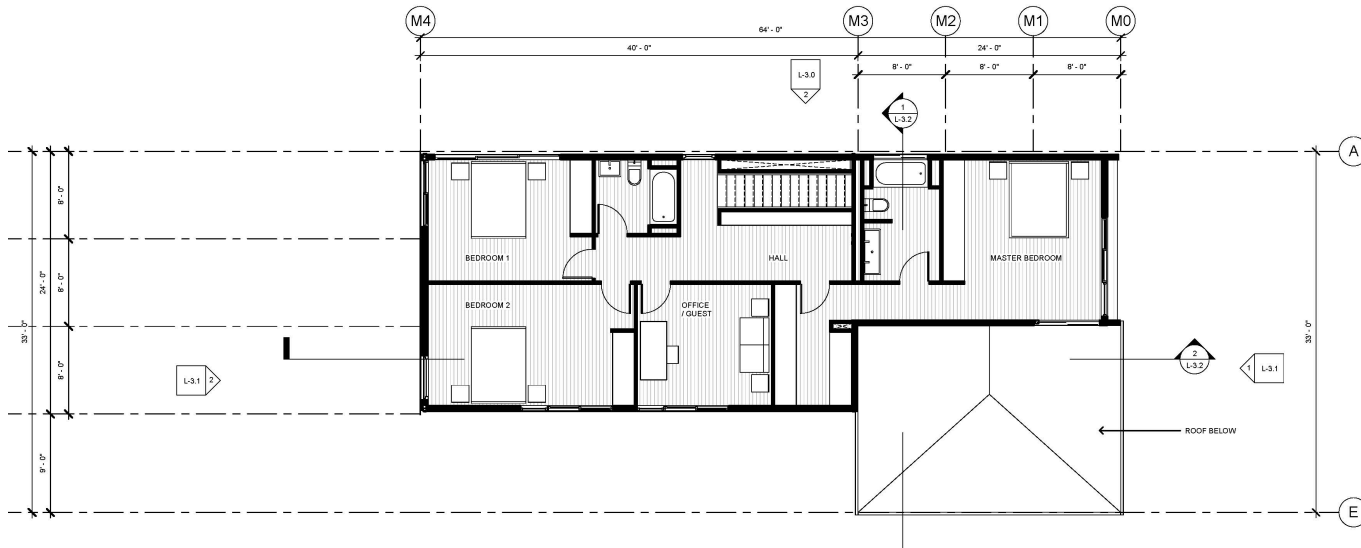
Owner/Applicant: _____

Attachment: _____

File Numbers: _____



ARCHITECTURAL FLOOR PLAN, LEVEL 1
3/16" = 1'-0" 1

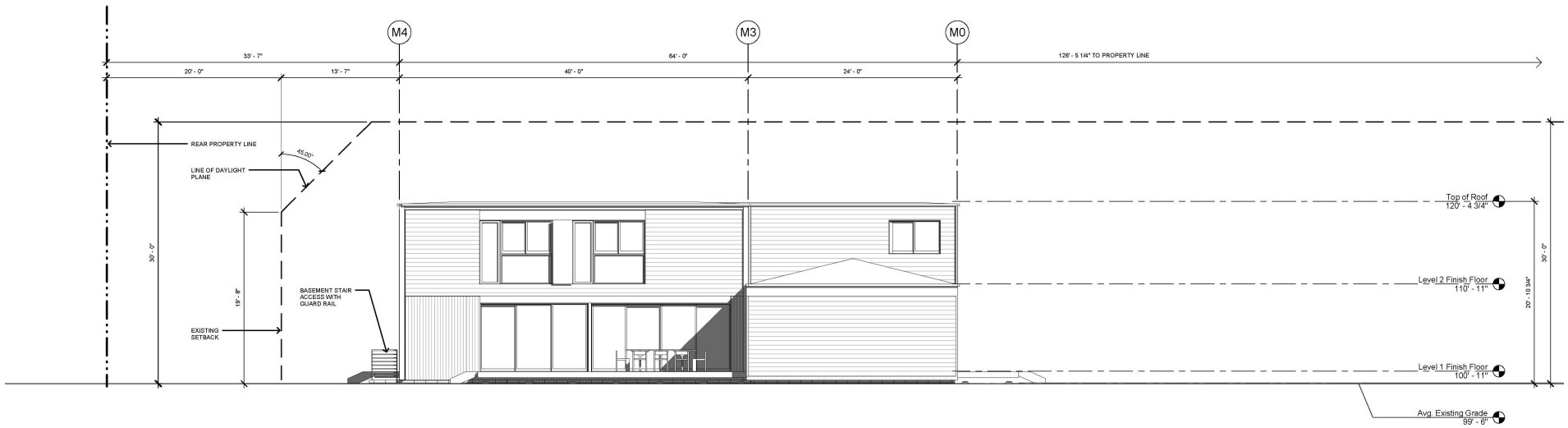


San Mateo County Zoning Hearing Officer Meeting

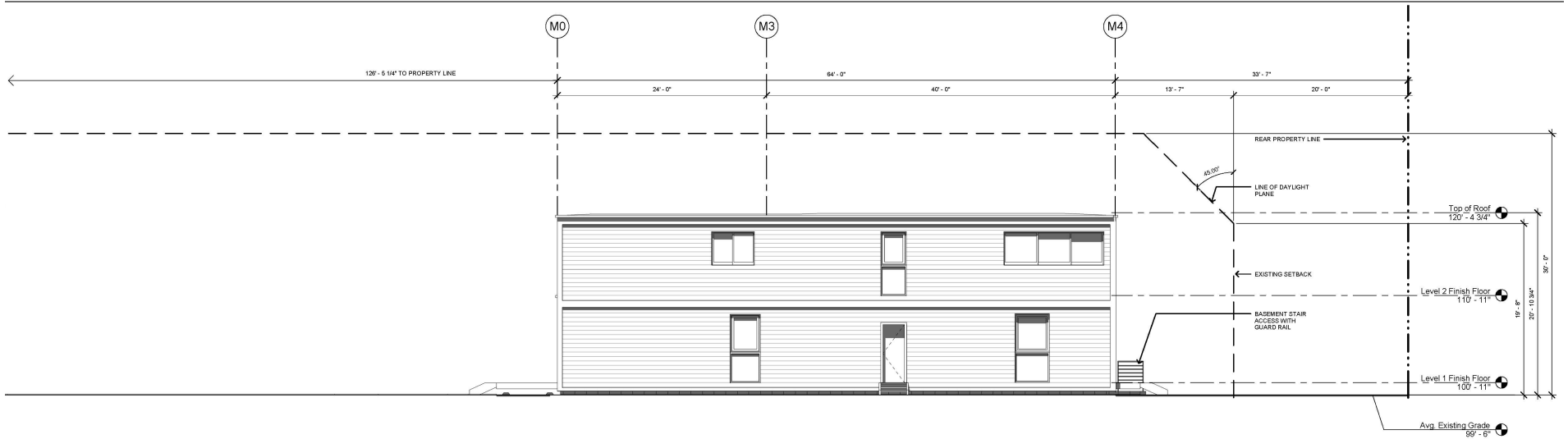
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EXTERIOR ELEVATION, SOUTH
3/16" = 1'-0" 1

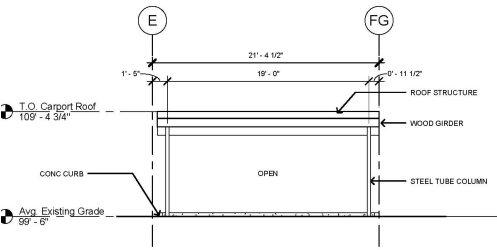


San Mateo County Zoning Hearing Officer Meeting

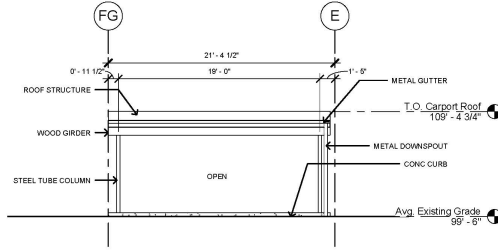
Owner/Applicant: _____

Attachment: _____

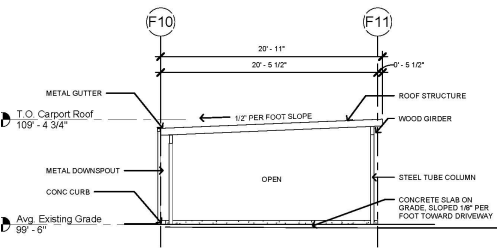
File Numbers: _____



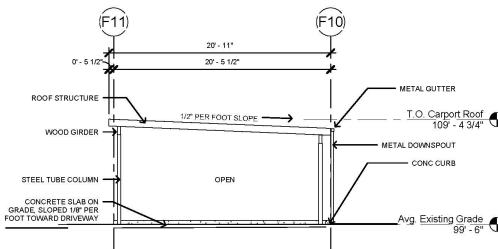
CARPOT ELEVATION - EAST
3/16" = 1'-0" 5



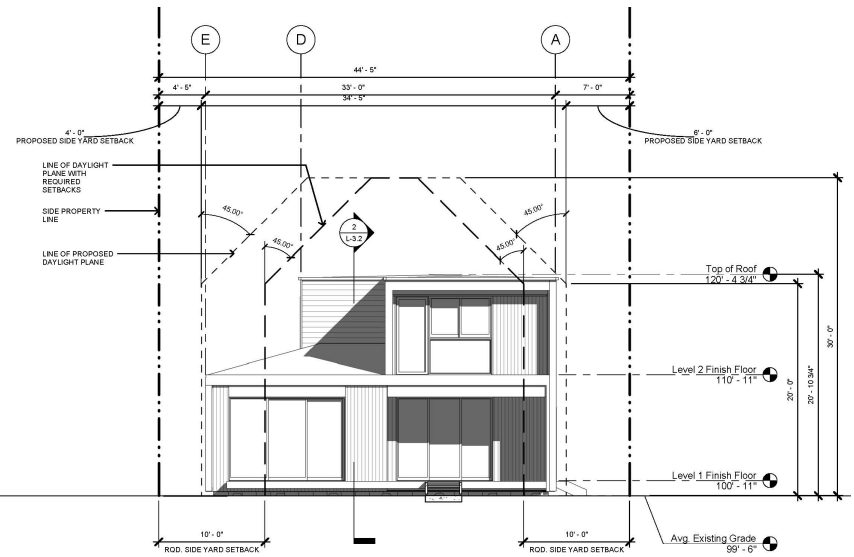
CARPOT ELEVATION - WEST
3/16" = 1'-0" 6



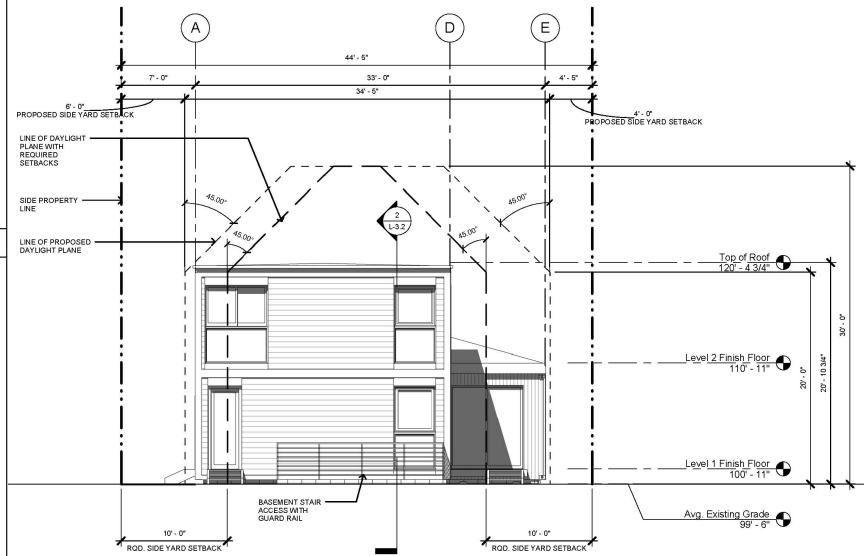
CARPOT ELEVATION - SOUTH
3/16" = 1'-0" 3



CARPOT ELEVATION - NORTH
3/16" = 1'-0" 4



EXTERIOR ELEVATION, EAST
3/16" = 1'-0" 1



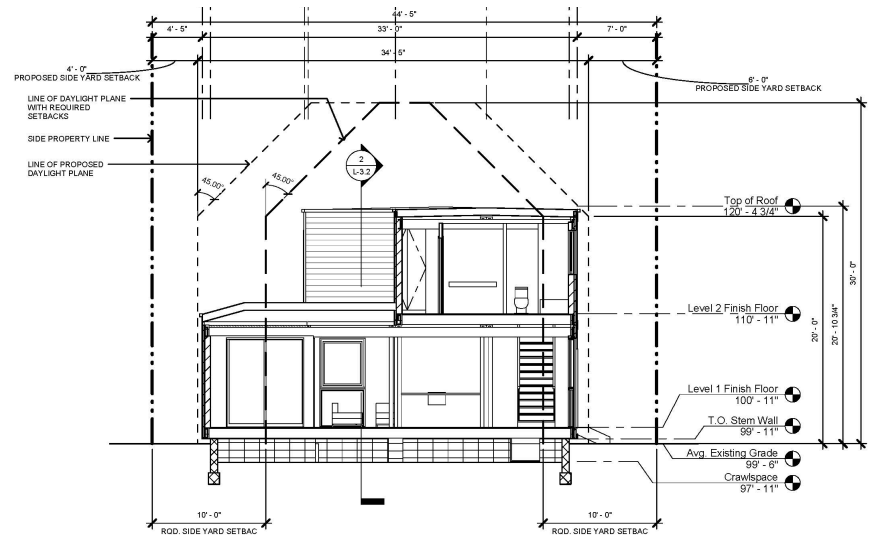
EXTERIOR ELEVATION, WEST
3/16" = 1'-0" 2

San Mateo County Zoning Hearing Officer Meeting

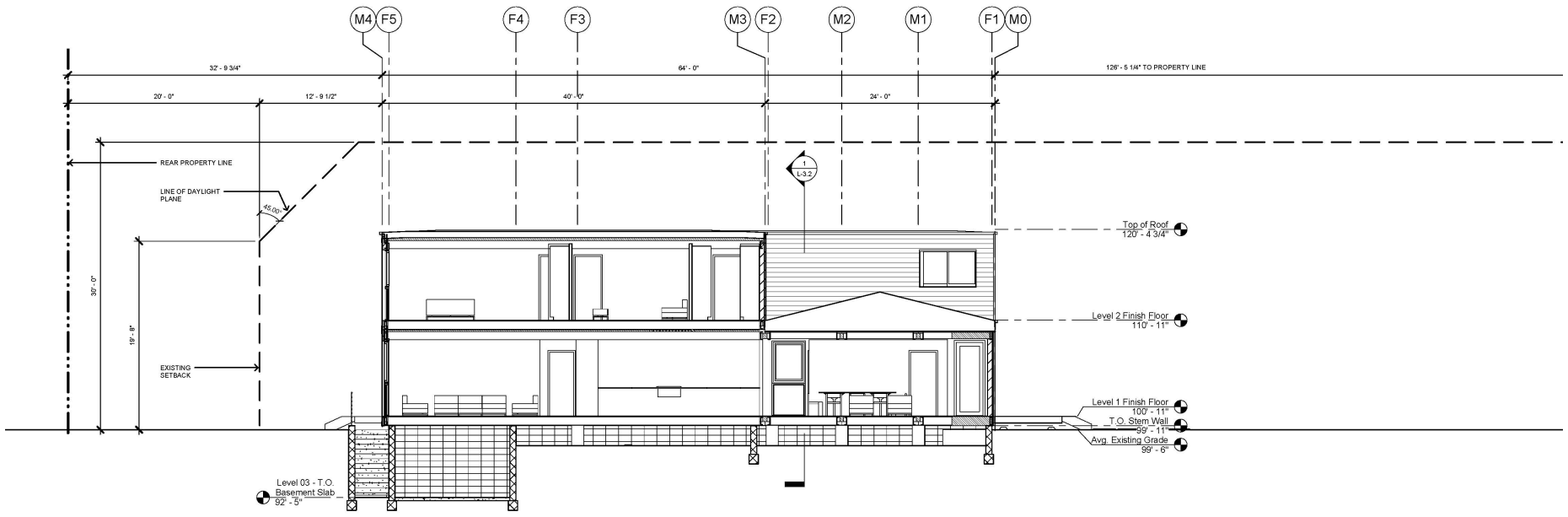
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CROSS SECTION
3/16" = 1'-0"



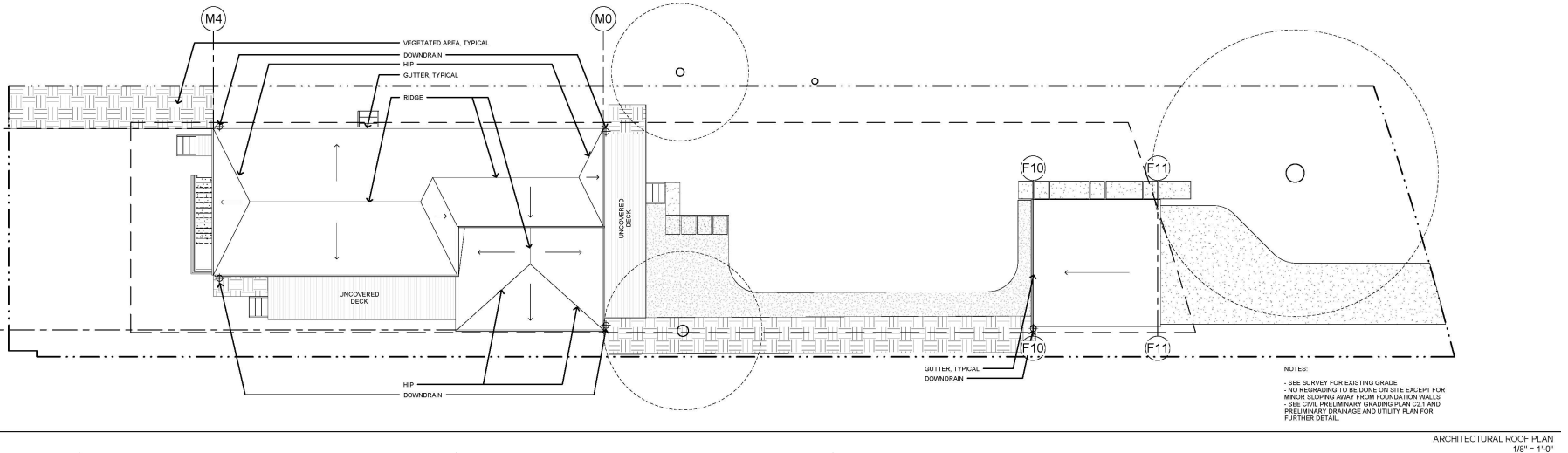
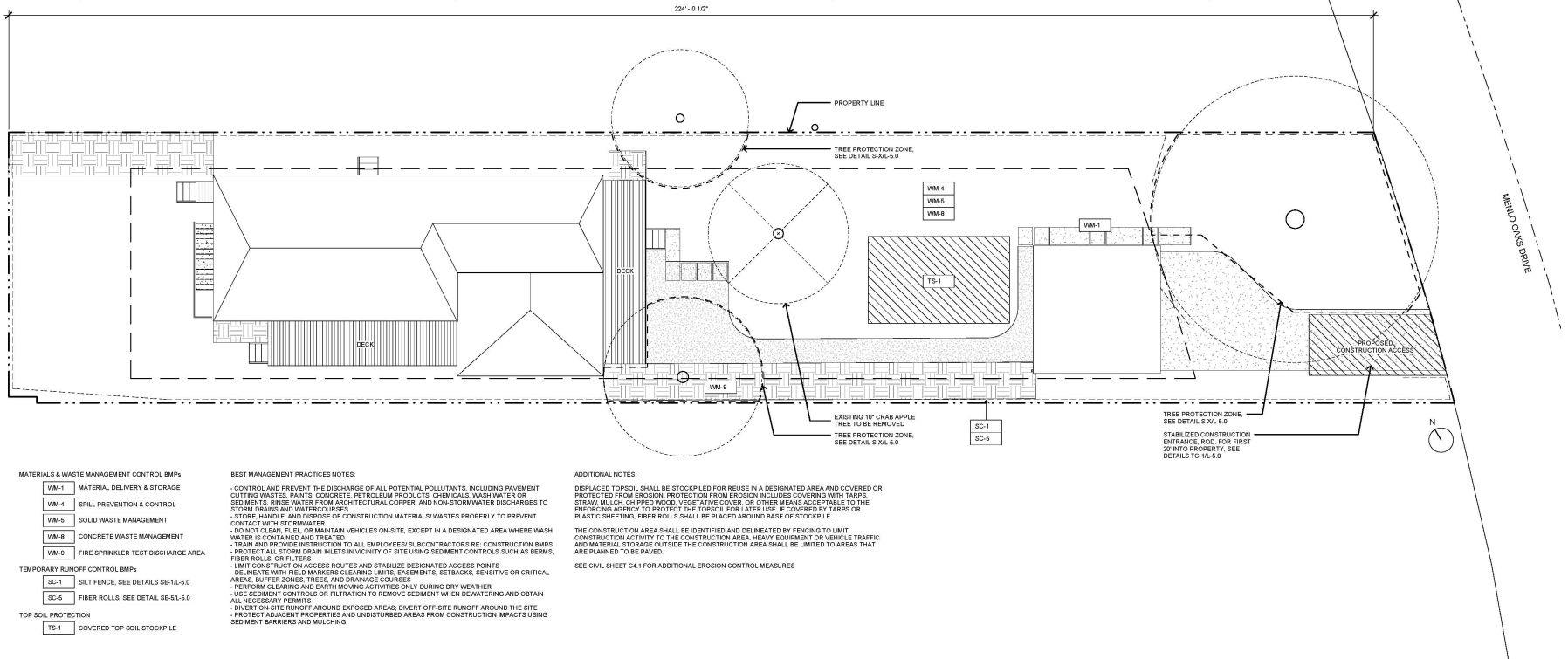
TRANSVERSE SECTION
3/16" = 1'-0"

San Mateo County Zoning Hearing Officer Meeting

Owner/Applicant: _____

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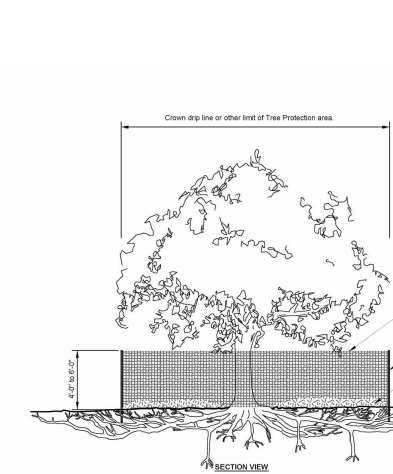
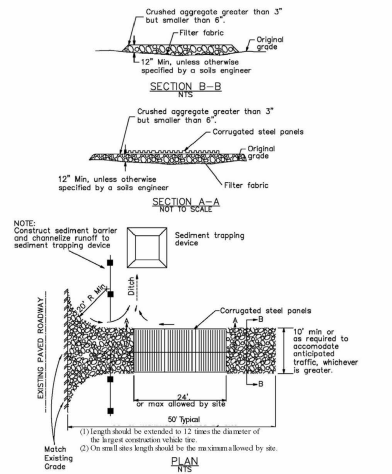
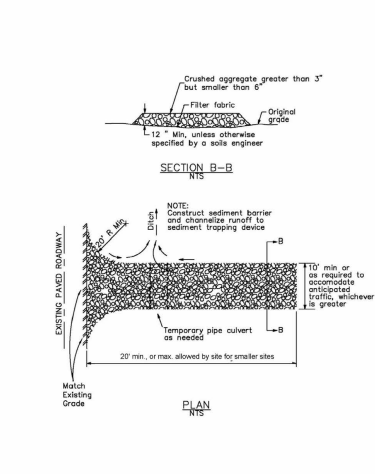
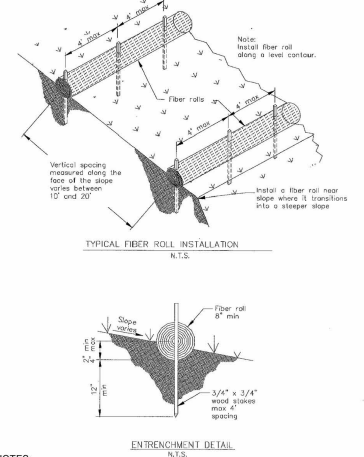
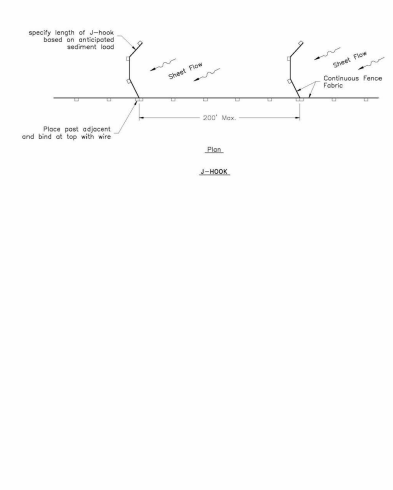
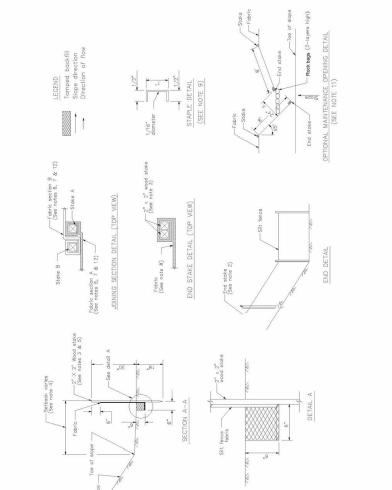
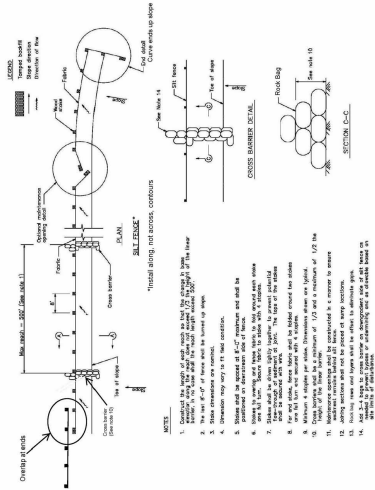


San Mateo County Zoning Hearing Officer Meeting

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San Mateo County Zoning Hearing Officer Meeting

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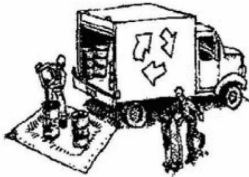
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Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



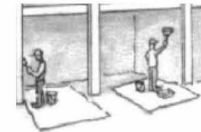
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

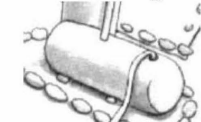
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscape area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

San Mateo County Zoning Hearing Officer Meeting

Owner/Applicant: _____

File Numbers: _____

Attachment: _____

UNDERGROUND WORK CAUTION:

- CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FOR NORTHERN CALIFORNIA DIAL 811 OR 800-227-2600. FOR OTHER AREAS CALL 800-480-3443. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY WORK ON THIS SITE.

DEMOLITION NOTES:

- CONTRACTOR IS TO COMPLY WITH ALL GENERAL AND STATE REQUIREMENTS INVOLVING THE REMOVAL AND DISPOSAL OF HAZARDOUS MATERIALS.
- CONTRACTOR'S BID IS TO INCLUDE ALL VISIBLE SURFACE AND ALL SUBSURFACE FEATURES IDENTIFIED TO BE REMOVED OR ABANDONED IN THESE DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ASCERTAIN THE EXTENT OF THE DEMOLITION WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY FOR ENCROACHMENT, GRADING, DRAINAGE, AND DISPOSAL OF SAND MATERIALS AS REQUIRED BY PRIVATE, LOCAL, AND STATE JURISDICTIONS. THE CONTRACTOR SHALL PAY ALL FEES ASSOCIATED WITH THE DEMOLITION WORK.
- BACKFILL ALL DEPRESSIONS AND TRENCHES FROM DEMOLITION TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- PRIOR TO BEGINNING DEMOLITION WORK ACTIVITIES, CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES OUTLINED IN THE EROSION CONTROL PLAN & DETAILS.
- THE CONTRACTOR SHALL MAINTAIN ALL SAFETY DEVICES AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.
- THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS/FACILITIES AND STRUCTURES WHICH ARE TO REMAIN. ANY ITEMS DAMAGED BY THE CONTRACTOR OR HIS AGENTS OR ANY ITEMS REMOVED FOR USE SHALL BE REPLACED IN EQUAL OR BETTER CONDITION AS APPROVED BY THE ARCHITECT OR OWNER'S REPRESENTATIVE.
- COORDINATE WITH ELECTRICAL, MECHANICAL, LANDSCAPING AND ARCHITECTURAL DRAWINGS FOR UTILITY SHUT DOWN/CONNECT LOCATIONS. CONTRACTOR IS TO SHUT OFF ALL UTILITIES AS NECESSARY PRIOR TO DEMOLITION. CONTRACTOR IS TO COORDINATE SERVICE INTERRUPTIONS WITH THE CLIENT. DO NOT INTERFERE SERVICES TO ADJACENT OFF-SITE OWNERS. ALSO SEE ARCHITECTURAL PLANS FOR ADDITIONAL DEMOLITION SCOPE OF WORK.
- THIS PLAN IS NOT INTENDED TO BE A COMPLETE CATALOGUE OF ALL EXISTING STRUCTURES AND UTILITIES. THIS PLAN INTENDS TO DISCLOSE GENERAL INFORMATION KNOWN BY THE ENGINEER AND TO SHOW THE LIMITS OF THE AREA WHERE WORK WILL BE PERFORMED. THIS PLAN SHOWS THE EXISTING FEATURES TAKEN FROM A FIELD SURVEY. FIELD INVESTIGATIONS AND AVAILABLE INFORMATION. THIS PLAN MAY OR MAY NOT ACCURATELY REFLECT THE TYPE OR EXTENT OF THE ITEMS TO BE ENCOUNTERED AS THEY ACTUALLY EXIST. WHERE EXISTING FEATURES ARE NOT SHOWN, IT IS IMPLIED THAT THEY ARE NOT TO BE DEMOLISHED OR REMOVED. THE CONTRACTOR SHALL PERFORM A THOROUGH FIELD INVESTIGATION AND REVIEW OF THE SITE WITHIN THE LIMIT OF WORK SHOWN IN THIS PLAN SET TO DETERMINE THE TYPE, QUANTITY AND EXTENT OF ANY AND ALL ITEMS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXTENT OF EXISTING STRUCTURES AND UTILITIES AND QUANTITY OF WORK INVOLVED IN REMOVING THESE ITEMS FROM THE SITE.

FIRE PROTECTION:

- CONTRACTOR SHALL INSTALL THE DESIGN BUILD FIRE SERVICE LINE, BACKFLOW PREVENTOR, SPRINKLERS AND EQUIPMENT IN ACCORDANCE WITH THE FIRE PROTECTION CONSULTANT'S PLANS, SPECIFICATIONS, LATEST EDITION OF THE UNIFORM CALIFORNIA FIRE CODE AND CITY/TOWN STANDARDS.
- THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWING ALL INFORMATION REQUIRED BY THE LOCAL FIRE MARSHAL, INCLUDING ANGLES, THRUST BLOCKS, VALVES, FIRE HYDRANTS, PIVs, FDCs, BACKFLOW ASSEMBLIES, FLEXIBLE CONNECTIONS, VALVES, ETC.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE LOCAL FIRE MARSHAL, THE RATING AGENCY AND THE PROJECT MANAGER, ALLOWING TIME FOR REVIEW AND ACCEPTANCE, PRIOR TO START OF WORK.
- THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL OBTAIN ALL APPROVALS AND PERMITS PRIOR TO ORDERING MATERIALS, FABRICATING SYSTEMS OR ANY INSTALLATION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND EQUIPMENT LOCATIONS. RISER LOCATIONS ARE SHOWN ON ARCHITECTURAL AND PLUMBING DRAWINGS AND ARE TO BE COORDINATED WITH ACTUAL FIELD CONDITIONS.

PROJECT SITE MAINTENANCE:

- REMOVE ALL DIRT, GRAVEL, RUBBISH, REFUSE, AND GREEN WASTE FROM STREET PAVEMENT AND STORM DRAINS. ADJOINING THE SITE LIMIT. CONSTRUCTION ACCESS ROUTES ONTO THE SITE AND PLACE GRAVEL PADS AT THESE LOCATIONS. DO NOT DRIVE VEHICLES AND EQUIPMENT OFF THE PAVED OR GRAVELLED AREAS DURING WET WEATHER.
- SWEEP OR VACUUM THE STREET PAVEMENT AND SIDEWALKS ADJOINING THE PROJECT SITE AND THE ON-SITE PAVED AREAS ON A DAILY BASIS. SCRAPE CAKED-ON MUD AND DIRT FROM THESE AREAS BEFORE SWEEPING. CONCRETS AND HWY TO REACH AREAS SHALL BE SWEEP MANUALLY.
- CREATE A CONTAINED AND COVERED AREA ON THE SITE FOR THE STORAGE OF BAGS, CEMENT, PAINTS, OILS, FERTILIZERS, PESTICIDES, OR OTHER MATERIALS USED ON THE SITE THAT HAVE THE POTENTIAL OF BEING DISCHARGED INTO THE STORM DRAIN SYSTEM THROUGH EITHER BEING WIND-BLOWN OR IN THE EVENT OF A MATERIAL SPILL.
- NEVER CLEAN MACHINERY, EQUIPMENT OR TOOLS INTO A STREET, GUTTER OR STORM DRAIN.
- ENSURE THAT CEMENT TRUCKS, PAINTERS, OR OTHER CONTRACTORS/TRADESMEN DO NOT DISCHARGE WASH WATER FROM EQUIPMENT, TOOLS OR THESE CONTAINERS INTO GUTTERS OR DRAINS.
- UPON PROJECT COMPLETION THE CLIENT SHALL BE SOLELY RESPONSIBLE TO ROUTINELY INSPECT AND MAINTAIN ALL ON-SITE STORM DRAIN FACILITIES. STORM DRAIN SYSTEMS SHALL BE CLEANED AND/OR FLUSHED ON A BIENNIAL BASIS OR AS FOUND NECESSARY.

DIMENSIONS:

- ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS THEREOF UNLESS SPECIFICALLY CALLED OUT AS FEET AND INCHES.

PAVEMENT SECTIONS:

- SEE STRUCTURAL DRAWINGS FOR BUILDING SLAB SECTIONS AND PAD PREPARATIONS.
- SEE GEOTECHNICAL REPORT FOR ALL FOOTING AND VEHICULAR PAVEMENT SECTIONS AND BASE REQUIREMENTS.
- THE FINAL OR SURFACE LAYER OF ASPHALT CONCRETE SHALL NOT BE PLACED UNTIL ALL ON-SITE IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING ALL GRADING AND ALL UNACCEPTABLE CONCRETE WORK HAS BEEN REMOVED AND REPLACED, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER AND/OR DEVELOPER'S CIVIL ENGINEER.
- ALL PAVING SHALL BE IN CONFORMANCE WITH SECTION 26 "AGGREGATE BASE" AND SECTION 26 "PAVEMENT CONCRETE" PER LATEST EDITION OF CALTRANS STANDARD SPECIFICATIONS.

TREE PROTECTION:

- PRIOR TO BEGINNING CONSTRUCTION ON SITE, CONTRACTOR SHALL IDENTIFY AND PROTECT EXISTING TREES AND PLANTS DESIGNATED AS TO REMAIN.
- PROTECT EXISTING TREES TO REMAIN FROM SPILLED CHEMICALS, FUEL OIL, MOTOR OIL, GASOLINE AND ALL OTHER CHEMICALLY INHIBITIOUS MATERIALS AS WELL AS FROM FLOODING OR CONTINUOUSLY RUNNING WATER. SHOULD A SPILL OCCUR, STOP WORK IN THAT AREA AND CONTACT THE CITY'S ENGINEER/INSPECTOR IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE TO MITIGATE DAMAGE FROM SPILLED MATERIALS AS WELL AS MATERIAL CLEAN UP.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL TREES DESIGNATED TO REMAIN AND FOR MAINTENANCE OF DELICATE TREES STOCKPILED DURING CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO REPLACE TREES THAT DIE DUE TO LACK OF MAINTENANCE.

NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES):

- ALL CONSTRUCTION ON OFF-SITE OR ON-SITE IMPROVEMENTS SHALL ADHERE TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES TO PREVENT SELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE CITY OR COUNTY STORM DRAIN SYSTEMS.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINING, NATURAL DRAINAGE COURSES, OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC RIGHT OF WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETURN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPOSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT OF WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN ON OTHER AREAS.
- ANY SLOPES WITH DISTURBED SOILS OR DENuded OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- CLEAN UP ALL SPILLS USING DRY METHODS.
- SWEEP ALL GUTTERS AT THE END OF EACH WORKING DAY. GUTTERS SHALL BE KEPT CLEAN AFTER LEAVING CONSTRUCTION SITE.
- CALL 911 IN CASE OF A HAZARDOUS SPILL.
- BMPs AS OUTLINED IN, BUT NOT LIMITED TO, CALIFORNIA STORM WATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA, JANUARY 2003, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED IF DETERMINED APPROPRIATE BY CITY INSPECTORS.
- UPON SATISFACTORY COMPLETION OF THE WORK, THE ENTIRE WORK SITE SHALL BE CLEANED BY THE CONTRACTOR AND LEFT WITH A SMOOTH AND NEARLY GRADED SURFACE FREE OF CONSTRUCTION WASTE, RUBBISH, AND DEBRIS OF ANY NATURE.

CONSTRUCTION FENCE:

- CONTRACTOR SHALL PROVIDE A CONSTRUCTION FENCE AROUND THE ENTIRE AREA OF DEMOLITION AND CONSTRUCTION, INCLUDING ALL STAGING, STORAGE, CONSTRUCTION OFFICE AND LAYDOWN AREAS.
- CONSTRUCTION FENCE SHALL BE A MINIMUM OF 4" HIGH GALVANIZED CHAIN LINK WITH GREEN WINDSCREEN FABRIC ON THE OUTSIDE OF THE FENCE.
- CONSTRUCTION FENCES ADDRESSED IN THESE NOTES IS ONLY FOR VISUAL CONFORMANCE OF THIS CONSTRUCTION SITE TO THE CITY STANDARDS. CONTRACTOR MAY BE REQUIRED TO PROVIDE ADDITIONAL FENCING, BARRICADES OR OTHER SAFETY DEVICES TO KEEP THE SITE SECURE AND SAFE.

PROJECT DUST CONTROL:

- WATER TRUCKS SHALL BE PRESENT AND IN USE AT THE CONSTRUCTION SITE. ALL PORTIONS OF THE SITE SUBJECT TO BLOWING DUST SHALL BE WATERED AS OFTEN AS DEEMED NECESSARY BY THE CITY INSPECTOR IN ORDER TO INSURE PROPER CONTROL OF BLOWING DUST FOR THE DURATION OF THE PROJECT.
- ALL PUBLIC STREETS AND MEDANS SOILED OR LITTERED DUE TO THIS CONSTRUCTION ACTIVITY SHALL BE CLEANED AND SWEEP ON A DAILY BASIS DURING THE WORK WEEK, OR AS OFTEN AS DEEMED NECESSARY BY THE CLIENT/INSPECTOR, OR TO THE SATISFACTION OF THE CITY'S DEPARTMENT OF PUBLIC WORKS.
- ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS SHALL BE COVERED WITH TARPULING OR OTHER EFFECTIVE COVERS.
- WHEEL WASHERS SHALL BE INSTALLED AND USED TO CLEAN ALL TRUCKS AND EQUIPMENT LEAVING THE CONSTRUCTION SITE. WHEEL WASHERS CANNOT BE INSTALLED, TRES OR TRACKS OF ALL TRUCKS AND EQUIPMENT SHALL BE WASHED OFF BEFORE LEAVING THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL DEMONSTRATE DUST SUPPRESSION MEASURES, SUCH AS REGULAR WATERING, WHICH SHALL BE IMPLEMENTED TO REDUCE EMISSIONS DURING CONSTRUCTION AND GRADING IN A MANNER MEETING THE APPROVAL OF THE CONSTRUCTION MANAGER. THIS SHALL ASSIST IN REDUCING SHORT-TERM IMPACTS FROM PARTICLES WHICH COULD RESULT IN NUISANCES THAT ARE PROHIBITED BY RULE 401 (FUGITIVE DUST).
- GRADING OR ANY OTHER OPERATIONS THAT CREATES DUST SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE SUFFICIENT DUST CONTROL FOR THE ENTIRE PROJECT SITE IN ACCORDANCE WITH THE PROJECT SHEET (IF ONE EXISTS) OR AS APPLICABLE PER LOCAL REGULATIONS AT ALL TIMES. THE SITE SHALL BE SPRINKLED AS NECESSARY TO PREVENT DUST NUISANCE. IN THE EVENT THAT THE CONTRACTOR NEGLECTS TO USE ADEQUATE MEASURES TO CONTROL DUST, THE CLIENT RESERVES THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL MEASURES AND FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS. ALL GRADING OPERATIONS SHALL BE SUSPENDED DURING SECOND (OR WORSE) STAGE SMOG ALERTS.

GENERAL SITE NOTES:

- CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING ON THIS WORK AND CONSIDER THE EXISTING CONDITIONS AND SITE CONSTRAINTS IN THE BID. CONTRACTOR SHALL BE IN THE POSSESSION OF AND FAMILIAR WITH ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS AND SPECIFICATIONS PRIOR TO SUBMITTING A BID.
- ALL WORK ON SITE AND IN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS & SPECIFICATIONS.
- PRIOR TO BEGINNING WORK, AND AFTER INITIAL HORIZONTAL CONTROL STAKING, CONTRACTOR SHALL FIELD CHECK ALL ELEVATIONS MARKED WITH I&I AND REPORT ANY DISCREPANCIES GREATER THAN 0.05' TO DEVELOPER IMMEDIATELY.
- DAMAGE TO ANY EXISTING SITE IMPROVEMENTS, UTILITIES AND/OR SERVICES TO REMAIN SHALL BE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CLIENT, THE CONSULTING ENGINEER AND THE CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE CLIENT OR THE CONSULTING ENGINEER.
- THE GEOTECHNICAL ASPECTS OF THE CONSTRUCTION, INCLUDING SITE GRADING, PIER AND FOOTING EXCAVATIONS, SWIMMING POOL EXCAVATION, PREPARATION OF SUBGRADE AND PLACEMENT OF NON-EXPANSIVE FILL, BENTONITE SLAB-ON-GRADE, RETAINING WALL, BACKFILL AND INSTALLATION OF SURFACE AND SUBSURFACE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY ROMIG ENGINEERS, INC., DATED JULY 15, 2016. THE GEOTECHNICAL ENGINEER SHALL BE GIVEN AT LEAST 48 HOURS ADVANCE NOTIFICATION (PHONE 916-522-0170) OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND TEST THE EARTHWORK, FOUNDATION, AND DRAINAGE INSTALLATION PHASES OF THE PROJECT.

RECORD DRAWINGS:

- THE CONTRACTOR SHALL KEEP UP-TO-DATE AND ACCURATE A COMPLETE RECORD SET OF PRINTS OF THE CONTRACT DRAWINGS SHOWING EVERY CHANGE FROM THE ORIGINAL DRAWINGS MADE DURING THE COURSE OF CONSTRUCTION INCLUDING EXACT FINAL LOCATION, ELEVATION, SIZES, MATERIALS, AND DESCRIPTION OF ALL WORK. RECORDS SHALL BE "MIDLINE" ON A SET OF CONSTRUCTION PLAN DRAWINGS. A COMPLETE SET OF CORRECTED AND COMPLETED RECORD DRAWING PRINTS SHALL BE SUBMITTED TO THE CITY ENGINEER AND DEVELOPER'S CIVIL ENGINEER PRIOR TO FINAL ACCEPTANCE FOR REVIEW AND APPROVAL BY THE CITY ENGINEER.



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Project Contact:
Mikhail Kontorovskiy | mh@kprox.com

DATE:	DESCRIPTION:
08/12/2016	PLANNING SET
10/12/2016	PLANNING SET

WOOD RESIDENCE
573 MENLO OAKS DRIVE
MENLO PARK, CA 94025

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PROJECT No:	16-9806
DATE:	08/12/2016
SCALE:	AS SHOWN
DESIGN/DRAWN:	SL
CHECKED:	IK

SHEET TITLE

PROJECT NOTES

C0.1



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San Mateo County Zoning Hearing Officer Meeting

Owner/Applicant:

File Numbers:

Attachment:



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NOT FOR CONSTRUCTION

Project Contact: Mikhaila Kostrovsky | mk@kprox.com

DATE	DESCRIPTION
01/12/2015	PLANNING SET
10/12/2015	PLANNING SET

WOOD RESIDENCE
573 MENLO OAKS DRIVE
MENLO PARK, CA 94025

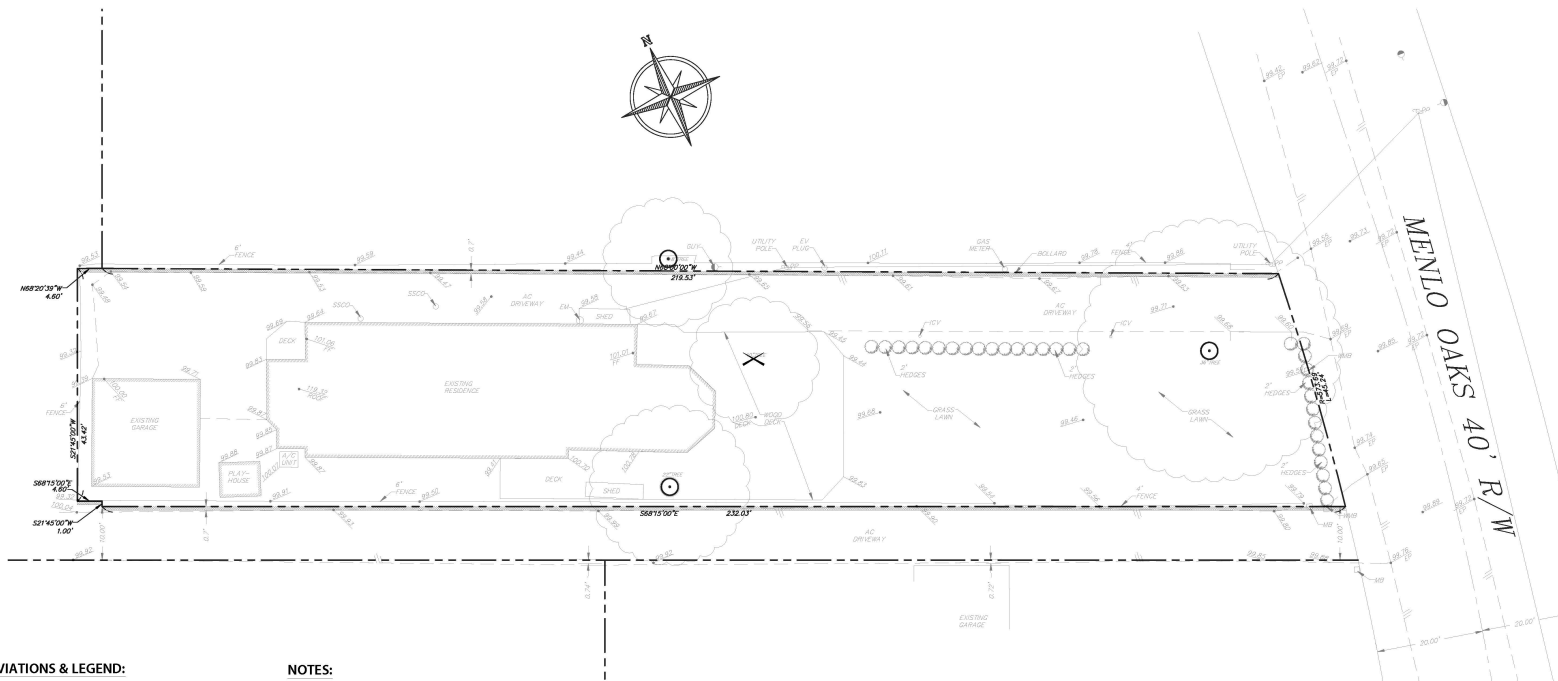
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PROJECT No: 16-9806
 DATE: 08/12/2016
 SCALE: 1" = 10'
 DESIGN/DRAWN: SL
 CHECKED: IK

SHEET TITLE
 EXISTING CONDITIONS AND TREE DISPOSITION

C1.1



ABBREVIATIONS & LEGEND:

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- WOOD FENCE
- WIRE FENCE
- CENTERLINE
- OVERHEAD UTILITIES
- EDGE OF PAVEMENT
- SPOT ELEVATION
- AC ASPHALTIC CONCRETE
- CONC CONCRETE
- DI DRAIN INLET
- EM ELECTRIC METER
- FF FINISH FLOOR
- ICM IRRIGATION CONTROL
- PP POWER POLE
- MW MAILBOX
- RY RIGHT OF WAY
- W/W WATER CLEANOUT
- WMB WATER METER BOX
- UP UTILITY POLE
- DW DUTY WIRE

NOTES:

A RECORD OF SURVEY SHOULD BE RECORDED TO VERIFY SUBJECT PROPERTY LINES.

SITE BENCHMARK:

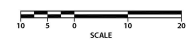
ELEVATIONS ARE BASED ON ASSUMED DATUM. PROJECT BENCHMARK IS THE FINISH FLOOR OF THE EXISTING GARAGE AS SHOWN, ELEVATION = 100.00'

TREE LEGEND:

- X TREE REMOVAL
 - TREE PROTECTION
 - (E) TREE TO REMAIN
- ALL TREE REMOVAL SHALL BE PERFORMED AS SHOWN ON LANDSCAPE SHEETS. REMOVAL OPERATIONS MAY ONLY BEGIN UPON WRITTEN CONFIRMATION FROM THE PROJECT ARCHITECT.
- EXISTING TREE TO REMAIN AND TO BE PROTECTED ON SITE DURING CONSTRUCTION.
- EXISTING TREE TO REMAIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE THE INTEGRITY OF TREES TO REMAIN, WHICH SHALL NOT BE AFFECTED BY CONSTRUCTION ACTIVITIES. USE CAUTION WITHIN THE TREE DRIFLINE.

EXISTING CONDITIONS:

- EXISTING TOPOGRAPHIC SURVEY PERFORMED BY TRIAD/HOMES ASSOC. SURVEYING, DATED NOVEMBER 28, 2015 JOB #201518. GRADES ENCOUNTERED ON SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.
- THE BASIS OF ELEVATIONS AS WELL AS THE LOCATION OF THE BOUNDARY (AS PROVIDED TO KPROX) HAVE BEEN USED FOR THE PREPARATION OF CIVIL ENGINEERING PLANS. THE CIVIL ENGINEERING SCOPE OF WORK DOES NOT INCLUDE SURVEY VERIFICATION SERVICES.
- UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC-OWNED.
- CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION AND REPORT BACK TO CIVIL ENGINEER ANY DISCREPANCIES WITH PLAN PRIOR TO COMMENCEMENT OF WORK. (VA FORMAL RFI). CONTRACTOR SHALL PROVIDE EXHIBITS REPRESENTING THE FOUND CONDITIONS.



TOPOGRAPHIC SURVEY NOT BY KPROX CONSULTING. EXISTING CONDITIONS ARE SHOWN AS PROVIDED TO US

SEE SHEETS C0.0 AND C0.1 FOR ADDITIONAL NOTES AND LEGENDS

San Mateo County Zoning Hearing Officer Meeting

Owner/Applicant: _____

File Numbers: _____

Attachment: _____



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 Project Contact:
 Mikhail Kantorovsky | mk@kprox.com

DATE:	08/12/2016	11/12/2016
DESCRIPTION:		
PLANNING SET		
PLANNING SET		

WOOD RESIDENCE
573 MENLO OAKS DRIVE
MENLO PARK, CA 94025

PROJECT No: 16-9806
 DATE: 08/12/2016
 SCALE: 1" = 20'
 DESIGN/DRAWN: SL
 CHECKED: IK

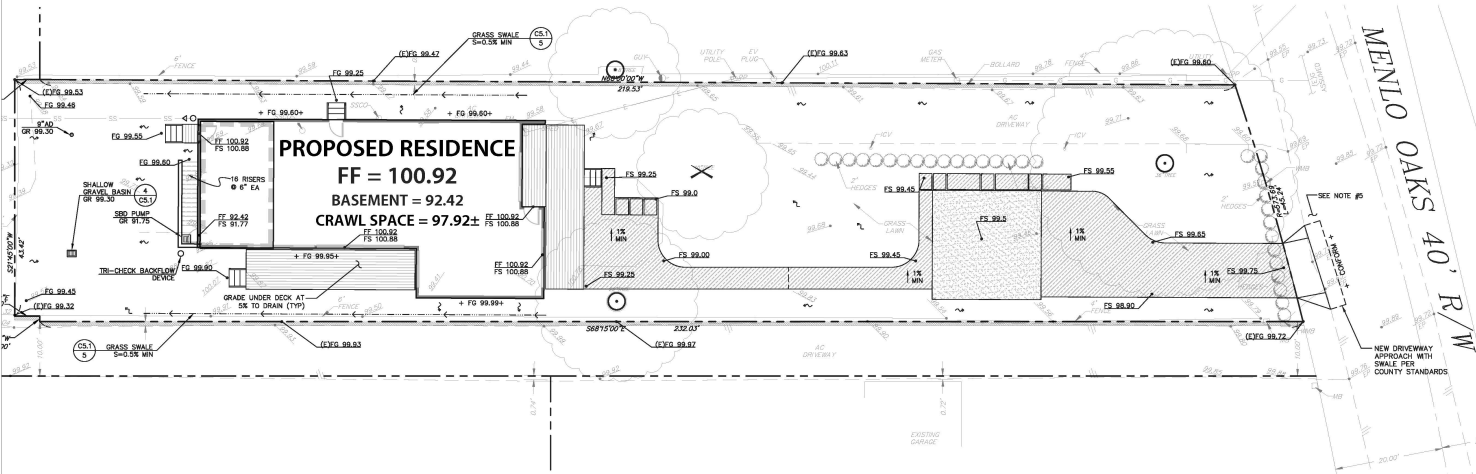
SHEET TITLE
PRELIMINARY GRADING PLAN
C2.1

TREE LEGEND:

- TREE REMOVAL
ALL TREE REMOVAL SHALL BE PERFORMED AS SHOWN ON LANDSCAPE SHEETS. REMOVAL OPERATIONS MAY ONLY BEGIN UPON WRITTEN CONFIRMATION FROM THE PROJECT ARCHITECT.
- TREE PROTECTION
EXISTING TREE TO REMAIN AND TO BE PROTECTED ON SITE DURING CONSTRUCTION.
- (E) TREE TO REMAIN
EXISTING TREE TO REMAIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE THE INTEGRITY OF TREES TO REMAIN, WHICH SHALL NOT BE AFFECTED BY CONSTRUCTION ACTIVITIES. USE CAUTION WITHIN THE TREE DOUPLINE.

GRADING REQUIREMENTS:

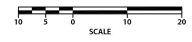
1. PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 1%, UNLESS OTHERWISE NOTED ON PLANS. SLOPE PORCHES, LANDINGS AND TERRACES 2% 1/4" PER FOOT AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED ON PLANS.
2. CONTRACTOR TO KEEP ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS.
3. CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY, THE GEOTECHNICAL INVESTIGATION AND THE PROPOSED SURFACE THICKNESS AND BASE THE 80% ACCORDINGLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT A SEPARATE DEMOLITION CONTRACT HAS BEEN ISSUED TO TAKE THE SITE FROM THE WAY IT IS AT THE TIME OF THE BID TO THE CONDITIONS DESCRIBED IN THESE DOCUMENTS. ANY DIFFERENCES BETWEEN THE STATE AS DELIVERED TO THE CONTRACTOR AND THESE DOCUMENTS SHOULD BE NOTED TO THE ENGINEER/ARCHITECT.
4. ALL FILL SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE CLIENT'S TESTING AGENCY TO TAKE THE APPROPRIATE TESTS TO VERIFY COMPACTION VALUES.
5. IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE SOILS REPORT AND SPECIFICATIONS.
6. COORDINATE THE PLACEMENT OF ALL SLEEVES FOR LANDSCAPE IRRIGATION (WATER AND CONTROL WIRING) AND SITE LIGHTING PRIOR TO THE PLACEMENT OF ANY ASPHALT, BASECOURSE OR CONCRETE SURFACING. SEE LANDSCAPING AND SITE ELECTRICAL DRAWINGS.
7. DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER/ARCHITECT.
8. SITE STRIPINGS THAT CONTAIN ONLY ORGANIC MATERIAL (NO DEBRIS TRAILS, BROKEN CONCRETE OR ROCKS GREATER THAN 1" IN DIAMETER) MAY BE USED IN LANDSCAPE AREAS, EXCEPT FOR AREAS IDENTIFIED AS IMPROVE TOP SOIL BY THE LANDSCAPE DRAWINGS. EXCESS STRIPINGS SHALL BE REMOVED FROM SITE.
9. ROUGH GRADING TO BE WITHIN 0.1' AND FINISH GRADES ARE TO BE WITHIN 0.05'. HOWEVER CONTRACTOR SHALL NOT CONSTRUCT ANY IMPROVEMENTS THAT WILL CAUSE WATER TO POND OR NOT MEET REQUIREMENTS IN GRADING NOTE #1.
10. THE CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS AND DIMENSIONS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT. WHERE GRADED AREAS DO NOT CONFORM TO THEIR TOLERANCES, THE CONTRACTORS SHALL BE REQUIRED TO DO CORRECTIVE GRADING AT NO EXTRA COST TO THE CLIENT.
11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND CIVIL ENGINEER IN WRITING PRIOR TO START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
12. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT. IN EXISTING PUBLIC STREET AREAS CONTRACTOR SHALL BACKFILL TRENCHES OR PLACE STEEL PLATING WITH ADEQUATE CUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
13. STRUCTURE WALLS: PER CBC 2304.11.2.2 (WOOD SUPPORTED BY FOUNDATION) PROVIDE 4" MINIMUM CLEAR TO EXTERIOR GRADE.



ABBREVIATIONS:

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATD	ATRIUM DRAIN
BSPD	BACK FLOW PREVENTION DEVICE
BSTD	BRICKSLOT TRENCH DRAIN
BM	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CS	CRAWL SPACE ELEVATION
CP	CAST IRON PIPE
CONC	CONCRETE
DD	DECK DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE
DIP	DUCTILE IRON PIPE
DW	ROOF DOWN SPOUT
DWV	DOMESTIC WATER LINE
DWV	DRYWELL CATCH BASIN
DWV	DRIVEWAY
(E)	EXISTING
(E)	EXISTING GRADE
ELEC	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FC	FACE OF CURB ELEVATION
FCC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GROUND ELEVATION
FL	FLOW LINE ELEVATION
FM	EDGE MAIN LINE
FS	FINISHED SURFACE ELEVATION
FP	FINISHED PAVEMENT ELEVATION
FW	FIRE WATER LINE
GB	GRADE BREAK
GM	GAS METER
GR	GRATE ELEVATION
GV	GATE VALVE
HP	HIGH POINT
INV	INVERT ELEVATION
JT	JOINT TRENCH
JP	JOINT POLE
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
LP	LOW POINT
(N)	NOTED
PIV	POST INDICATOR VALVE
PRC	PARKING
POC	POINT OF CONNECTION
RET	RETAINING WALL
RM	ROOM ELEVATION
SAP	SEE ARCHITECTURAL PLANS
SBD	STORM SUB DRAIN
SBCO	STORM DRAIN CLEANOUT
SD	STORM DRAIN
SDO	STORM DRAIN CLEANOUT
SGR	SEE GEOTECHNICAL REPORT
SIB	SIDE INLET CATCH BASIN
SLP	SEE LANDSCAPE PLANS
SPP	SEE PLUMBING PLANS
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
STR	SEE STRUCTURAL PLANS
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
USD	UNDERSLAB DRAIN
W	PIPE VERTICAL DRAIN
WD	DOMESTIC WATER LINE
WM	WATER METER

SEE SHEETS C0.0 AND C0.1 FOR ADDITIONAL NOTES AND LEGENDS



HATCH LEGEND:

PRELIMINARY EARTHWORK QUANTITIES (GROSS NUMBERS)	PERMEABLE PAVEMENT	PER GEOTECHNICAL REPORT RECOMMENDATIONS.
90 CY. CUT		
30 CY. FILL		
BALANCE 60 CY. EXPORT	SITE CONCRETE	PER GEOTECHNICAL REPORT RECOMMENDATIONS.
TOTAL TO BE MOVED 120 CY. DISTURBANCE		
CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION, AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES. EARTHWORK QUANTITIES SHOWN ARE PRELIMINARY AND FOR PLANNING PURPOSES ONLY.	GRAVEL PATH	PER LANDSCAPE PLANS
	NEW LANDSCAPE	PER LANDSCAPE PLANS

NOTES:

1. CONTRACTOR SHALL VERTICALLY LOCATE THE EXISTING SEWER LATERAL WITHIN THE SCOPE OF WORK. BRING DISCREPANCIES TO THE CIVIL ENGINEER VIA FORM 891 PRIOR TO COMMENCING ACTIVITIES (PARTICULARLY GRADING OPERATIONS) WITHIN THE AREAS WHERE THE SYSTEM COULD BE IMPACTED.
2. AREAS LACKING TOPOGRAPHIC INFORMATION (ELEVATIONS) HAVE BEEN INTERPOLATED USING STANDARD ENGINEERING METHODS. CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS AT COMMENCEMENT OF CONSTRUCTION AND REPORT BACK ANY DISCREPANCIES TO THE CIVIL ENGINEER.
3. ALL TREE REMOVAL SHALL BE PERFORMED AS SHOWN ON ARCHITECTURAL SHEETS AND FOLLOWING THE ARBORIST REPORT FOR THE PROJECT. THIS INCLUDES BUT IS NOT LIMITED TO GRADING OPERATIONS ADJACENT TO EXISTING TREES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE THE INTEGRITY OF TREES TO REMAIN WHICH SHALL NOT BE AFFECTED BY CONSTRUCTION ACTIVITIES.
4. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF ALL IMPROVEMENTS DAMAGED DURING CONSTRUCTION.
5. ANY CONSTRUCTION WITHIN THE PUBLIC ROAD RIGHT OF WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR REFERENCE ONLY.
6. THE CONTRACTOR SHALL PROVIDE A COMPLETE TRAFFIC CONTROL PLAN TO THE COUNTY PRIOR TO ISSUANCE OF THE BUILDING PERMIT, ADDRESSING EQUIPMENT MANAGEMENT, STAFF PARKING, HAULING, EXCAVATION WORK, ETC.

San Mateo County Zoning Hearing Officer Meeting

Owner/Applicant:

Attachment:

File Numbers:

GENERAL UTILITY SYSTEM REQUIREMENTS:

- ALL TRENCHES SHALL BE BACK FILLED PER CITY STANDARDS.
- CLEAN OUTS, CATCH BASINS AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, PATIOWORK, ROOF DRAINS, AND/OR CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS (WHICH IS APPROXIMATE).
- CONTRACTOR SHALL STATE LOCATION OF ABOVE GROUND UTILITY EQUIPMENT BACKFLOW PREVENTER, SATELLITE DATA TRANSMITTER, GAS METERS, ETC. AND MEET WITH CLIENT TO REVEAL LOCATION PRIOR TO INSTALLATION. PLANNING DEPARTMENT MUST SPECIFICALLY AGREE WITH LOCATION PRIOR TO INSTALLATION WITH THE INSTALLATION.
- CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATION OF EXISTING UTILITIES AS DETERMINED DURING THE DEMOLITION WORK. THE UTILITIES SHOWN ON THE CIVIL DRAWINGS, AND THE SITE POWER, CONDUITS AND LIGHTING SHOWN ON THE ELECTRICAL PLANS, THE FIRE SPRINKLER SYSTEM SHALL BE INCLUDED AS DESIGNED BY THE DESIGN/BUILD UNDERGROUND FIRE SPRINKLER CONTRACTOR.
- CATHODIC PROTECTION MAY BE REQUIRED ON ALL METALLIC FITTINGS AND ASSEMBLIES THAT ARE IN CONTACT WITH THE SOIL, AS RECOMMENDED BY A GEOTECHNICAL REPORT. CONTRACTOR IS RESPONSIBLE TO FULLY ENGINEER AND INSTALL THIS SYSTEM AND COORDINATE ANODE AND TEST STATION LOCATIONS WITH OWNERS' PROJECT MANAGER.
- COMPLETE SYSTEMS: ALL UTILITY SYSTEMS ARE DELINEATED IN A SCHEMATIC MANNER ON THEIR PLANS. CONTRACTOR TO PROVIDE ALL FITTINGS, ACCESSORIES AND WORK NECESSARY TO COMPLETE THE UTILITY SYSTEM SO THAT IT IS FULLY FUNCTIONING FOR THE PURPOSE INTENDED.
- UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS AND EXTENT BASED UPON RECORD INFORMATION. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CLIENT, BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENTS THEREON, AGREES TO ASSUME LIABILITY AND TO HOLD UNDERIGNED HARMLESS FOR ANY DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE UNDERIGNED, NOT INDICATED ON THE PUBLIC RECORDS EXAMINED, LOCATED AT VARIANCE WITH THOSE REPORTED OR SHOWN ON RECORDS EXAMINED.
- CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER. CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UPSTREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY. CONTRACTOR SHALL VERIFY LOCATION OF SANITARY SEWER LATERAL WITH OWNERS' PRIOR TO CONSTRUCTION.
- EXISTING UTILITY CROSSINGS OF NEW PIPELINE ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. GAS, WATER AND SEWER SERVICE LATERALS ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, LOCATION AND DEPTH OF ALL UTILITY CROSSINGS (BOTH MAINS AND LATERALS) ARE CORRECT AS SHOWN. NO GUARANTEE IS MADE THAT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) ARE SHOWN. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN EXCAVATING AND SHALL PROTECT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) FROM DAMAGE DUE TO HIS OPERATION.
- VERTICAL SEPARATION REQUIREMENTS:
 - A MINIMUM OF SIX (6) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE OVER EXISTING SANITARY SEWER PIPES.
 - WHERE NEW WATER PIPES ARE REQUIRED TO CROSS UNDER EXISTING AND/OR NEW SANITARY SEWER PIPES, THE MINIMUM VERTICAL SEPARATION SHALL BE 12 INCHES. WATER LINE PIPE BODS SHALL BE INSTALLED NO CLOSER THAN 18" MINIMUM HORIZONTAL DISTANCE FROM CENTERLINE OF UTILITY CROSSINGS, WHERE FEASIBLE.
- HORIZONTAL SEPARATION REQUIREMENTS:
 - A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE 3' F81, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPES SHALL BE 18" MINIMUM, UNLESS OTHERWISE NOTED.
 - A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRENCH SHALL BE 3' FEET.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.
- ANY EXISTING UNDERGROUND UTILITY LINES TO BE ABANDONED, SHOULD BE REMOVED FROM WITHIN THE PROPOSED BUILDING ENVELOPE AND THEIR ENDS CAPPED OUTSIDE OF THE BUILDING ENVELOPE.



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Project Contact: Miraluz Kantorovich | mk@kprox.com

DATE:	11/15/2016
ISSUE NO.:	1
DATE:	11/15/2016

DESCRIPTION:	PLANNING SET
DATE:	11/15/2016

WOOD RESIDENCE
573 MENO OAKS DRIVE
MENO PARK, CA 94025

WOOD RESIDENCE

573 MENO OAKS DRIVE

MENO PARK, CA 94025

PROJECT No: 16-9806

DATE: 08/12/2016

SCALE: 1" = 10'

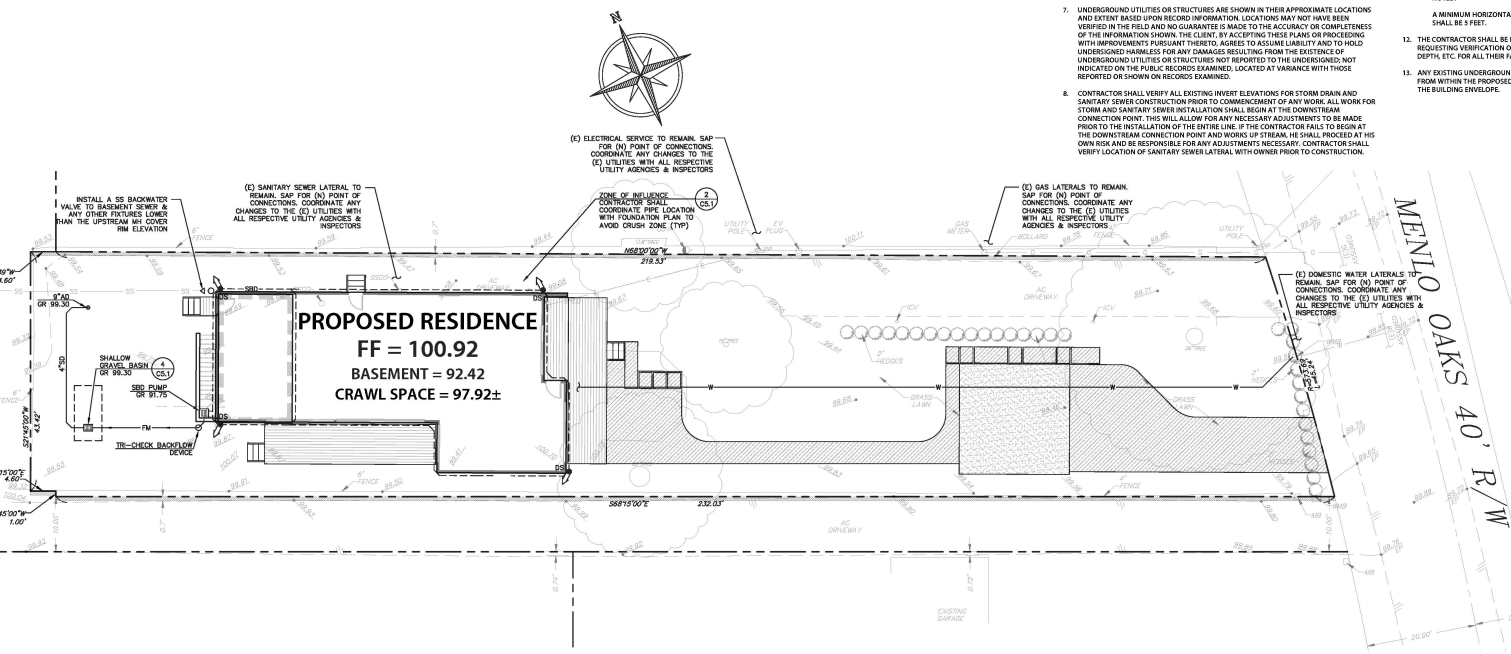
DESIGN/DRAWN: SL

CHECKED: IK

SHEET TITLE

PRELIMINARY DRAINAGE AND UTILITY PLAN

C3.1



STORM DRAIN REQUIREMENTS:

- PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITH A MINIMUM OF TWO (2) FEET OF COVER IN NON-TRAFFIC AREAS SHALL BE POLYETHYLENE CHLORIDE (PVC) SDR 35 WHITE PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLEDED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH 90° ELBOWS, 45° ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEES ARE PROHIBITED.
- PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITH LESS THAN THREE (3) FEET OF COVER IN VEHICULAR TRAFFIC AREAS SHALL BE POLYETHYLENE CHLORIDE (PVC) SDR 35 OR 41 FOR 150 PSI CLASS PIPE. PROVIDE AND INSTALL "STORM DRAIN" MARKER TAPE FOR THE ENTIRE LENGTH OF PIPE TRENCH IN ACCORDANCE WITH CITY STANDARDS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, OBTUSE ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEES ARE PROHIBITED.
- ALL AREA DRAIN AND CATCH BASIN GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS.
- ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
- FOR GRAVITY FLOW SYSTEMS CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION OF ANY GRAVITY FLOW SYSTEM.
- DRAINS SHOWN ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAINS. BACKLOGGERS AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER TYPE AND PLANT MATERIAL. CONTRACTOR SHALL ADD ADDITIONAL AREA DRAINS AS NEEDED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- INSTALL SEPARATE SIB-DRAIN SYSTEM BEHIND RETAINING WALLS PER GEOTECHNICAL REPORT AND CONNECT TO STORM DRAIN SYSTEM AS SHOWN ON PLANS.
- ALL DOWN SPOUTS SHALL DISCHARGE DIRECTLY ON TO ADJACENT PAVEMENT SURFACES OR SPLASH BLOCKS UNLESS OTHERWISE NOTED ON PLANS. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.

SANITARY SEWER REQUIREMENTS:

- ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE CITY AND COUNTY ENVIRONMENTAL HEALTH DEPARTMENT STANDARDS.
 - PRIVATE SANITARY SEWER MAIN AND SERVICE LINE 4-INCH THROUGH 8-INCH SHALL BE POLYETHYLENE CHLORIDE (PVC) SDR 35 GREEN SEWER PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLEDED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS OR 45° ELBOWS, 90° ELBOWS AND TEES ARE PROHIBITED.
 - ALL LATERALS SHALL HAVE A CLEARDIRT AT FACE OF BUILDING AND AS SHOWN ON PLANS PER TOWN STANDARDS OR APPROPRIATE SANITARY SEWER DISTRICT.
 - IF SEWER LATERAL IS TO BE USED, CONTRACTOR SHALL PERFORM PRESSURE TEST ON (E) SEWER LATERAL, AND SHALL PERFORM ANY NEEDED REPAIRS. SLOPE AT 2% MINIMUM.
- NOTES:**
- CONTRACTOR SHALL VIDEO INSPECT AND FIELD VERIFY THE OPERABILITY OF THE EXISTING SANITARY SEWER LATERAL PRIOR TO BEGINNING ANY DEMOLITION ON SITE. REPORT BACK THE FINDINGS TO THE CIVIL ENGINEER AND PROJECT ARCHITECT.
 - CONTRACTOR SHALL FIELD VERIFY ALL OTHER EXISTING UTILITY LATERALS TO BE RE-USED (DOMESTIC WATER, IRRIGATION, ETC.).
 - SUBRAIN PIPE INVERTS AND ROUTING TO BE COORDINATED WITH STRUCTURAL AND GEOTECHNICAL ENGINEERS PRIOR TO INSTALLATION OF THE PIPES.
 - IT SHALL BE THE HOMEOWNER'S RESPONSIBILITY TO INSURE THAT ALL DRAINAGE IMPROVEMENTS SHOWN HEREIN ARE MAINTAINED IN GOOD WORKING ORDER. THIS INCLUDES PERIODICALLY INSPECTING THE STORM DRAIN PIPES FOR SEDIMENT AS WELL AS THE DRAIN VALVE'S FOR SEDIMENT. ANY BUILD UP/SEDIMENT SHOULD BE PERIODICALLY CLEANED TO ENSURE THE DRAINAGE FEATURES FUNCTION AS INTENDED. ALL ON-SITE SWALES SHALL BE MAINTAINED AS SHOWN PER THIS PLAN.

WATER SYSTEM REQUIREMENTS:

- MAINTAIN WATER LINES 10' AWAY FROM SANITARY SEWER LINES.
- WHERE WATER LINES HAVE TO CROSS SANITARY SEWER LINES, DO SO AT A 90 DEGREE ANGLE AND WATER LINES SHALL BE MINIMUM OF 12" ABOVE TOP OF SANITARY SEWER LINES.
- ALL WATER SERVICE CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWN OR APPLICABLE WATER DISTRICT STANDARDS.
- WATER CONNECTIONS WILL BE RE-ROUTED FROM THE CURRENT LOCATION ADJACENT TO AND SERVING THE EXISTING RESIDENCE. CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE APPROVED BY THE TOWN. THE CONTRACTOR SHALL PAY THE ACTUAL COSTS OF CONSTRUCTION. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION, PREPARE THE SITE, FURNISH ALL MATERIALS, INSTALL TAPPING TEE, VALVE AND ALL THRUST BLOCKS, BACKFILL, RESTORE THE SURFACE, AND CLEAN UP. THE CITY WILL PROVIDE THE CLIENT WITH A LIST OF APPROVED CONTRACTORS FOR MAKING WET TAPS. NONMETALLIC WATER LINES SHALL HAVE THRUST WIRES INSTALLED.
- ALL WATER LINES SHALL BE INSTALLED WITH 3/4" MINIMUM COVER.
- CONTRACTOR SHALL SIZE AND INSTALL ALL NEW DESIGN BUILD DOMESTIC IRRIGATION AND FIRE WATER LINES IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM CALIFORNIA PLUMBING AND FIRE CODES (ALL FUTURE UNIT COUNTS SHALL BE REVIEWED AND APPROVED BY THE TOWN'S BUILDING AND/OR WATER DEPARTMENT PRIOR TO CONSTRUCTION).
- CONCRETE THRUST BLOCKS SHALL BE INSTALLED AT ALL TEES, CROSSES, BENDS (HORIZONTAL AND VERTICAL) AT SIZE CHANGES AND AT FIRE HYDRANTS PER CITY STANDARD, AWWA C600, SECTION 3.8 UNLESS NOTED OTHERWISE.
- ALL ON AND OFF-SITE LANDSCAPE IRRIGATION SYSTEMS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECTURAL PLANS AND SPECIFICATIONS AND SHALL BE CONNECTED TO THE EXISTING AND/OR NEW WATER SYSTEM AND METTERED ACCORDINGLY.
- LOCATE AND CONFIRM OPERABILITY OF THE EXISTING PRESSURE REGULATOR AND BACKFLOW PREVENTION ON WATER LINE.

SEE SHEETS C0.0 AND C0.1 FOR ADDITIONAL NOTES AND LEGENDS



1-800-227-2600

ABBREVIATIONS:

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATC	ATRIUM DRAIN
BFPD	BACK FLOW PREVENTION DEVICE
BD	BROCKFOT TRENCH DRAIN
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CI	CRAWL SPACE ELEVATION
CONC	CONCRETE
DD	DECK DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE
DR	DUCTILE IRON PIPE
DS	ROOF DOWN SPOUT
DWL	DOMESTIC WATER LINE
DWY	DRYWELL CATCH BASIN
EG	EXISTING GRADE
EL	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FC	FACE OF CURB ELEVATION
FDC	FIRE DEPARTMENT CONNECTION
FE	FINISHED FLOOR ELEVATION
FL	FINISHED GROUND ELEVATION
FM	FLOW LINE ELEVATION
FN	FORCE MAIN LINE
FP	FINISHED SURFACE ELEVATION
FP	FINISHED PAVEMENT ELEVATION
FW	FIRE WATER LINE
GB	GRASS BREAK
GM	GAS METER
GR	GRATE ELEVATION
GV	GATE VALVE
HP	HIGH POINT
HP	INVERT ELEVATION
JNY	JOINT TRENCH
JF	JOINT ROSE
LD	LANDSCAPE DRAIN
LF	LINE AR FEET
LP	LOW POINT
(N)	NEW
PKI	POST INDICATOR VALVE
PKT	PARKING
POC	POINT OF CONNECTION
R	RETAINING WALL
RMI	RIM ELEVATION
S	SCORE
SAP	SEE ARCHITECTURAL PLANS
SBD	SEE ARCHITECTURAL PLANS
SBO	SEE ARCHITECTURAL PLANS
SBC	SEE ARCHITECTURAL PLANS
SIP	SEE ARCHITECTURAL PLANS
SLP	SEE ARCHITECTURAL PLANS
SS	SEE ARCHITECTURAL PLANS
SSCO	SEE ARCHITECTURAL PLANS
SS	SEE ARCHITECTURAL PLANS
SS	SEE ARCHITECTURAL PLANS
SS	SEE ARCHITECTURAL PLANS
TYP	TYPICAL
USD	UNDERSEAL DRAIN
VD	PIPE VERTICAL DROP
W	DOMESTIC WATER LINE
WH	WATER METER

San Mateo County Zoning Hearing Officer Meeting

Owner/Applicant:
File Numbers:

Attachment:

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Project Control:
Mariano Kontarevsky | mk@kprox.com

DATE:	08/12/2016	TITLE:	
DESCRIPTION:	PLANNING SET	PLANNING SET	

WOOD RESIDENCE
573 MENLO OAKS DRIVE
MENLO PARK, CA 94025

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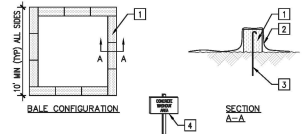
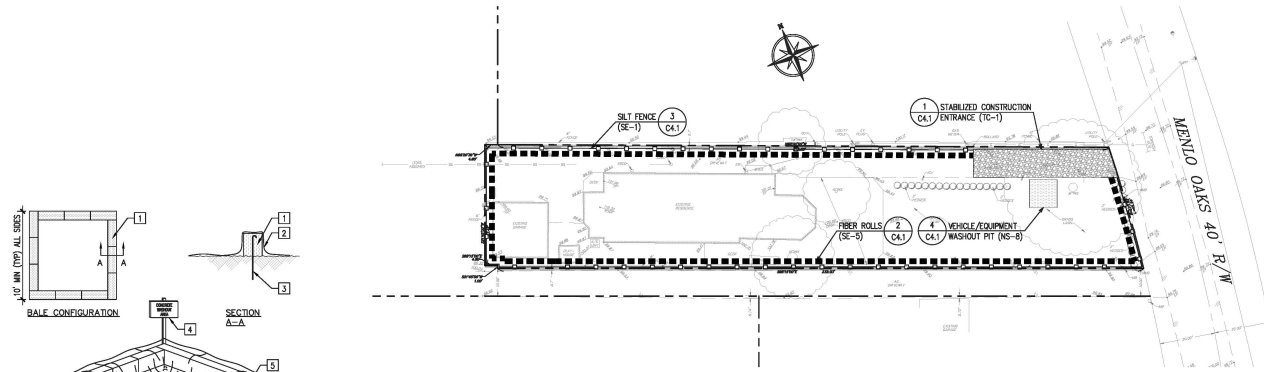
PROJECT No:	16-9806
DATE:	08/12/2016
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DESIGN/DRAWN:	SL
CHECKED:	IK

SHEET TITLE
**PRELIMINARY
EROSION CONTROL PLAN**

C4.1

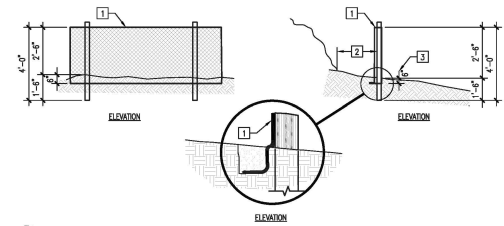
EROSION AND SEDIMENTATION CONTROL NOTES:

- CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN, IF PROVIDED, ARE SCHEMATIC MINIMUM REQUIREMENTS, THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF THE EROSION CONTROL SYSTEM SO THAT IT WORKS WITH THE CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
- ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED, AS REQUIRED, AT THE CONCLUSION OF EACH WORKING DAY. THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL FACILITIES AND MAKE NECESSARY REPAIRS PRIOR TO ANTICIPATED STORMS AND AT REASONABLE INTERVALS DURING STORMS OF EXTENDED DURATION. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
- AS SOON AS PRACTICAL FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASIN AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
- STACKPILED MATERIAL SHALL BE COVERED WITH VEGUEEN OR A TARP/UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STACKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEED OR PLANTED TO PROVIDE GROUND COVER.
- PRIOR TO THE COMMENCEMENT OF ANY CLEARING, GRADING, OR EXCAVATION, THE CONTRACTOR SHALL VERIFY THAT THE CLIENT HAS SUBMITTED TO THE STATE WATER RESOURCES CONTROL BOARD A NOTICE OF INTENT (NOI) FOR COVERAGE UNDER THE STATE CONSTRUCTION STORM WATER GENERAL PERMIT, IF REQUIRED BY THE STATE. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE NOI ON THE CONSTRUCTION SITE.
- NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
- CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE CITY INSPECTOR. THE ADJACENT STREET SHALL BE KEPT CLEAR OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. DEVELOPER SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPIILING OF BUILDING MATERIALS WITHIN THE CITY'S RIGHT-OF-WAY IS PERMITTED.
- ALL EROSION CONTROL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED.
- PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE DIVALS, SILT FENCES, BARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAIN BALES USED ONLY IN CONSTRUCTION WITH PROPERLY INSTALLED SILT FENCES.



- STRAW BALES, FIBER ROLLS OR EQUAL.
 - 60 MIL POLYETHYLENE OR EQUAL WATERPROOF PLASTIC MEMBRANE.
 - 2"x2" STAKES ON #4 L-BARS (TWO PER BALE TYPICAL).
 - SIGN TO BE 24"x36" MIN FACING NEAREST STREET OR ACCESS POINT.
 - DEPTH TO BE 24" MINIMUM.
- THIS SECTION IS REMOVED FOR GRAPHICAL REPRESENTATION ONLY. PERIMETER SHALL BE CONTINUOUS.
- NOTE:
CONCRETE WASHOUT SHALL BE LOCATED BEYOND CURB AND 5 FT MINIMUM FROM DRAINAGE INLETS OR WATERCOURSES.
WATER IN WASHOUT PIT SHALL BE PUMPED ONCE IT REACHES 18" MAX.

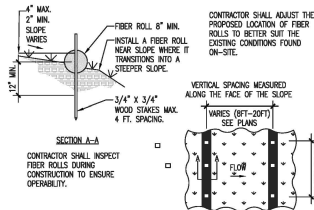
4 N.T.S. WASHOUT → CONCRETE WASHOUT



- FILTER FABRIC MATERIAL (2" ROLLS).
- MAINTAIN 3 FT MINIMUM CLEARANCE TO TOE OF SLOPE.
- MINIMUM BURY = 6".
- FLOW DIRECTION ARROW (1" HP).
- ANGLE ENDS OF FILTER FABRIC FENCE TO ASSURE THAT SOIL & SEDIMENT ARE TRAPPED.
- INTERLOCKED 2"x2" POSTS W/ATTACHED FABRIC.
- CORNER CONFIGURATION.
- WINGS TO BREAK UP LENGTH OF SLOPE.

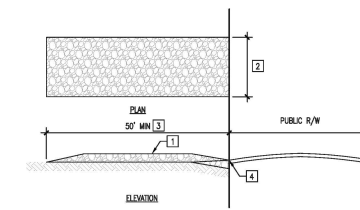
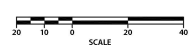
- NOTES:
- CONTRACTOR SHALL IMPLEMENT FIBER ROLLS BEHIND SILT FENCE IF SHOWN ON PLANS.
 - USE CAUTION WHILE DIGGING SILT FENCE POSTS. KEEP A REASONABLE CLEARANCE TO EXISTING UTILITIES, STRUCTURES AND/OR TREES TO REMAIN.

4 N.T.S. SILT FENCE → SILT FENCE



- CONTRACTOR SHALL ADJUST THE PROPOSED LOCATION OF FIBER ROLLS TO BETTER SUIT THE EXISTING CONDITIONS FOUND ON-SITE.
- CONTRACTOR SHALL INSPECT FIBER ROLLS DURING CONSTRUCTION TO ENSURE OPERABILITY.
- NOTES:
- INSTALL FIBER ROLLS IN A ROW ALONG A LEVEL CONTOUR.
 - AT ENDS OF A ROW TURN THE LAST TWO FEET UP SLOPE SLIGHTLY.
 - FIBER ROLLS SHALL BE BUTTED TIGHTLY AT THE JOINTS.
 - DO NOT OVERLAP JOINTS.
 - FIBER ROLLS SHALL BE INSPECTED WEEKLY AND AFTER STORMS AND REPAIRED OR REPLACED AS NEEDED.

2 N.T.S. FIBER ROLLS → FIBER ROLLS



- NOTES:
- THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 4" TO 6" CRUSHED ROCK.
 - PROVIDE A FINISHED STABILIZED ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARD OR OTHER APPROVED METHODS.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS CHANGE AND ROWM AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DUMPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY.
- THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 12".
 - THE WIDTH OF THE PAD SHALL BE 18" MIN, BUT NOT LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 - THE LENGTH OF THE PAD SHALL BE AS REQUIRED, BUT NOT LESS THAN 50', UNLESS OTHERWISE APPROVED BY THE REVIEWING AGENCY BASED ON SITE SPECIFIC CONDITIONS.
 - PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC R/W

1 N.T.S. CONCENTR → STABILIZED CONSTRUCTION ENTRANCE

San Mateo County Zoning Hearing Officer Meeting

Owner/Applicant:

File Numbers:

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Project Contact: William Kantorovsky | wk@kprox.com

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WOOD RESIDENCE
573 MENLO OAKS DRIVE
MENLO PARK, CA 94025

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SHEET TITLE
BEST MANAGEMENT PRACTICES
C4.2

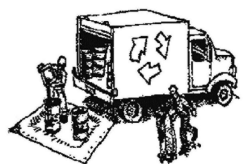
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Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



- Non-Hazardous Materials**
- Designate and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
 - Use (but don't overuse) reclaimed water for dust control.
- Hazardous Materials**
- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
 - Store hazardous materials and wastes in water tight containers, stored in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
 - Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
 - Arrange for appropriate disposal of all hazardous wastes.
- Waste Management**
- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
 - Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
 - Clean or replace portable toilets, and inspect them frequently for leaks and spills.
 - Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
 - Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

- Construction Entrances and Perimeter**
- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
 - Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



- Maintenance and Parking**
- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
 - Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
 - If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
 - If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
 - Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.
- Spill Prevention and Control**
- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
 - Inspect vehicles and equipment frequently for leaks and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
 - Clean up spills or leaks immediately and dispose of cleanup materials properly.
 - Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
 - Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
 - Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
 - Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number. 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
 - Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
 - Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
 - Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
 - Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.
- Contaminated Soils**
- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells.
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
 - Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
 - Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
 - Do not use water to wash down fresh asphalt concrete pavement.
- Sawcutting & Asphalt/Concrete Removal**
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
 - Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
 - If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



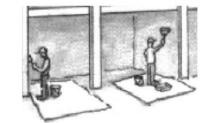
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



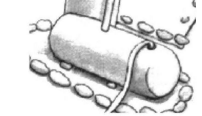
- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



- Painting Cleanup and Removal**
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
 - For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
 - For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
 - Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
 - Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

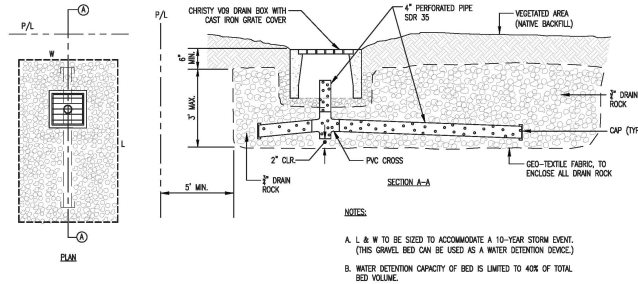
Storm drain polluters may be liable for fines of up to \$10,000 per day!



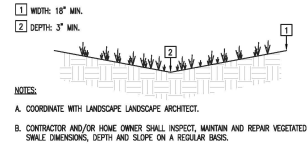
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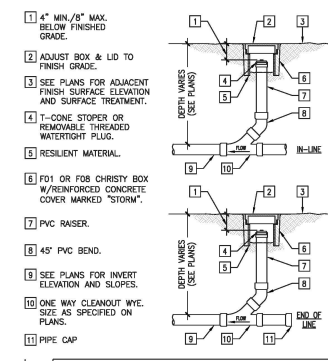
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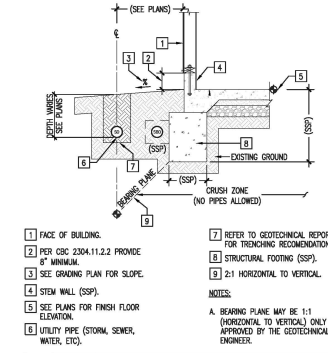
4 N.T.S. → SHALLOW GRAVEL BASIN



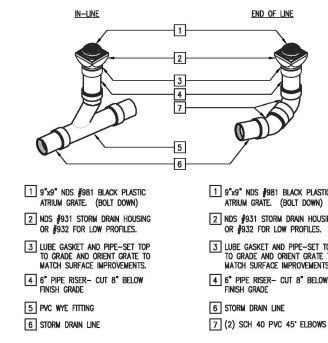
5 N.T.S. → GRASS SWALE



1 N.T.S. → SD & SS CLEANOUT



2 N.T.S. → ZONE OF INFLUENCE



3 N.T.S. → 9\"/>



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MENLO PARK, CA 94025

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SHEET TITLE

DETAILS

C5.1

San Mateo County Zoning Hearing Officer Meeting

Owner/Applicant:

Attachment:

File Numbers: