

Planning and Building Department

Application for Design Review by the County Coastside Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City CA 94063  
Mail Drop PLN 122 ■ 650-363-4161 ■ FAX 650-363-4849

Permit #: PLN 2016-00302

Other Permit #: \_\_\_\_\_

Basic Information

Applicant: (A2 DESIGN AND ENGINEERING, INC.)

Owner (if different from Applicant):

Name: ABRAHAM ZAKALIA

Name: YUMI SON

Address: 400 OLYMPIA POINT BLVD STE F38  
SSP, CA ZIP: 94080

Address: 1 MANDALAY PL #1108  
SSP, CA ZIP: 94080

Phone, W: 650.553.4031 H: 650-892-7812

Phone, W: 415-635-9664

Email: abraham@a2designandengineering.com

Email: son.yumie@gmail.com

Architect or Designer (if different from Applicant):

Name: \_\_\_\_\_

Address: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_ H: \_\_\_\_\_ Email: \_\_\_\_\_

Project Site Information

Project location:

APN: 030-152-340

Site Description:

- Vacant Parcel
- Existing Development (Please describe): \_\_\_\_\_

Address: HAS NOT BEEN ASSIGNED

Zip: \_\_\_\_\_

Zoning: R1/S-17/JPR

Parcel/lot size: 8125 sq. ft.

Project Description

Project:

- New Single Family Residence: 2161 sq. ft.
- Addition to Residence: \_\_\_\_\_ sq. ft.
- Other: \_\_\_\_\_

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Describe Project:

BUILD A SINGLE DWELLING UNIT  
ON THE EXISTING VACANT LOT

#### 4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish (If different from existing, attach sample)	Check if matches existing
a. Exterior walls	STUCCO	SAND	<input type="checkbox"/>
b. Trim	—	—	<input type="checkbox"/>
c. Windows	ALUMINUM CLADDING / WOOD	Light BROWN	<input type="checkbox"/>
d. Doors	WOOD - GLASS - METAL	Light BROWN	<input type="checkbox"/>
e. Roof	ALUMINUM	COPPER color	<input type="checkbox"/>
f. Chimneys	NO.	—	<input type="checkbox"/>
g. Decks & railings	STONE (POOL) - <sup>GLASS</sup> METAL Railings	GLASS	<input type="checkbox"/>
h. Stairs	CONCRETE (OUTSIDE)	—	<input type="checkbox"/>
i. Retaining walls	CONCRETE	—	<input type="checkbox"/>
j. Fences	WOOD (REDWOOD)	—	<input type="checkbox"/>
k. Accessory buildings	—	—	<input type="checkbox"/>
l. Garage/Carport	STUCCO finished	—	<input type="checkbox"/>

#### 5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

#### 6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Yumi Sun

Owner:

Jonathan Zivada

Applicant:

7/21/2016

Date:

7/21/16

Date:

# Environmental Information Disclosure Form

Planning and Building Department

PLN 2016-00307

BLD \_\_\_\_\_

Project Address: DATE ST, MOUNTAIN VIEW

Name of Owner: YUMI SON

Address: 1 MANDALAY PL #1108

Phone: 415-635-9864

Assessor's Parcel No.: 036-152-340

Name of Applicant: ABRAHAM ZAVALLA

Address: 400 OYSTER POINT BLVD STE 438

SSP CA 94080 Phone: 650-553-4031

Zoning District: R1-2/17/DR

## Existing Site Conditions

Parcel size: 8125 SQF

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).

THE EXISTING LOT IS VACANT & THE PROPOSAL IS TO BUILD A ONE-STORY SINGLE DWELLING UNIT.

## Environmental Review Checklist

### 1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
	↓	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	↓	b. Construction of a new multi-family residential structure having 5 or more units?
	↓	c. Construction of a commercial structure > 2,500 sq.ft?
Yes		d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? <u>2</u> <span style="float: right;"><u>ONE IS DEAD &amp; BOTH ARE PART OF CONSTRUCTION SITE</u></span>
Yes		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation: <u>400</u> c.y. Fill: <u>58.75</u> c.y.
	↓	f. Subdivision of land into 5 or more parcels?
	↓	g. Construction within a State or County scenic corridor?
	↓	h. Construction within a sensitive habitat?
	↓	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	↓	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review		
Yes	No	Will the project involve:
		a. Construction outside of the footprint of an existing, legal structure?
		b. Exterior construction within 100-feet of a stream?
		c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
		d. Land-use within a riparian area?
		e. Timber harvesting, mining, grazing or grading?
		f. Any work inside of a stream, riparian corridor, or shoreline?
		g. Release or capture of fish or commerce dealing with fish?
Please explain any "Yes" answers:		

3. National Pollutant Discharge Elimination System (NPDES) Review		
Yes	No	Will the project involve:
		a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u>  If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
		b. <u>Land disturbance of 1 acre or more of area?</u>  If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

**Certification:**

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: Abraham Zorbe Date: 7/21/16  
 (Applicant may sign)

# Application for a Grading Permit

Land Clearing  
Companion Page

Grading

Applicant's Name: ABRAHAM ZAVALEA

Primary Permit #: PLU 2016-00302

## 1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Grading Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

## 2. Basic Information - Land Clearing

### Land Clearing Operator

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone: \_\_\_\_\_

License #: \_\_\_\_\_

♦ Area to be cleared: 4464 sq. ft.

♦ Average slope of area to be cleared: 16%

♦ Type of vegetation to be removed:

GRASS - SHRUBS & 2 TREES ONE  
IS ALREADY DEAD & LEANING

♦ Disposal Site:

♦ Purpose of removal:

CLEAR LAND FOR NEW CONSTRUCTION

## 3. Land Clearing Plan Requirements

The land clearing plans must show:

(1) Property lines.

(2) Location of area to be cleared.

(3) Existing structures

(4) Erosion control measures.

## 4. Basic Information - Grading

### Grading Operator

Name: TBD

Address: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone: \_\_\_\_\_

License #: \_\_\_\_\_

### Geotechnical Consultant

Name: EARTH INVESTIGATION CONSULTANTS, INC

Address: P.O. BOX 795

POUFICA, CA

Zip: 94044

Phone: 650-557-0262

License #: JOEL E. BOLWIN EG-1132

DAVID W. BUCKLEY C-34386

# Certificate of Compliance Type A or B (for parcel legalization)

PLN 2016-00302

## Companion Page

### 1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Certificate of Compliance Type A. You must also submit all items listed below.

### 2. Basic Information

Civil Engineer/Land Surveyor (only if required)

Name: SWIRT ENGINEERING

Phone: 530-878-6732

Address: 3520 CEDAR SPRINGS LN

MEADOW VISTA, CA Zip: 95722

License #:

### 3. Project Information

Street/road frontage or closest access:

DATE ST BETWEEN EDISON AND FRANKLIN STREETS

Existing development/uses on property:

THE LOT IS VACANT (APN 036-152-340) AND THE PLAN IS TO BUILD A SINGLE DWELLING UNIT

Water supply:

well

water district:

Sewage disposal:

septic

sanitary district:

Does legalization sought match current Assessor's Parcel boundaries? YES

### 4. Application Requirements

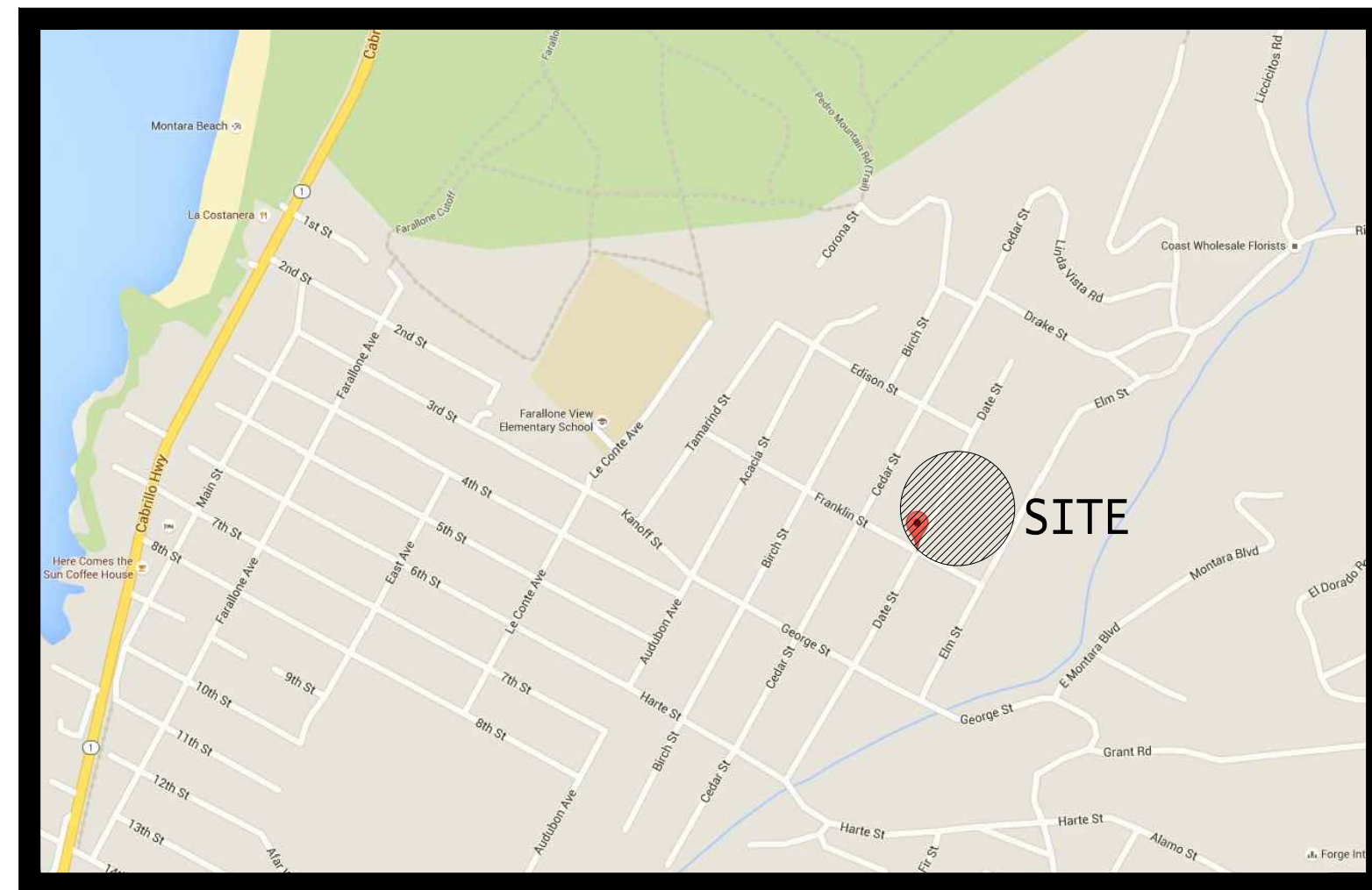
- Fees
- Land Division history, tracing history of parcel(s), including previous parcel(s) of which it is a part, back to last legal parcel or to its original creation. History shall include :
  - (1) the date the subject parcel was first created;
  - (2) all deed references (Document # or Volume/Book/Page);
  - (3) a map depicting the parcel boundaries; and
  - (4) a chain of title narrative that traces all such deed

history from the parcel's initial creation to the present (current owner), with graphics references, where necessary, on accompanying maps

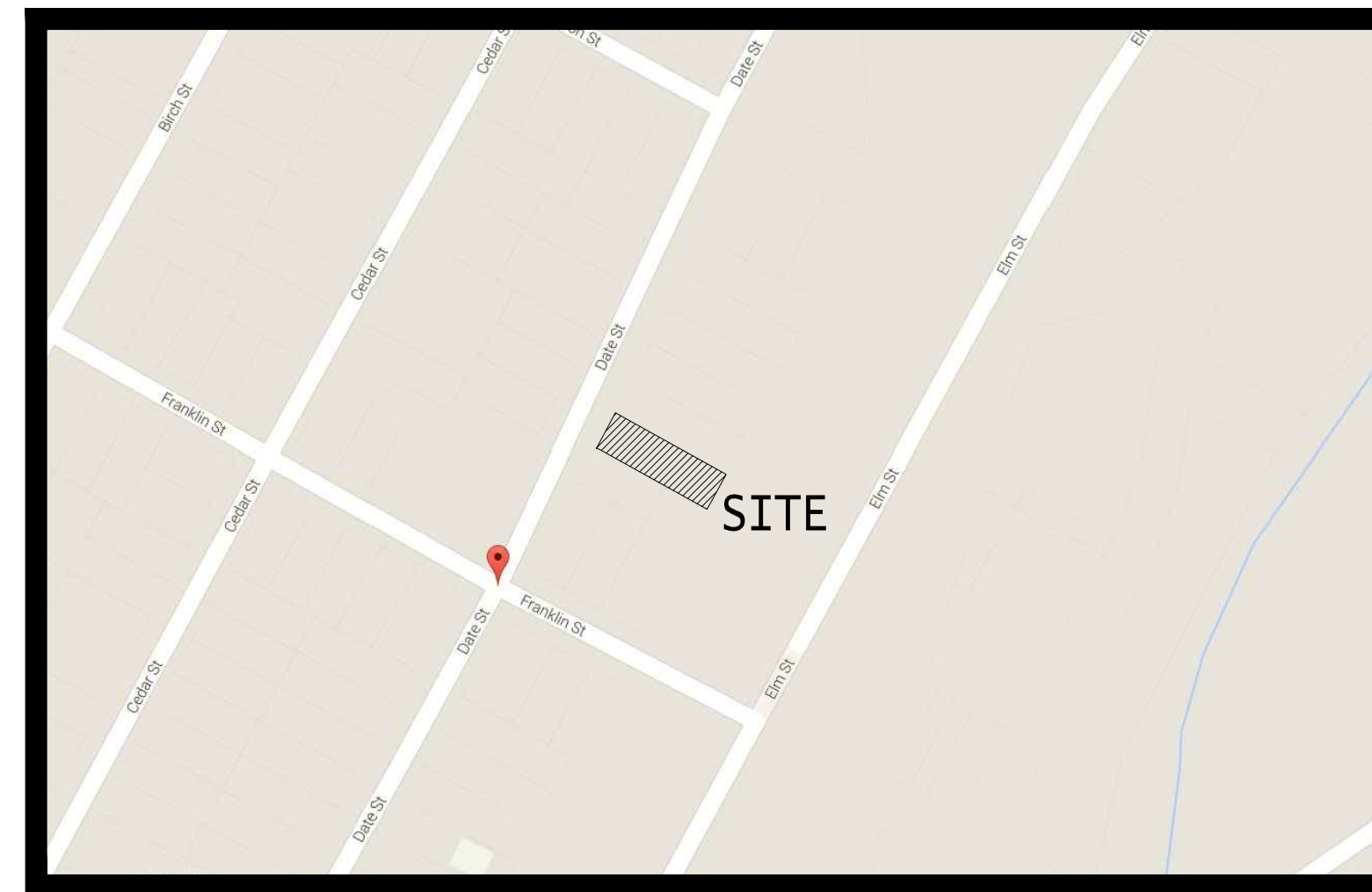
- If this legalization is triggered by the Witt/Abernathy cases, consult the 1-8-2010 "Legalization of Parcels" policy.
- Topographic and Boundary Survey of Parcel(s)
- Building permit history on the house or other principal use may be required, obtainable from the Building records or the "parcel history" from the Assessors Office.

**NOTE:** If, upon review of the Type A application, it is determined that a Type B Certificate of Compliance is required, a topographic and boundary survey ~~will~~ <sup>may</sup> be required, as well as other possible property improvements and planning applications. ~~fees.~~

LOCATION MAP



VICINITY MAP



LOT/OWNER INFORMATION

DATE STREET, MONTARA, CALIFORNIA 94037	
ASSESSOR PARCEL NUMBER:	036152340
LOT:	51 & 52
LOT AREA:	8,125 SQ.FT.
ZONE DISTRICT:	R1/S-17
OCCUPANCY CLASS:	R-3
TYPE OF CONSTRUCTION:	V-A
FIRE SPRINKLERS:	YES
(E) NUMBER OF BUILDINGS:	VACANT LOT
(N) NUMBER OF BUILDINGS:	1
UNITS:	1
STORIES:	1
BUILDING FLOOR AREA:	2,539 SQ.FT.
GARAGE FLOOR AREA:	431 SQ.FT.
TOTAL LOT COVERAGE:	2,970 SQ.FT.
PARCEL COVERAGE:	36.5% < 50%
FLOOR AREA RATIO:	36.5% < 53%
OWNER(S) INFORMATION:	
	NAME: YUMI SON

SCOPE OF WORK

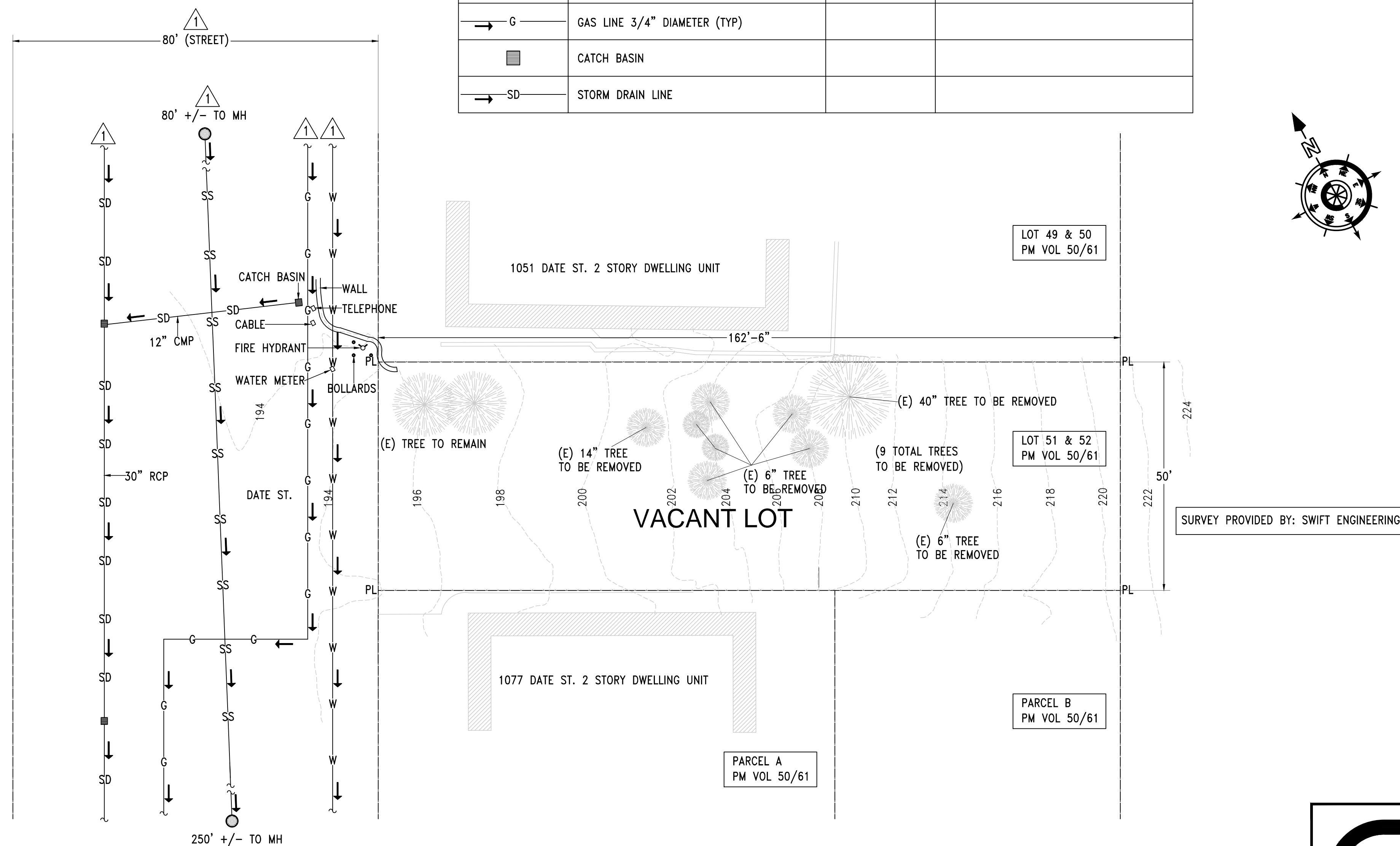
1. NEW SINGLE STORY/FAMILY DWELLING WITH 2-CAR GARAGE.

INDEX OF DRAWINGS

- ARCHITECTURAL**
- A-0 SITE MAP AND PROJECT INFORMATION
  - A-0.1 (E) 300' RADIUS VICINITY PLAN
  - A-1 PROPOSED SITE PLAN
  - A-1.1 PROPOSED GRADING PLAN
  - A-2 PROPOSED FIRST FLOOR PLAN
  - A-2.1 PROPOSED FIRST FLOOR PLAN (LEVEL 211.75)
  - A-3 SCHEMATIC CROSS SECTION
  - A-4 PROPOSED WEST ELEVATION
  - A-4.1 PROPOSED SOUTH ELEVATION
  - A-4.2 PROPOSED NORTH ELEVATION
  - A-4.3 PROPOSED EAST ELEVATION
- CIVIL**
- C-1 SURVEY MAP
  - C-2 PROPOSED DRAINAGE, WATER & GAS LINES PLAN
  - ER-1 PROPOSED EROSION CONTROL PLAN

APN: 036-152-340, MONTARA, CALIFORNIA 94037

LEGEND			
	SANITARY SEWER LINE 4" DIAMETER (TYP)	CMP	CORRUGATED METAL PIPE
	SANITARY SEWER MANHOLE	RCP	REINFORCED CONCRETE PIPE
	WATER LINE 3/4" DIAMETER (TYP)		
	WATER METER		
	GAS LINE 3/4" DIAMETER (TYP)		
	CATCH BASIN		
	STORM DRAIN LINE		



MATERIALS

- ACOUSTIC TILE OR BOARD
- BITUMINOUS CONCRETE SHOW PROFILE ONLY
- CERAMIC TILE
- CONCRETE CAST IN PLACE OR PRECAST
- CONCRETE BLOCK
- EARTH
- GLASS OMIT INDICATION IN THIN MATERIAL
- GYPSUM BOARD OMIT DOUBLE LINES AT SMALL SCALE
- GYPSUM SHEATHING
- HARDBOARD
- INSULATION, BATT
- METAL OMIT INDICATION IN THIN MATERIAL
- MORTAR
- PLASTER ON METAL LATH
- PLASTIC LAMINATE
- PLYWOOD
- RIGID INSULATION
- ROCK FILL
- SAND
- WOOD, FINISH
- WOOD, FRAMING THROUGH MEMBER
- WOOD, FRAMING INTERRUPTED MEMBER

- SITE PLAN LEGEND:
- JOINT POWER POLE
  - WATER METER
  - FIRE HYDRANT
  - GAS VALVE
  - WATER VALVE
  - WATER LINE
  - GAS LINE
  - SANITARY SEWER LINE
  - OVERHEAD ELECTRIC

SYMBOLS

- NOTE MARK
- DOOR MARK
- WINDOW MARK - LETTERS
- LOUVER MARK - NUMBERS
- TOILET ACCESSORY
- REVISION MARK
- COLUMN/ GRID LINE MARK
- MATCH MARK AND LINE
- SECTION CUT MARK
- EXTERIOR ELEVATION MARK
- INTERIOR ELEVATION MARK
- DETAIL MARK

APPLICABLE CODES

- A. 2013 CALIFORNIA BUILDING CODE (BASED ON 2012 INTERNATIONAL BUILDING CODE)
- B. 2013 CALIFORNIA ELECTRICAL CODE (BASED ON 2012 NATIONAL ELECTRICAL CODE)
- C. 2013 CALIFORNIA PLUMBING CODE (BASED ON 2012 UNIFORM PLUMBING CODE)
- D. 2013 CALIFORNIA MECHANICAL CODE (BASED ON 2012 UNIFORM MECHANICAL CODE)
- E. 2013 CALIFORNIA ENERGY CODE
- F. 2013 CALIFORNIA HISTORICAL BUILDING CODE
- G. 2013 CALIFORNIA RESIDENTIAL CODE (BASED ON THE 2012 INTERNATIONAL BUILDING CODE)
- H. 2013 CALIFORNIA FIRE CODE (BASED ON THE 2012 INTERNATIONAL FIRE CODE)
- I. LOCAL LAWS, ORDINANCES AND REGULATIONS
- J. 2012 INTERNATIONAL EXISTING BUILDING CODE

NOTES

RECIPIENT OF THESE PLANS & SPECIFICATIONS UNDERSTANDS THAT COPYRIGHT IN THESE PLANS & SPECIFICATIONS ARE OWNED BY AZ DESIGN & ENGINEERING INC. THE PLANS & SPECIFICATIONS CONTAIN PRIVILEGED AND CONFIDENTIAL BUSINESS INFORMATION OF AZ DESIGN & ENGINEERING INC. THE RECIPIENT AGREES TO RETAIN THESE PLANS & SPECIFICATIONS IN STRICT CONFIDENCE AND AGREES NOT TO DISCLOSE THESE PLANS & SPECIFICATIONS TO ANY OTHER PARTY AND FURTHER AGREES NOT TO MAKE COPIES OF THESE PLANS & SPECIFICATIONS. THE RECIPIENT AGREES TO USE THESE PLANS & SPECIFICATIONS ONLY FOR THE LIMITED PURPOSE FOR WHICH AZ DESIGN & ENGINEERING INC. HAS MADE THESE PLANS & SPECIFICATIONS AVAILABLE, AND RECIPIENT AGREES TO RETURN ALL PLANS & SPECIFICATIONS TO AZ DESIGN & ENGINEERING INC. EITHER UPON COMPLETION OF THE INTENDED PURPOSE OR UPON THE REQUEST OF AZ DESIGN & ENGINEERING INC, WHICHEVER COMES FIRST.

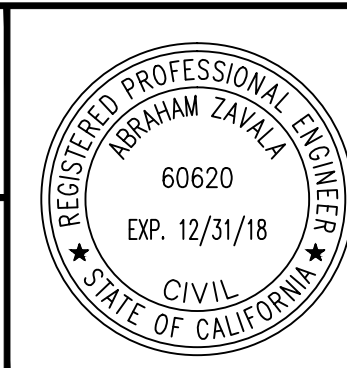
THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONALS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

FIRE SPRINKLERS TO BE UNDER SEPARATE PERMIT

EXISTING SITE PLAN  
1/16"=1'-0"



**AZ DESIGN AND ENGINEERING, INC.**  
400 OYSTER POINT BLVD, SUITE 438, SOUTH SAN FRANCISCO, CA 94080  
Ph: (650) 553-4031 / FAX: (650) 553-4044 / azdesign@azdesignandengineering.com  
APN: 036152340, MONTARA, CALIFORNIA 94037  
**NEW SINGLE DWELLING UNIT**  
**OWNER: YUMI SON**

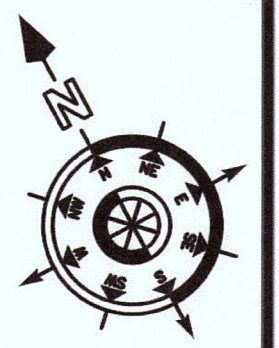


REVISION/DATE	
1. DESIGN REVIEW	07/21/2016
PLAN CHECK COMMENTS 08/27/2016	
SCALE: AS SHOWN	DRAWN / REVIEWED: AZ
DATE: JAN/2016	JOB No: AM999

**A-0**



LEGEND			
← SS	SANITARY SEWER LINE 4" DIAMETER (TYP)	CMP	CORRUGATED METAL PIPE
○	SANITARY SEWER MANHOLE	RCP	REINFORCED CONCRETE PIPE
← W	WATER LINE 3/4" DIAMETER (TYP)		
◻ WM	WATER METER		
→ G	GAS LINE 3/4" DIAMETER (TYP)		
◻	CATCH BASIN		
→ SD	STORM DRAIN LINE		



**DESIGN EVEREST**  
 365 FLOWER LANE, MOUNTAIN VIEW, CA 94043  
 888-511-9015

LOCATION NO: 01  
 DRAWN BY: BN  
 CHECKED BY: BN

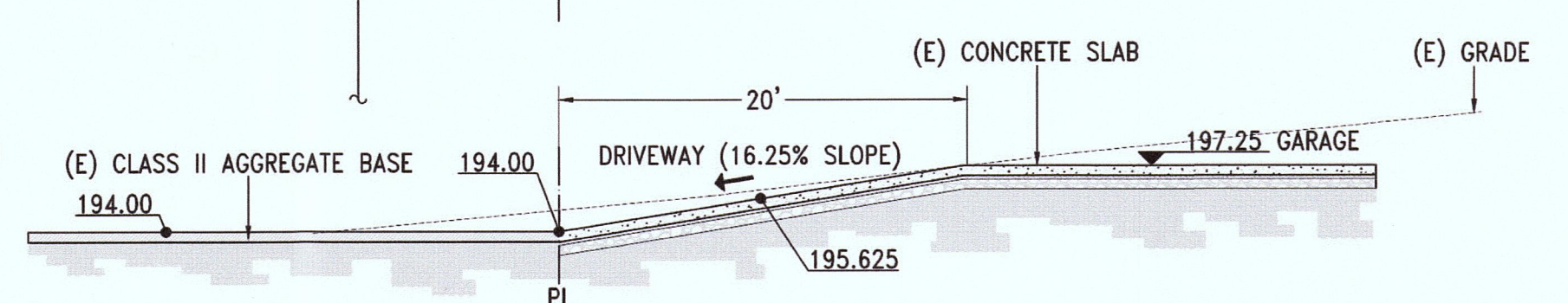
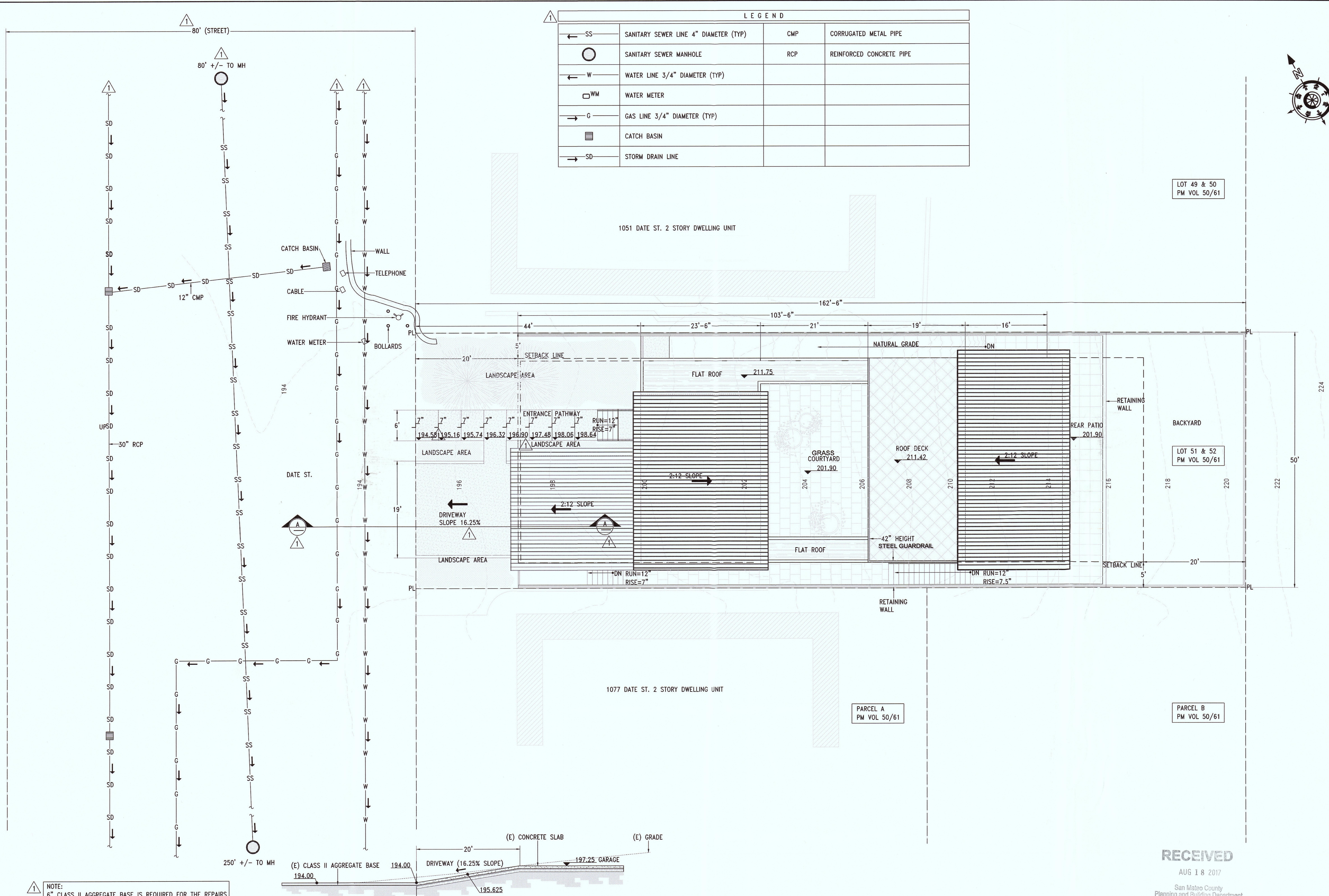
REV	DATE	DESCRIPTION
1	08/27/2016	PLAN CHECK COMMENTS

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SITE ID: SINGLE FAMILY HOUSE  
 APN: 036152340  
 Montara, CA 94037

SHEET TITLE  
 SITE PLAN

SHEET NUMBER  
**A-1**



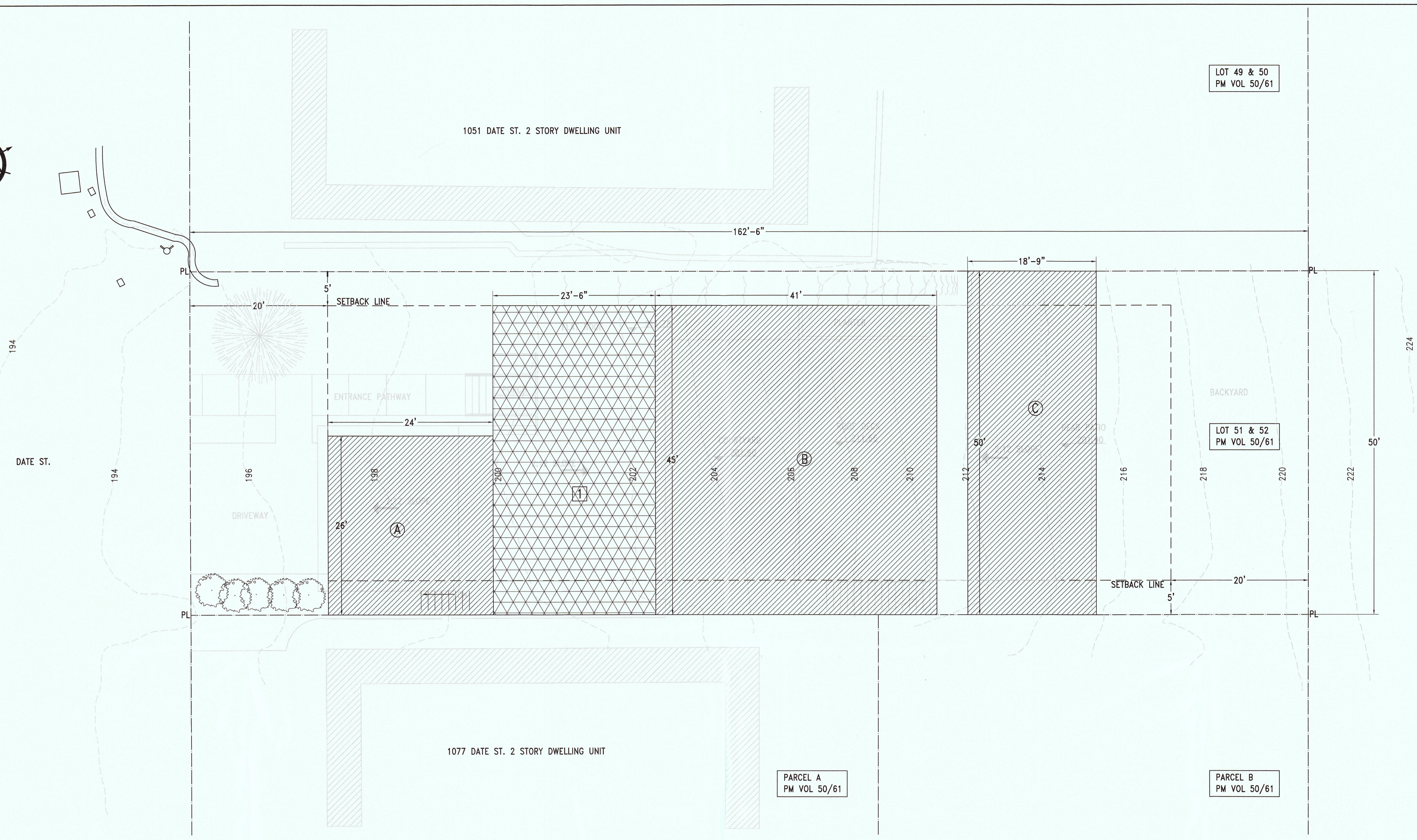
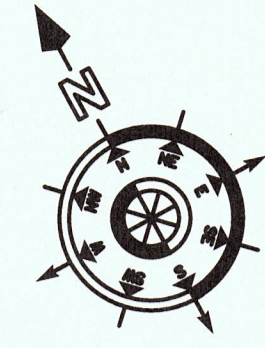
**CROSS SECTION A-A**  
 1/8" = 1'-0"

NOTE:  
 6" CLASS II AGGREGATE BASE IS REQUIRED FOR THE REPAIRS

RECEIVED  
 AUG 18 2017  
 San Mateo County  
 Planning and Building Department  
**(REVISED)**

PLN2016-00302

24"x36" SCALE: 1/8" = 1'-0"  
 11"x17" SCALE: 1/4" = 1'-0"



**PROPOSED GRADING PLAN**

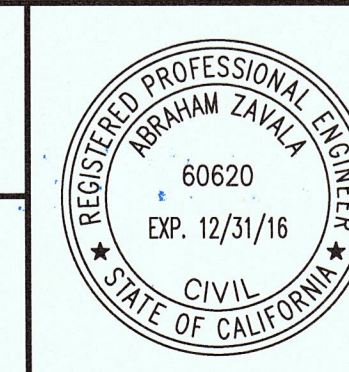
1/8"=1'-0"

<p><b>(A)</b> EXCAVATION <math>\frac{bxh/2(\text{length})}{27} = \text{CUBIC YARD}</math> <math>\frac{24 \times 2 / 2(26)}{27} = 23 \text{ cy}^3</math></p>	<p><b>(1)</b> INFILL <math>\frac{bxh/2(\text{length})}{27} = \text{CUBIC YARD}</math> <math>\frac{23.5 \times 3 / 2(45)}{27} = 58.75 \text{ cy}^3</math></p>	<p><b>(B)</b> EXCAVATION <math>\frac{bxh/2(\text{length})}{27} = \text{CUBIC YARD}</math> <math>\frac{41 \times 9 / 2(45)}{27} = 308 \text{ cy}^3</math></p>	<p><b>(C)</b> EXCAVATION <math>\frac{bxh/2(\text{length})}{27} = \text{CUBIC YARD}</math> <math>\frac{18.75 \times 4 / 2(50)}{27} = 69 \text{ cy}^3</math></p>
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GRADING DATA (CUBIC YARD)			
MK	EXCAVATION	MK	INFILL
(A)	23.00	(1)	58.75
(B)	308.00		
(C)	69.00		
TOTAL	400.00	TOTAL	58.75
GRAND TOTAL 400.00-58.75 = 341.25 CUBIC YARDS			



**AZ DESIGN AND ENGINEERING, INC.**  
 400 OYSTER POINT BLVD, SUITE 438, SOUTH SAN FRANCISCO, CA 94080  
 Ph: (650) 553-4031 / FAX: (650) 553-4044 / azdesign@azdesignandengineering.com  
 APN: 036152340, MONTARA, CALIFORNIA 94037  
**OWNER: YUMI SON**



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1. DESIGN REVIEW	07/21/2016
SCALE:	DRAWN / REVIEWED
AS SHOWN	RD AZ
DATE:	JOB No:
JAN/2016	AM999

**A-1.1**

LOCATION NO: 01  
 DRAWN BY: BN  
 CHECKED BY: BN

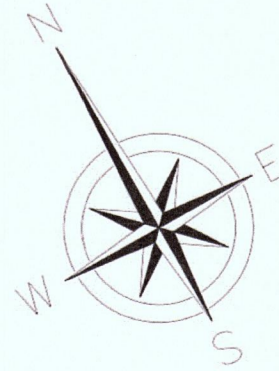
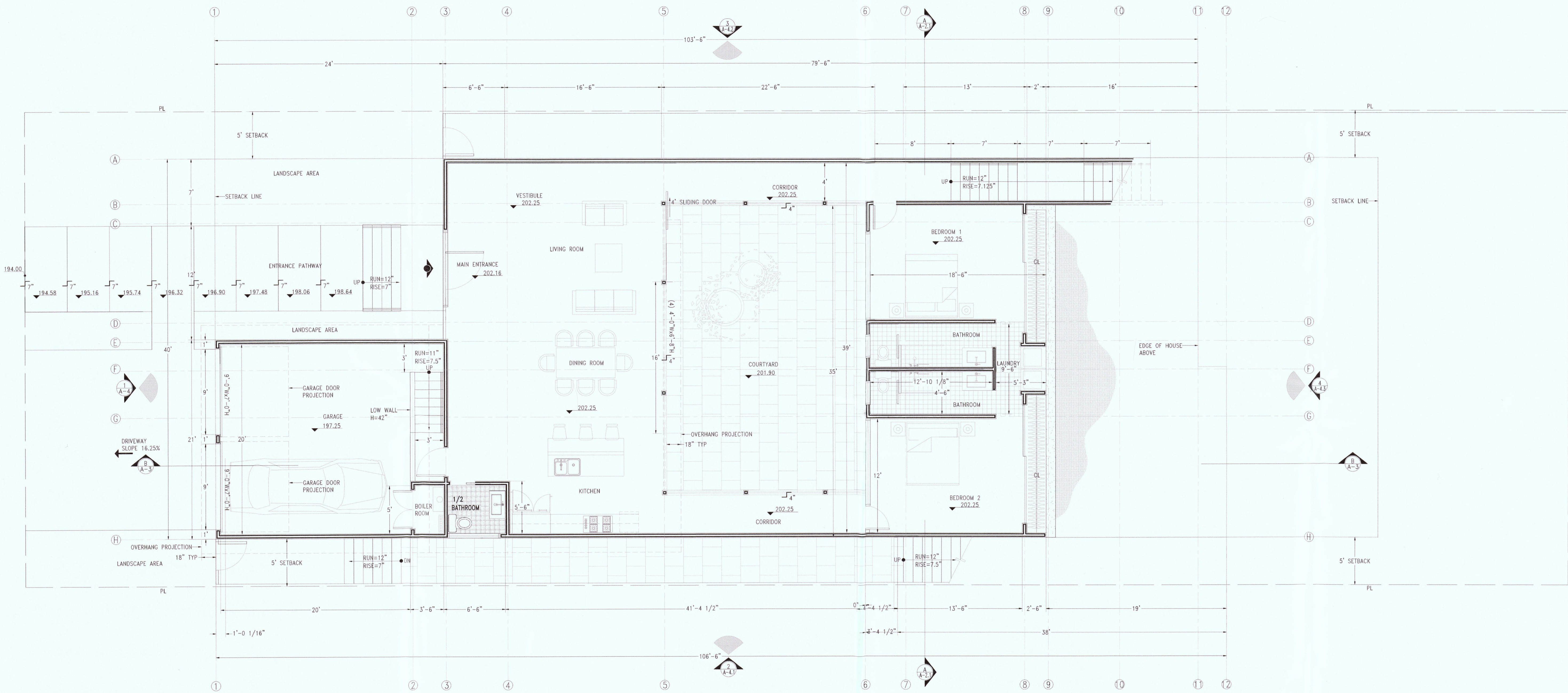
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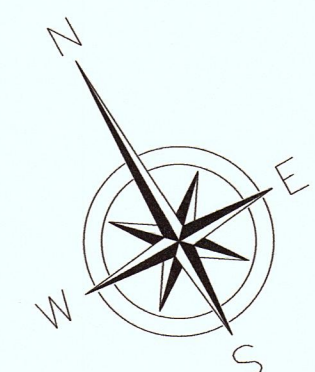
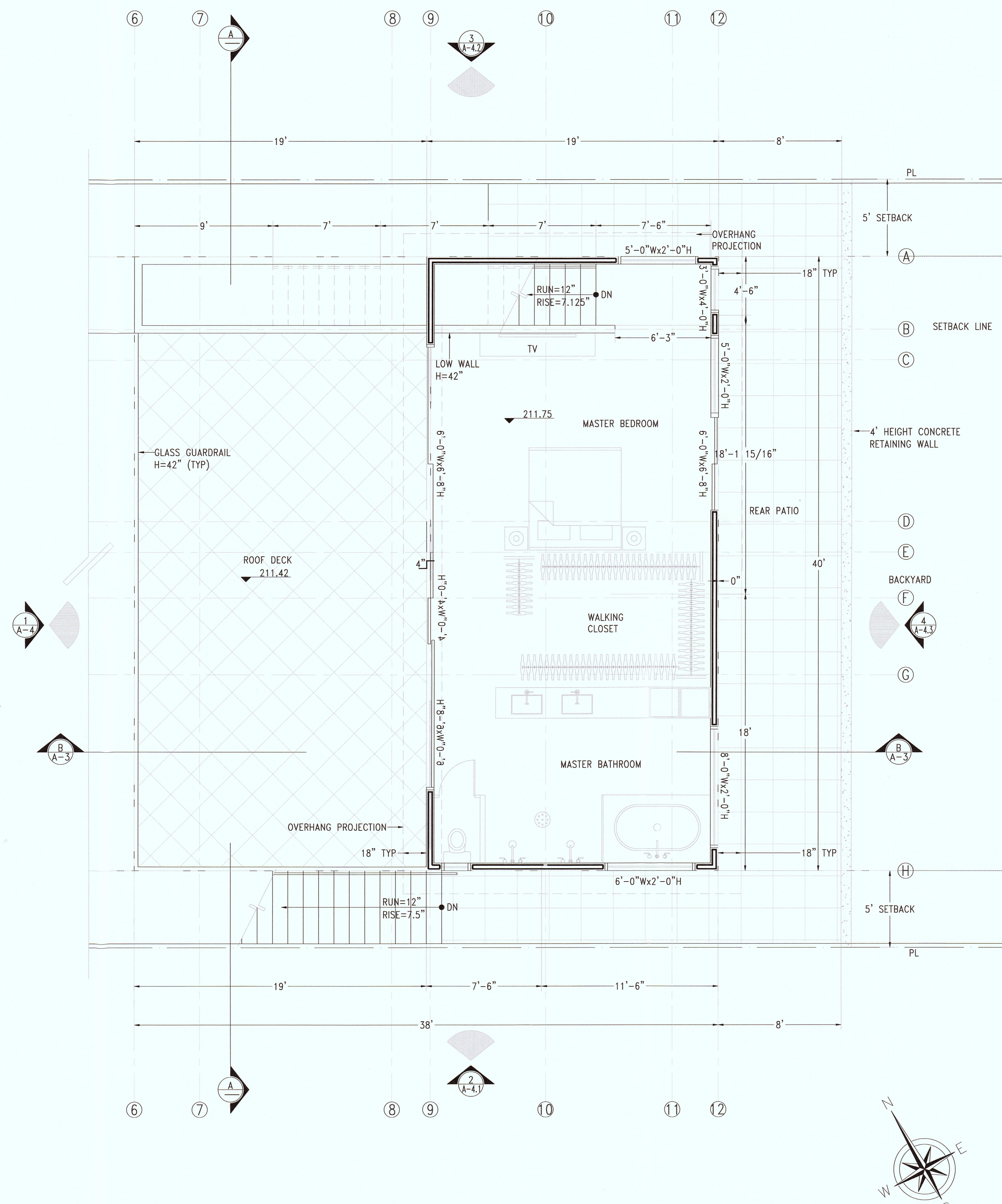
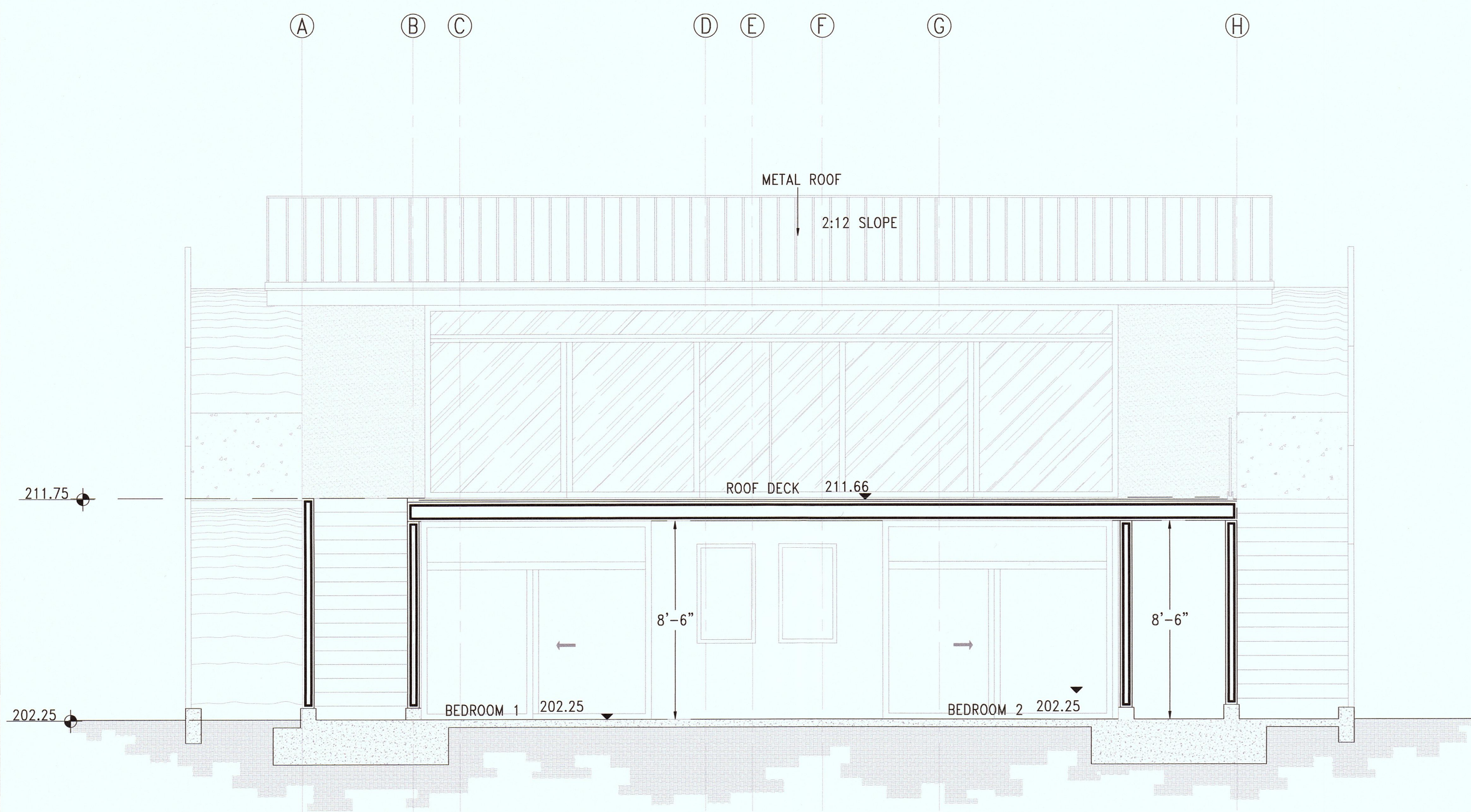
SHEET TITLE  
 FIRST FLOOR PLAN

SHEET NUMBER  
**A-2**



**PROPOSED FIRST FLOOR PLAN (AREA=2.539 SF) LEVEL 197.25 AND 202.25**

24"x36" SCALE: 3/16" = 1'-0"  
 11"x17" SCALE: 3/8" = 1'-0"



**DESIGN EVEREST**  
 36 FLOWER LANE, MOUNTAIN VIEW, CA 94045  
 888-311-3015

LOCATION NO:	01
DRAWN BY:	BN
CHECKED BY:	BN

REV	DATE	DESCRIPTION
1	08/27/2016	PLAN CHECK COMMENTS

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

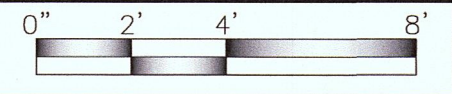
SITE ID: SINGLE FAMILY HOUSE  
 APN: 036152340  
 Montara, CA 94037

SHEET TITLE  
**FIRST FLOOR PLAN**

SHEET NUMBER  
**A-2.1**

**SCHEMATIC TRANSVERSAL CROSS SECTION A-A**

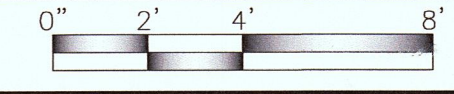
24"x36" SCALE: 1/4" = 1'-0"  
 11"x17" SCALE: 1/2" = 1'-0"



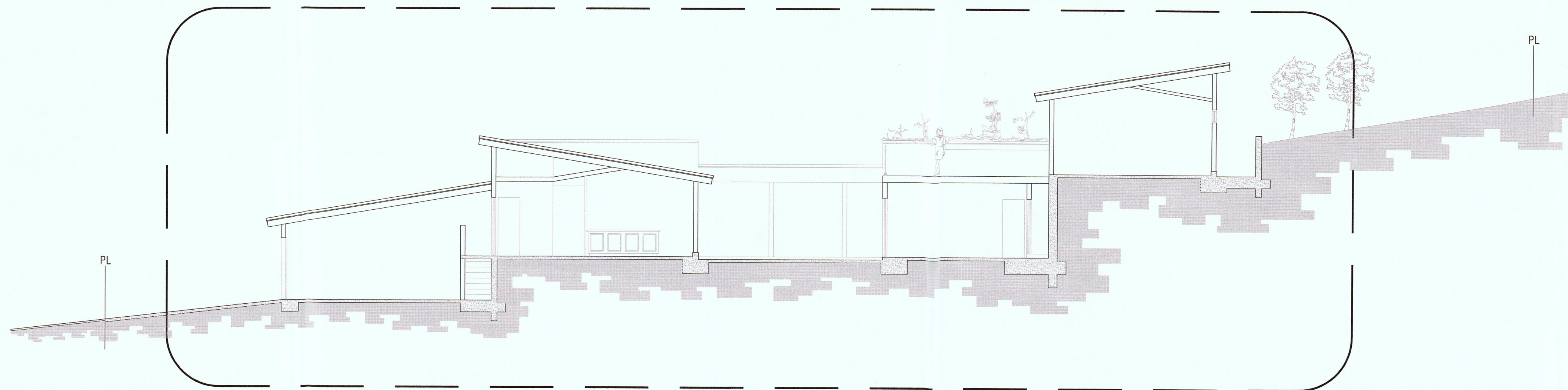
2

**PROPOSED FIRST FLOOR PLAN (AREA=2.539 SF) LEVEL 211.75**

24"x36" SCALE: 1/4" = 1'-0"  
 11"x17" SCALE: 1/2" = 1'-0"



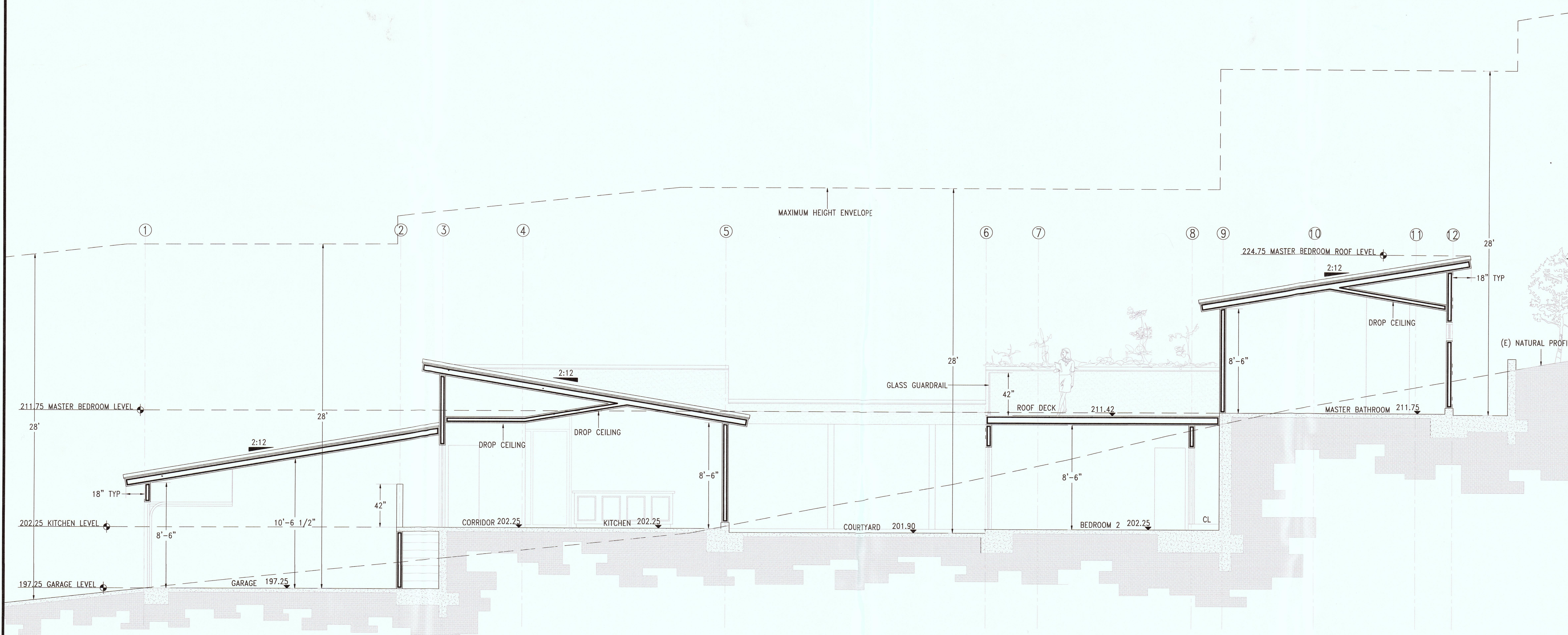
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**KEY LOCATION**

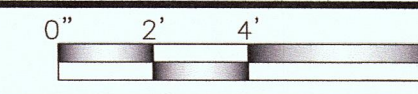
11"x17" SCALE: 1/8" = 1'-0"  
24"x36" SCALE: 1/16" = 1'-0"

2



**SCHEMATIC LONGITUDINAL CROSS SECTION B-B**

24"x36" SCALE: 1/4" = 1'-0"  
11"x17" SCALE: 1/2" = 1'-0"



1

**DESIGN EVEREST**

365 FLOWER LANE, MOUNTAIN VIEW, CA 94043  
888-311-3015

LOCATION NO:	01
DRAWN BY:	BN
CHECKED BY:	BN

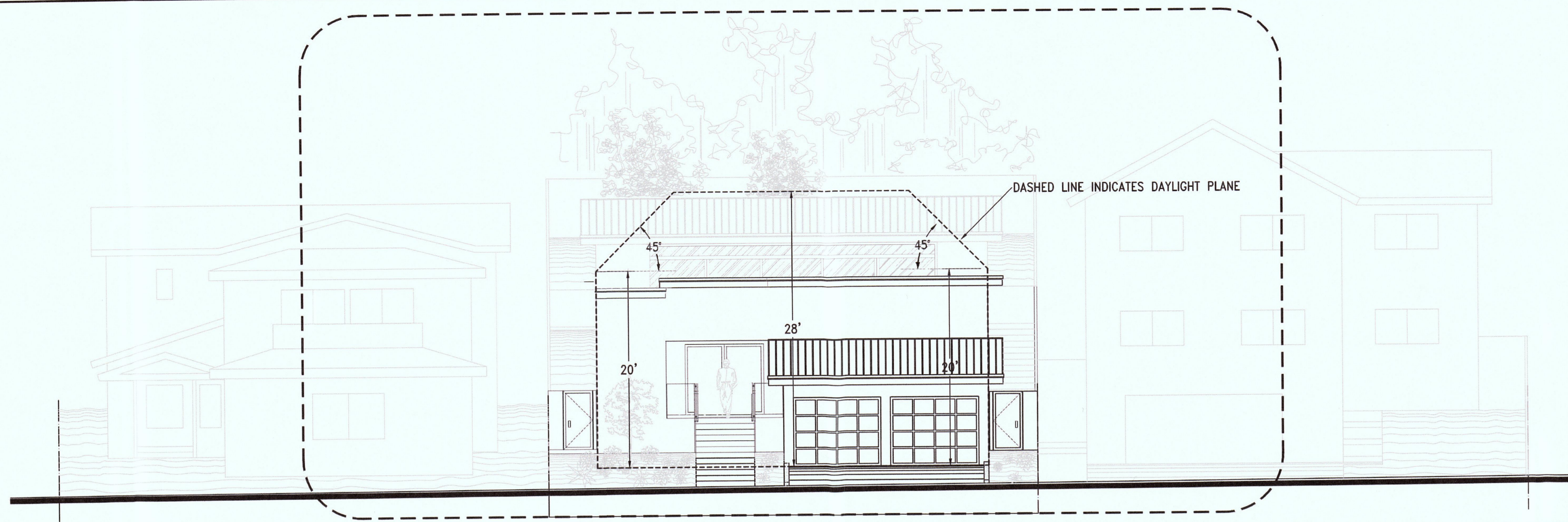
REV	DATE	DESCRIPTION
1	08/27/2016	PLAN CHECK COMMENTS

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SITE ID: SINGLE FAMILY HOUSE  
APN: 036152340  
Montara, CA 94037

SHEET TITLE  
SECTION B-B

SHEET NUMBER  
**A-3**



KEY LOCATION

11"x17" SCALE: 1/8" = 1'-0"  
24"x36" SCALE: 1/16" = 1'-0"

2



MATERIAL KEYNOTES	
	METAL ROOF
	GLASS PANEL
	STUCCO FINISH
	CONCRETE

LOCATION NO:	01
DRAWN BY:	BN
CHECKED BY:	BN

REV	DATE	DESCRIPTION
△	08/27/2016	PLAN CHECK COMMENTS

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SITE ID: SINGLE FAMILY HOUSE  
APN: 036152340  
Montara, -CA 94037

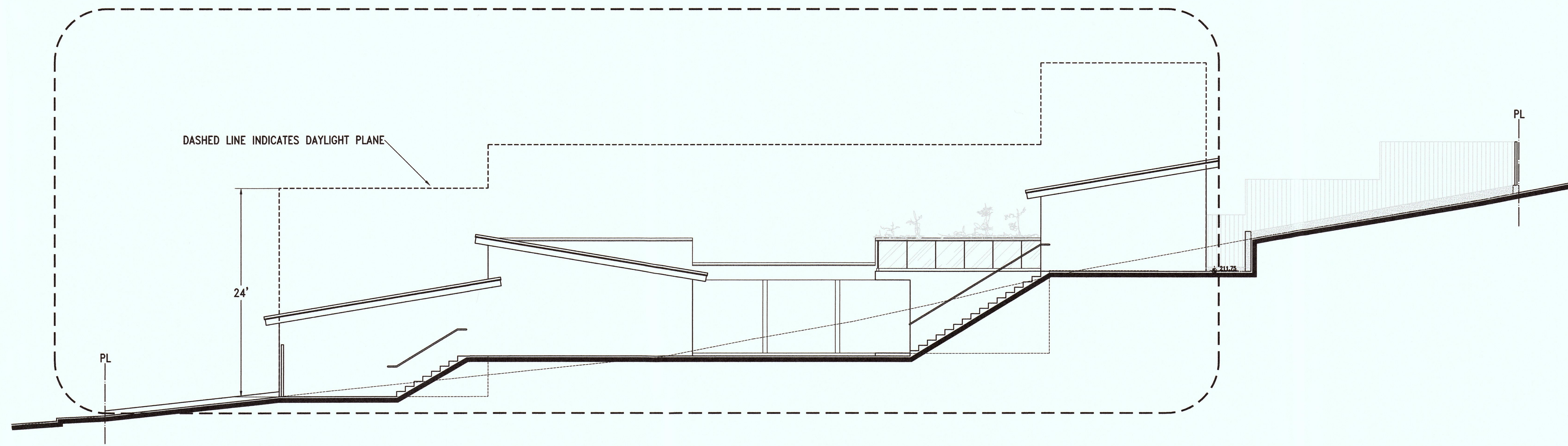
SHEET TITLE  
SECTION B-B

SHEET NUMBER  
**A-4**

PROPOSED WEST (FRONT) ELEVATION

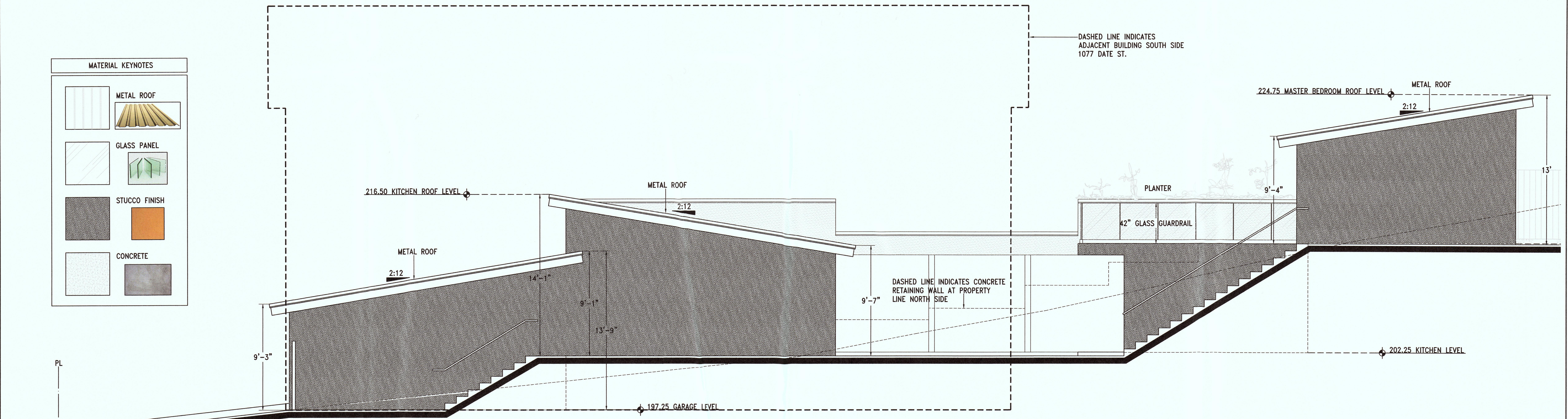
24"x36" SCALE: 1/4" = 1'-0"  
11"x17" SCALE: 1/2" = 1'-0"

1



**KEY LOCATION**  
1/8"=1'-0"

MATERIAL KEYNOTES	
	METAL ROOF
	GLASS PANEL
	STUCCO FINISH
	CONCRETE



**2. PROPOSED SOUTH (RIGHT) ELEVATION**  
1/4"=1'-0"

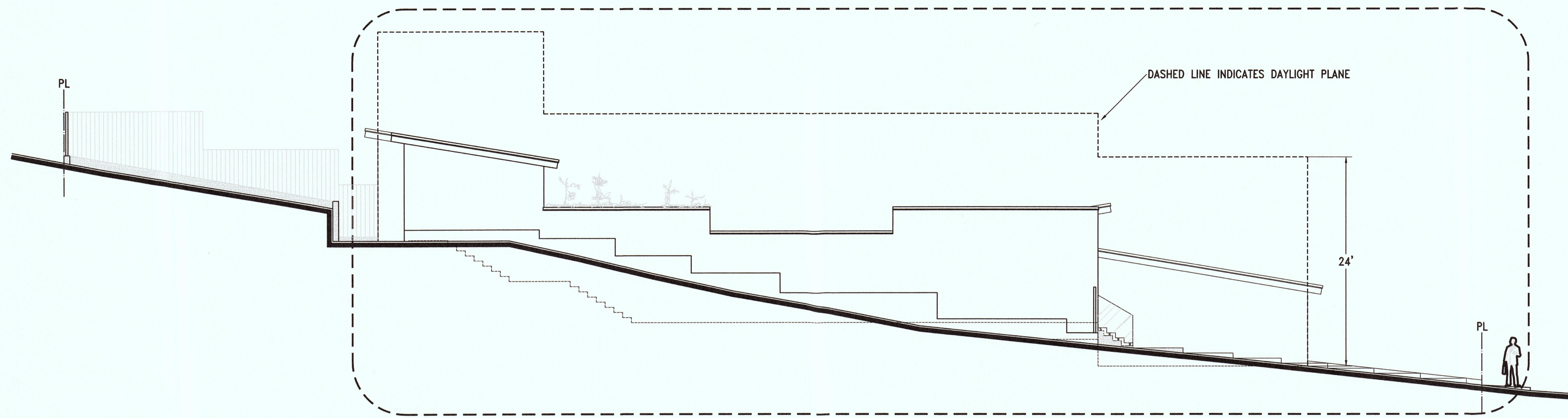


**AZ DESIGN AND ENGINEERING, INC.**  
400 OYSTER POINT BLVD, SUITE 438, SOUTH SAN FRANCISCO, CA 94080  
Ph: (650) 553-4031 / FAX: (650) 553-4044 / azdesign@azdesignandengineering.com  
APN: 036152340, MONTARA, CALIFORNIA 94037  
**NEW SINGLE DWELLING UNIT**  
**OWNER: YUMI SON**

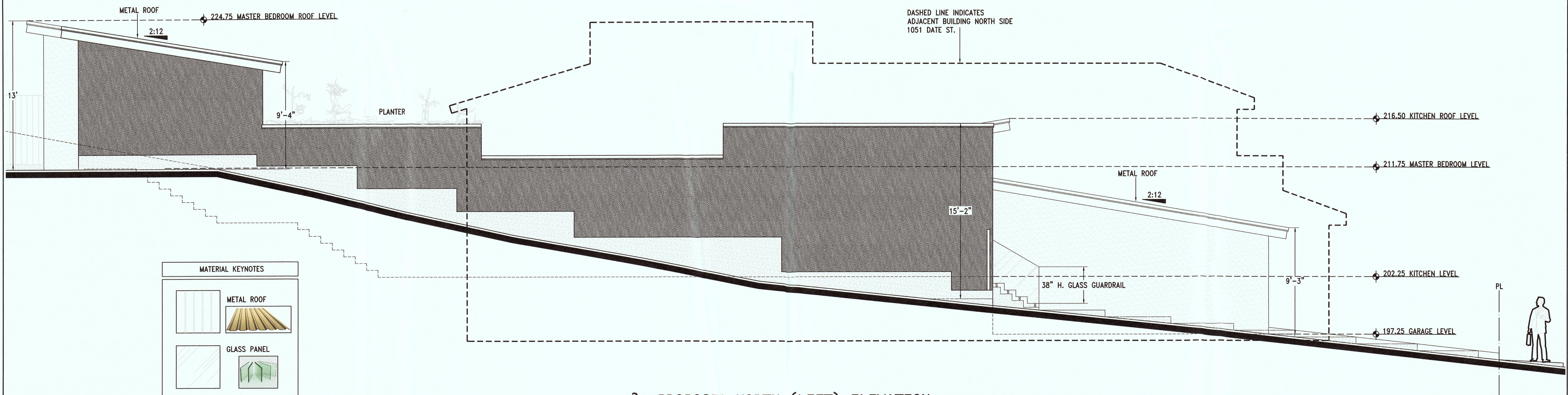


REVISION / DATE	
1. DESIGN REVIEW	07/21/2016

**A-4.1**



**KEY LOCATION**  
1/8"=1'-0"

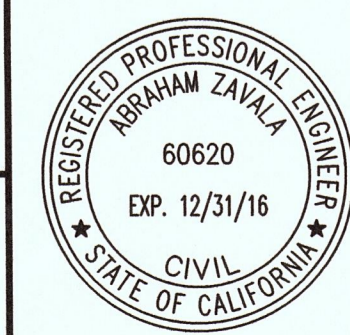


**3. PROPOSED NORTH (LEFT) ELEVATION**  
1/4"=1'-0"

MATERIAL KEYNOTES	
	METAL ROOF
	GLASS PANEL
	STUCCO FINISH
	CONCRETE



**AZ DESIGN AND ENGINEERING, INC.**  
 400 OYSTER POINT BLVD, SUITE 438, SOUTH SAN FRANCISCO, CA 94080  
 Ph: (650) 553-4031 / FAX: (650) 553-4044 / azdesign@azdesignandengineering.com  
 APN: 036152340, MONTARA, CALIFORNIA 94037  
**NEW SINGLE DWELLING UNIT**  
**OWNER: YUMI SON**

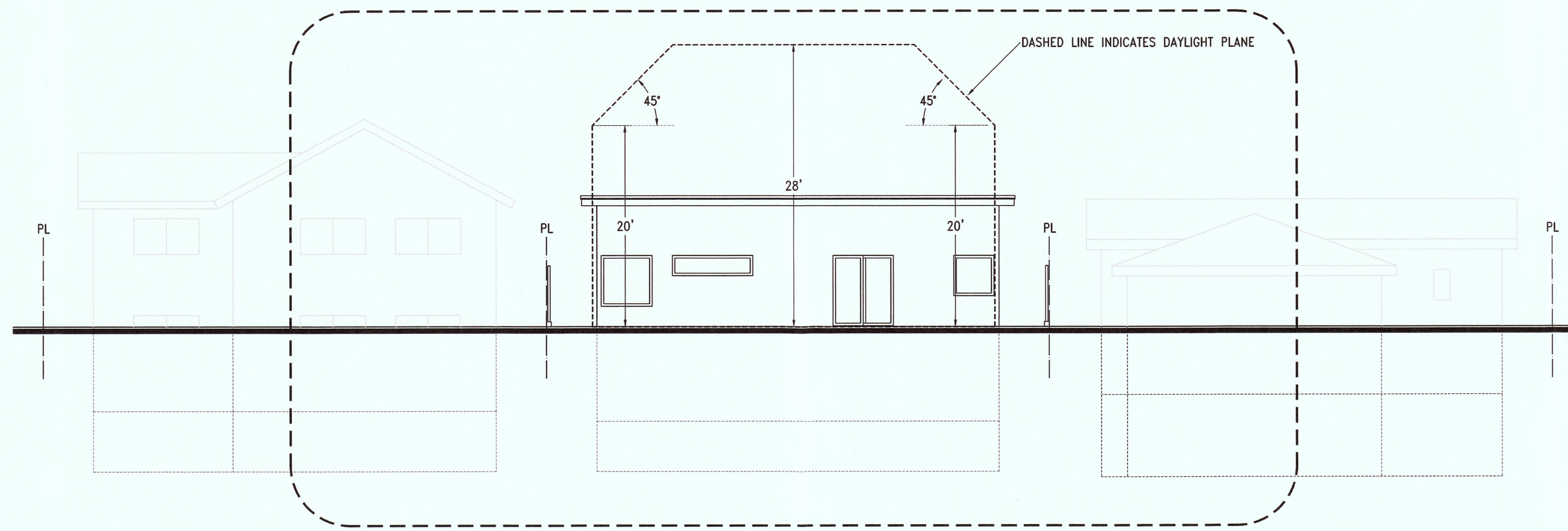


REVISION/DATE	
1. DESIGN REVIEW	07/21/2016

**A-4.2**

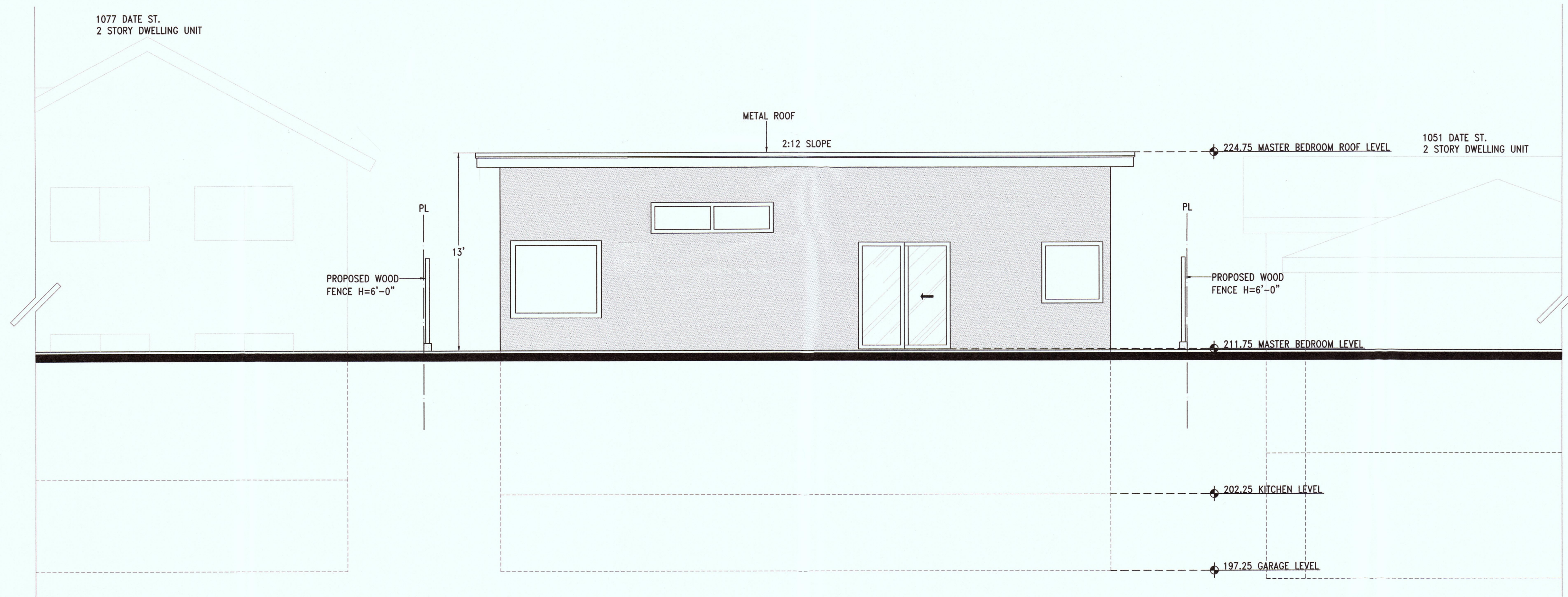
SCALE: AS SHOWN	DRAWN / REVIEWED: RD / AZ
DATE: JAN/2016	JOB No: AM999





**KEY LOCATION**  
1/8"=1'-0"

MATERIAL KEYNOTES	
	METAL ROOF
	GLASS PANEL
	STUCCO FINISH
	CONCRETE



LOCATION NO:	01
DRAWN BY:	BN
CHECKED BY:	BN

REV	DATE	DESCRIPTION
08/27/2016		PLAN CHECK COMMENTS

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SITE ID: SINGLE FAMILY HOUSE  
APN: 036152340  
Montara, CA 94037

SHEET TITLE  
SECTION B-B

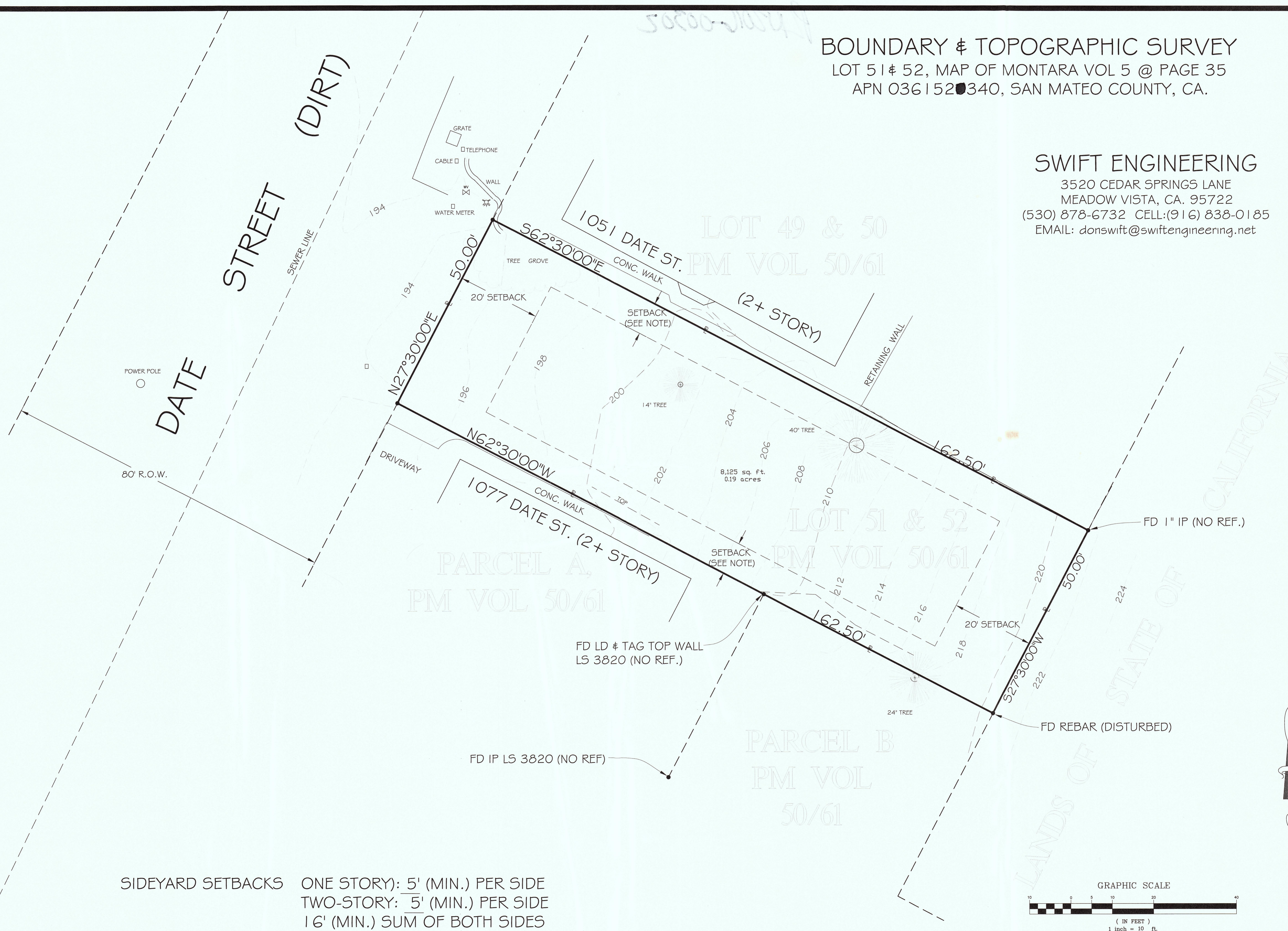
SHEET NUMBER  
**A-4.3**

BOUNDARY & TOPOGRAPHIC SURVEY

LOT 51 & 52, MAP OF MONTARA VOL 5 @ PAGE 35

APN 0361520340, SAN MATEO COUNTY, CA.

SWIFT ENGINEERING  
3520 CEDAR SPRINGS LANE  
MEADOW VISTA, CA. 95722  
(530) 878-6732 CELL:(916) 838-0185  
EMAIL: donswift@swiftengineering.net



SIDEYARD SETBACKS ONE STORY: 5' (MIN.) PER SIDE  
TWO-STORY: 5' (MIN.) PER SIDE  
16' (MIN.) SUM OF BOTH SIDES

