

February 15, 2017

Serhiy Kybych
7929 Diamond Rock Drive
Antelope, CA 95843

Dear Mr. Kybych:

SUBJECT: Coastside Design Review
Magellan Avenue, Miramar
APN 048-013-600; County File No. PLN 2016-00280

At its meetings of January 12, 2017 and February 9, 2017, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for a design review recommendation to allow construction of a three-story, 3,739 sq. ft. single-family residence, including a 400 sq. ft. attached garage on an undeveloped, 7,792 sq. ft. legal parcel (Parcel legality confirmed by Certificate of Compliance PLN 2013-00229). No trees would be removed and only minor grading is proposed. The project is part of a Staff-Level Coastal Development Permit (CDP). The CDP is not appealable to the California Coastal Commission.

At its meeting of February 9, 2017, based on the plans, application forms, and accompanying materials submitted, the Coastside Design Review Committee recommended approval of your project, based on and subject to the following findings and recommended conditions:

FINDINGS

The Coastside Design Review Officer found that:

1. For the Environmental Review

This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA), Section 15303, Class 3(a), relating to the construction of one single-family residence in a residential zone.

The Coastside Design Review Committee found that:

2. For the Design Review

The project, as proposed and conditioned, has been reviewed under and found to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:



- a. Section 6565.20 (C) VIEWS: The design of the building was placed and lowered in height to protect views from neighboring homes.
- b. Section 6565.20 (D) ARCHITECTURAL STYLES AND FEATURES: The proposed house incorporates design and form that complements the other homes in the neighborhood, taking in the eclectic style of Miramar.
 - (1) Section 6565.20 (2.b) OPENINGS: Proposed doors and window contribute to the architectural style of the house.
 - (2) Section 6565.20 (4) EXTERIOR MATERIALS AND COLOR: The colors chosen are non-reflective and highlight the architecture of the building.

RECOMMENDED CONDITIONS

Current Planning Section

1. The project shall be constructed in compliance with the plans once approved and reviewed by the Coastside Design Review Committee on February 9, 2017. Any changes or revisions to the approved plans shall be submitted to the Design Review Officer for review and approval prior to implementation. Minor adjustments to the project may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Design Review Officer may refer consideration of the revisions to the Coastside Design Review Committee, with applicable fees to be paid.
2. The applicant shall demonstrate compliance with the following requirements on plans submitted for a building permit, as stipulated by the Coastside Design Review Committee:
 - a. Lower plate height to 8 feet on the garage level.
 - b. Lower plate height to 9 feet on 2nd floor.
 - c. Change railing to frameless glass window patio railing throughout.
 - d. Include a 24" box tree on Magellan Street side right hand corner. Suggested tree species include Canary Island Palm, Monterey Cypress, or Metrosideros Excelsior.
 - e. Remove all turf from back and side yards; consider Ceanothus for those areas.
 - f. Install a 3-ft. concrete walk up to the foundation on the east side.

- g. Suggestion (Not Required): Consider installing a CMU block stucco fence with no cap in lieu of wood fence along front and side of property.
3. The applicant shall provide "finished floor elevation verification" to certify that the structure is actually constructed at the height shown on the submitted plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point in the vicinity of the construction site.
- a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
 - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
 - c. Prior to Planning approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
 - d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
 - e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
 - f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
4. Projects subject to Provision C.3.i (individual single-family home projects that create and/or replace 2,500 square feet or more of impervious surface, and other projects that create and/or replace at least 2,500 square feet of impervious surface but are not C.3

Regulated Projects) shall implement at least one of the six site design measures listed below:

- a. Direct roof runoff into cisterns or rain barrels and use rainwater for irrigation or other non-potable use.
 - b. Direct roof runoff onto vegetated areas.
 - c. Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas.
 - d. Direct runoff from driveways and/or uncovered parking lots onto vegetated areas.
 - e. Construct sidewalks, walkways, and/or patios with permeable surfaces.
 - f. Construct bike lanes, driveways, and/or uncovered parking lots with permeable surfaces.
5. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including, but not limited to, the following:
- a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
 - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - c. Performing clearing and earth-moving activities only during dry weather.
 - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
 - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.

- g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
 - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
 - j. Limiting construction access routes and stabilization of designated access points.
 - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
 - m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
 - n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
6. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
7. All new power and telephone utility lines from the street or nearest existing utility pole to the main dwelling and/or any other structure on the property shall be placed underground.
8. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Department of Public Works, and the Coastside Fire Protection District.
9. No site disturbance shall occur, including any grading, until a building permit has been issued.

10. To reduce the impact of construction activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
 - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on Magellan Avenue. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Magellan Avenue. There shall be no storage of construction vehicles in the public right-of-way.
11. The exterior color samples submitted to the CDRC are approved. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.
12. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo Ordinance Code Section 4.88.360).
13. Installation of the approved landscape plan is required prior to final inspection.
14. At the building permit application stage, the project shall demonstrate compliance with the Water Efficient Landscape Ordinance (WELO) and provide the required forms. WELO applies to new landscape projects equal to or greater than 500 sq. ft. A prescriptive checklist is available as a compliance option for projects under 2,500 sq. ft. WELO also applies to rehabilitated landscape projects equal to or greater than 2,500 sq. ft. The following restrictions apply to projects using the prescriptive checklist:
 - a. Compost: The project must incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into the landscape area (unless contra-indicated by a soil test).
 - b. Plant Water Use (Residential): Install climate adapted plants that require occasional, little, or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water.

- c. Mulch: A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers.
- d. Turf: Total turf area shall not exceed 25% of the landscape area. Turf is not allowed in non-residential projects. Turf (if utilized) is limited to slopes not exceeding 25% and is not used in parkways less than 10 feet in width. Turf, if utilized in parkways, is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff.
- e. Irrigation System: The property shall certify that Irrigation controllers use evapotranspiration or soil moisture data and utilize a rain sensor; Irrigation controller programming data will not be lost due to an interruption in the primary power source; and Areas less than 10 feet in any direction utilize sub-surface irrigation or other technology that prevents overspray or runoff.

Granada Community Services District (GCSD)

- 15. The GCSD Board approved a variance for a 3,739 sq. ft. SFD on APN 048-013-600 for Mr. Kybych on January 21, 2016. The applicant shall obtain a sewer permit, which they may apply for upon receiving Planning Department approval.

Coastside County Water District (CCWD)

- 16. The project will be required to comply with Coastside County Water District's Indoor Water Use Efficiency Ordinance which includes regulations on water metering and water use efficiency specifications for plumbing fixtures and appliances. CCWD staff performs inspections to verify compliance with all district regulations during and after construction.
- 17. Please note that Coastside County Water District does not allow passive purge systems to be installed on fire protection services. Fire protection services are authorized for the sole purpose of fire protection. There shall be no cross connections, and approved backflow protection is required.
- 18. Before issuance of a building permit, the District will need to evaluate a complete set of building plans to determine if the water service capacity available is adequate for this development and complies with all District regulations.

Department of Public Works

19. Prior to the issuance of the building permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Department of Public Works for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works for review and approval.
20. Prior to the issuance of the building permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access from the nearest "publicly" maintained roadway to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20%) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
21. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. The applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
22. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No. 3277.

Coastside Fire Protection District

23. Smoke Detectors which are hard wired: As per the California Building Code, State Fire Marshal regulations, and Coastside Fire District Ordinance 2013-03, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are **hard wired, interconnected, and have battery backup**. These detectors are required to be placed in each new and recondition sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum

of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final.

24. Add note to plans: Smoke alarms / detectors are to be hardwired, interconnected, or with battery back-up. Smoke alarms are to be installed per manufacturer's instruction and NFPA 72.
25. Add note: Escape or rescue windows shall have a minimum net clear openable area of 5.7 sq. ft., 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor.
26. Identify rescue windows in each bedroom and verify that they meet all requirements. Add this to plans.
27. Occupancy Separation: As per the 2010 CBC, Section 406.1.4, a one-hour occupancy separation wall shall be installed with a solid core, 20-minute fire rated, self-closing door assembly with smoke gasket between the garage and the residence. All electrical boxes installed in rated walls shall be metal or protected.
28. New attached garage to meet occupancy separation requirements. Provide note / detail. CRC R302.5 / R302.6.
29. Add the following note to the plans: New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway / roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire District. This remote signage shall consist of a 6 inch by 18 inch green reflective metal sign with 3 inch reflective numbers / letters similar to Hy-Ko 911 or equivalent.
30. Roof Covering: As per Coastside Fire District Ordinance 2013-03, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
31. Vegetation Management: The Coastside Fire District Ordinance 2013-03, the 2013 California Fire Code, and the Public Resources Code 4291:
 - a. A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet

- or to the property line. In SRA (State Responsible Area), the fuel break is 100 feet or to the property line.
- b. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 to 10 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.
 - c. Remove that portion of any existing tree, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure.
32. Fire Hydrant: As per 2013 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 250 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2013 CFC, Appendix B, the hydrant must produce a minimum fire flow of 1,000 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.
 33. Automatic Fire Sprinkler System: As per San Mateo County Building Standards and Coastside Fire District Ordinance Number 2013-03, the applicant is required to install an automatic fire sprinkler system **throughout** the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. All areas that are accessible for storage purposes shall be equipped with fire sprinklers including closets and bathroom. The only exception are small linen closets less than 24 square feet with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Department or the City of Half Moon Bay. A building permit **will not** be issued until plans are received, reviewed, and approved. Upon submission of the plans, the County or City will forward a complete set to the Coastside Fire District for review. The fee schedule for automatic fire sprinkler systems shall be in accordance with Half Moon Bay Ordinance No. 2006-01. Fees shall be paid prior to plan review.
 34. Installation of underground sprinkler pipe shall be flushed and visually inspected by the Fire District prior to hook-up to riser. Any soldered fittings must be pressure tested with trench open.
 35. Exterior Bell and Interior Horn / Strobe: Are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn / strobe and flow switch, along with the garage door opener, are to be wired into a separate circuit breaker at the main electrical panel and labeled.
 36. Add note to the title page that the building will be protected by an automatic fire sprinkler system.

37. All fire conditions and requirements must be incorporated into your building plans (see attached conditions) prior to building permit issuance. It is your responsibility to notify your contractor, architect, and engineer of these requirements.

Please note that the decision of the Coastside Design Review Committee is a recommendation regarding the project's compliance with design review standards, not the final decision on this project, which requires a staff-level Coastal Development Permit. The decision on the staff-level Coastal Development Permit will take place at a later date. For more information and/or if you have any questions, please contact Camille Leung, Senior Planner, at 650/363-1826.

To provide feedback, please visit the Department's Customer Survey at the following link:
<http://planning.smcgov.org/survey>.

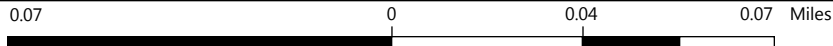
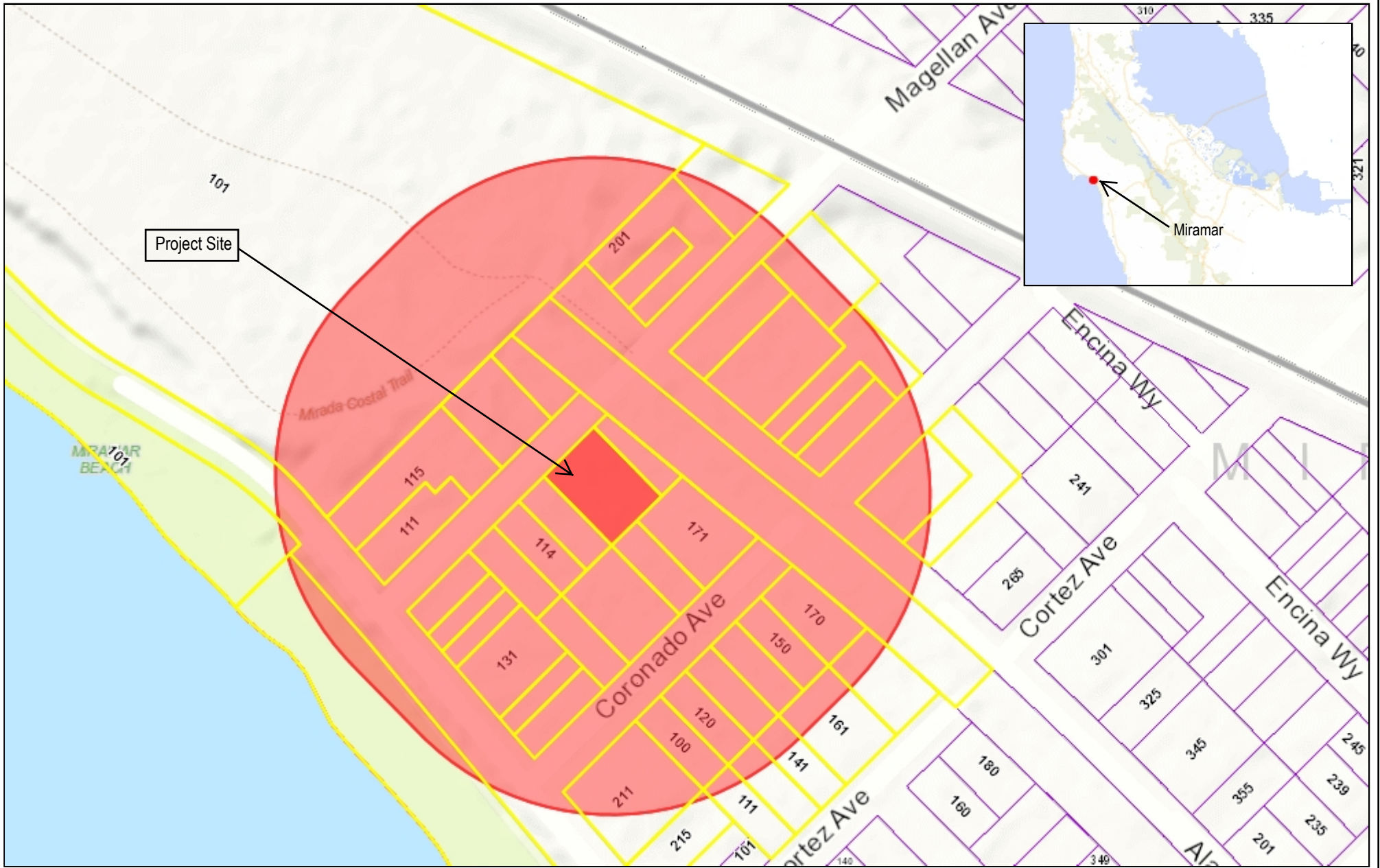
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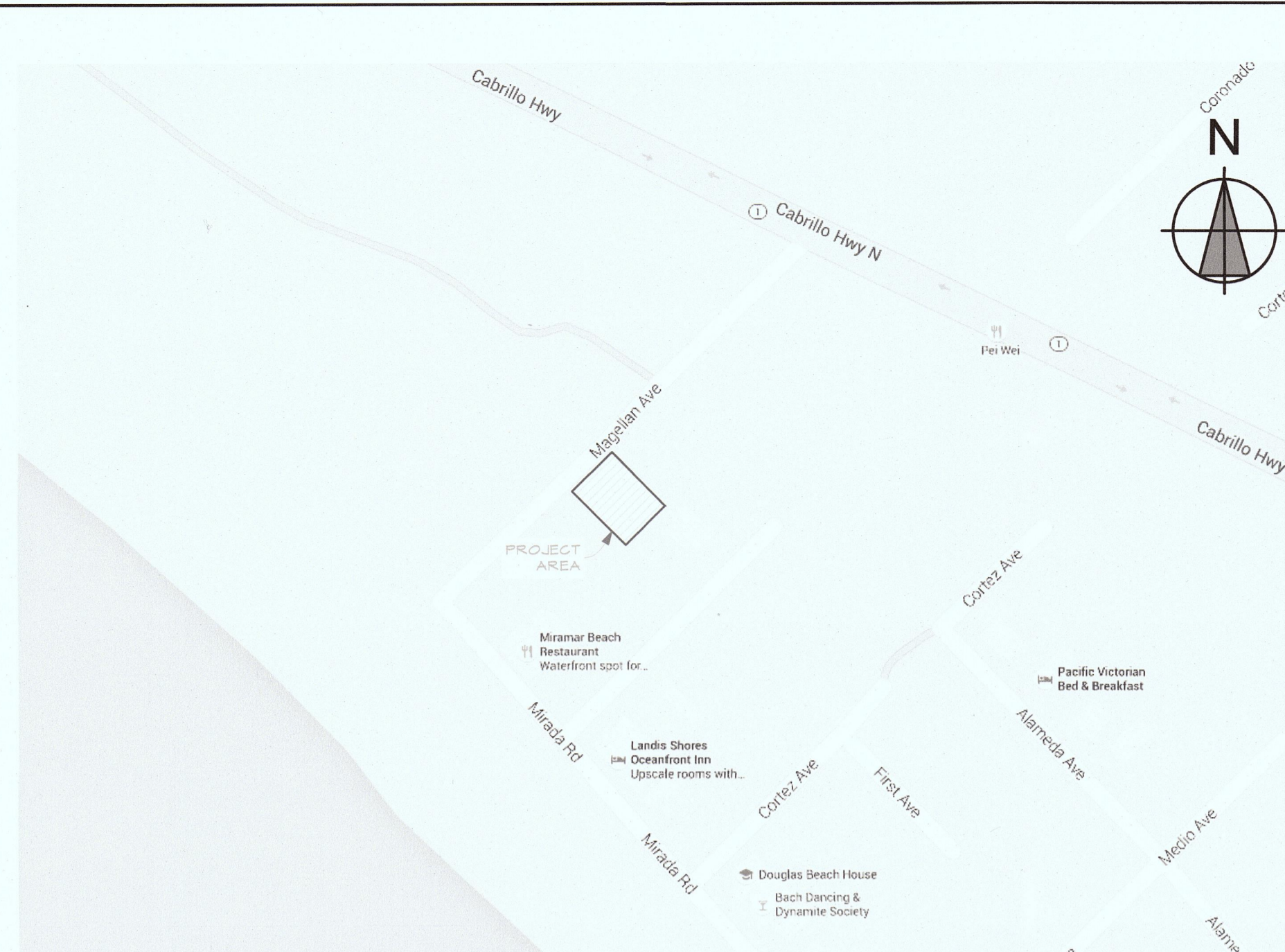


Dennis P. Aguirre, Design Review Officer

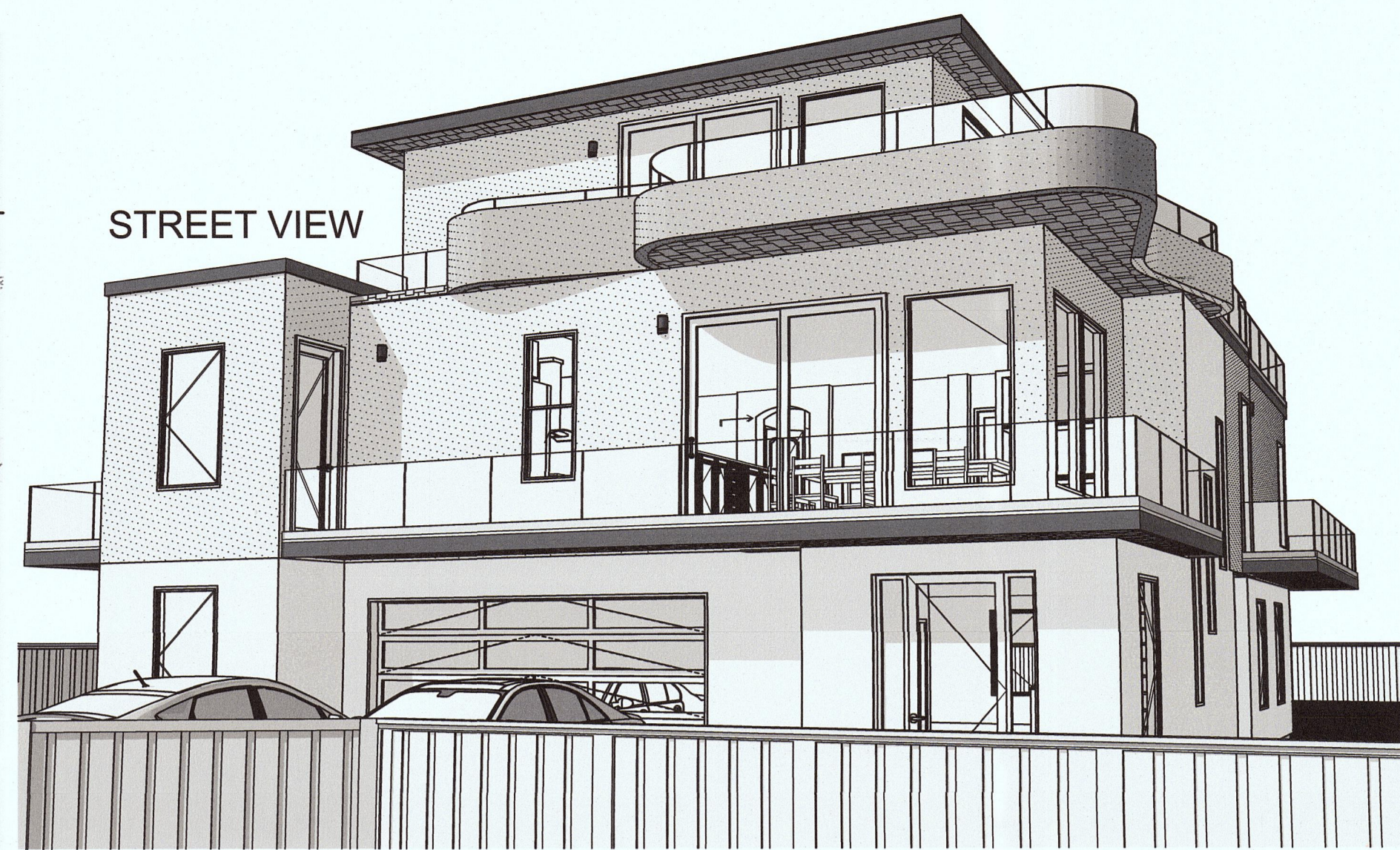
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cc: Stuart Grunow, Member Architect
Dianne Whitaker, Member Architect
Linda Montalto Patterson, Interested Member of the Public
Paul McGregor, Interested Member of the Public
Ron Bongard, Interested Member of the Public
Tom Carey, Interested Member of the Public





MAP
NOT TO SCALE



AREA CALCULATIONS	
DWELLING REQUIRED	3,740 SQFT (48% MAX)
DWELLING PROPOSED	3,739 SQFT (47.98%)
UPPER LEVEL	1,128 SQFT
MAIN LEVEL	2,211 SQFT
GARAGE	400 SQFT
STORAGE	1,743 SQFT
DECKING TOTAL	1,148 SQFT
MAIN LEVEL AT DINING	176 SQFT
MAIN LEVEL AT ENTRY	308 SQFT
UPPER LEVEL	664 SQFT
SITE	7,742 SQFT
TOTAL FOOTPRINT	2,323 SQFT (29.81%)

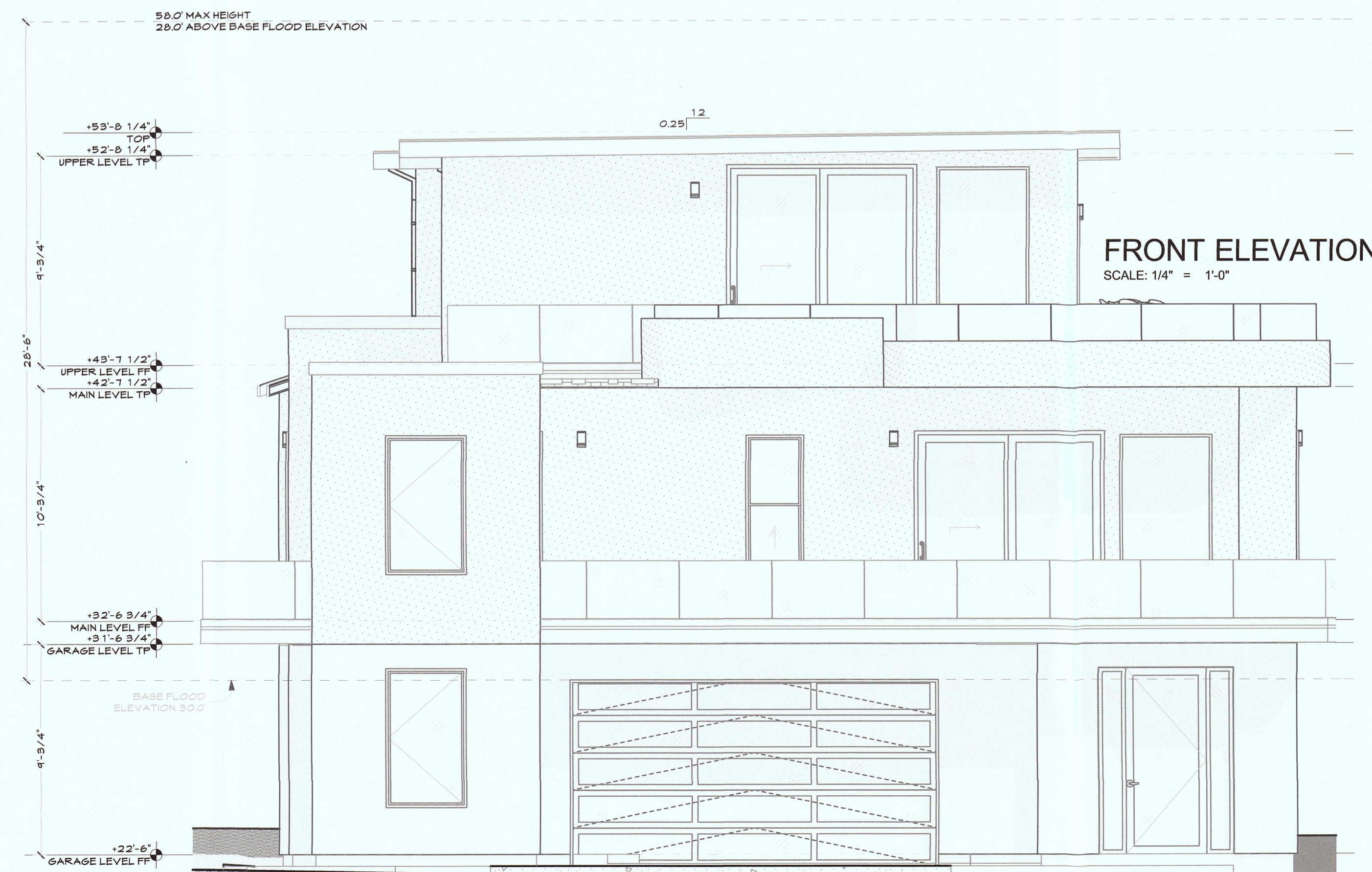
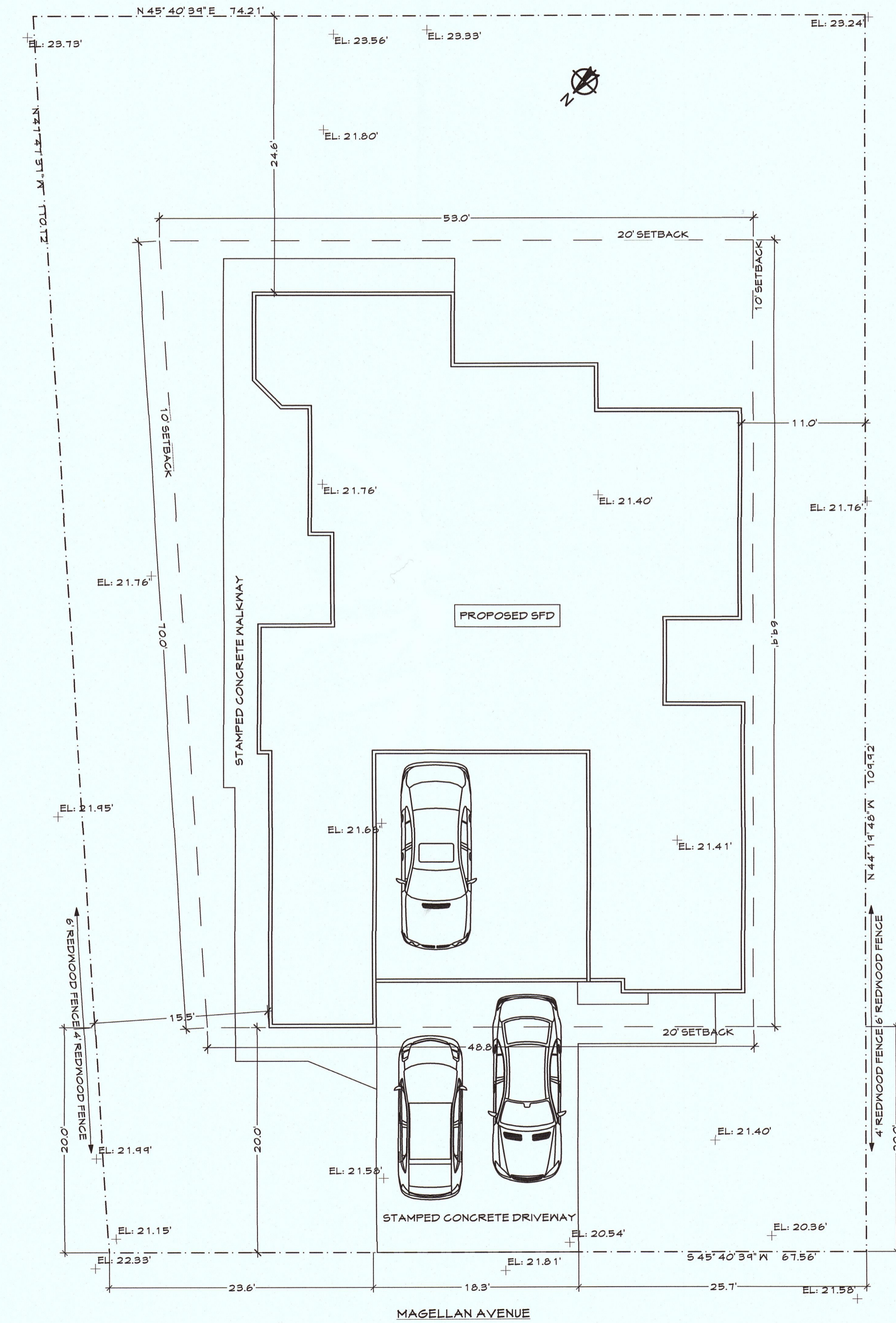
COMPLIANCE CODES (AS AMENDED BY STATE OF CALIFORNIA AND LOCAL JURISDICTION):
 2013 CALIFORNIA BUILDING CODE
 2013 CALIFORNIA RESIDENTIAL CODE
 2013 CALIFORNIA ELECTRICAL CODE
 2013 CALIFORNIA MECHANICAL CODE
 2013 CALIFORNIA PLUMBING CODE
 2013 CALIFORNIA ELECTRICAL CODE
 2013 CALIFORNIA ENERGY CODE
 PARCEL NO.: 048-013-600
 OCCUPANCY GROUP: U, R-3
 FIRE SPRINKLERS: YES
 OWNER: SERHIY KYBYCH
 7424 DIAMOND ROCK DR.
 ANTELOPE, CA 95843
 SCOPE OF WORK: NEW, SINGLE FAMILY RESIDENCE

MAGELLAN AVE
 HALF MOON BAY, CA 94019
 NEW SFD

IMPERVIOUS SURFACE	
LOWER LEVEL	2,323 SQFT
DRIVEMAY	360 SQFT
WALKWAY TO ENTRY	93 SQFT
WALKWAY TO SIDE DOOR	238 SQFT
TOTAL IMPERVIOUS AREA	2,954 SQFT (37.81%)

SHEET INDEX	
SHEET	TITLE
A1	COVER SHEET, SITE PLAN
A2.1	GARAGE LEVEL FLOOR PLAN
A2.2	MAIN & UPPER LEVEL FLOOR PLANS
A3	EXTERIOR ELEVATIONS
A4	BUILDING SECTIONS
L1	LANDSCAPING

TOPO	BOUNDARY & TOPOGRAPHY MAP
C1	DRAINAGE PLAN
C2	EROSION CONTROL PLAN



#	DATE	BY

MAGELLAN AVE
 HALF MOON BAY, CA 94019

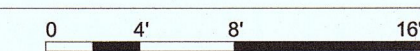
APN: 048-013-600
 OWNER: SERHIY KYBYCH
 7424 DIAMOND ROCK DR.
 ANTELOPE, CA 95843
 (S 18) 214-5481
 SHEET TITLE: SITE PLAN

DESIGNER: ALEX MARTYNOVSKIY
 NAME: ALEX MARTYNOVSKIY
 SIGNATURE: _____ DATE: _____
 PROJECT #: 15030
 DATE: 04/05/2015
 DRAWN BY: AM
 SCALE: AS SHOWN

A1

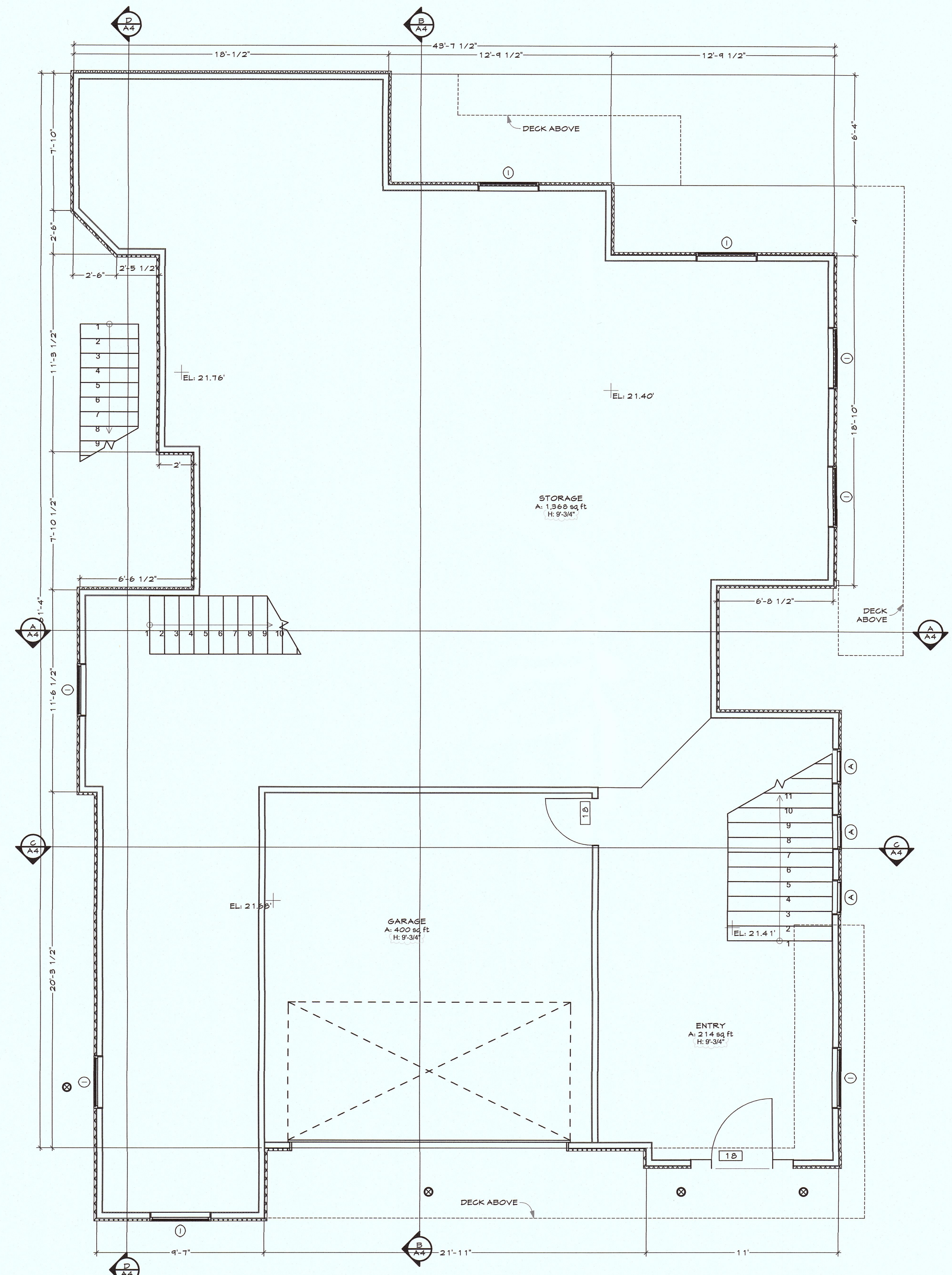
1 SITE PLAN
 A1 SCALE: 1/8" = 1'-0"

RECEIVED
 FEB 23 2017
 San Mateo County
 Planning and Building Department

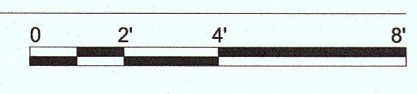


DOOR SCHEDULE					
ID	QTY	DOOR		OP. TYPE	NOTES
		W	HT		
1	1	2'	8'	SWING	SOLID
2	1	2'-2"	8'	SWING	
3	4	2'-4"	6'-8"	SWING	SOLID
4	6	2'-4"	8'	SWING	
5	2	2'-4"	8'	SWING	
6	2	2'-6"	8'	SWING	
7	3	2'-6"	6'-8"	SWING	SOLID
8	1	2'-8"	8'	SWING	
9	1	2'-8"	8'	SWING	FRENCH DOOR
10	1	8'	8'-6"	SLIDING	GLASS DOOR
11	1	2'-8"	8'	SWING	
12	1	3'-6"	8'	SWING	DECORATIVE ENTRY
13	1	3'	8'	SWING	DECORATIVE ENTRY
14	1	4'	6'-8"	BIFOLD	LAUNDRY
15	3	5'	6'-8"	SLIDING	GLOSET DOOR
16	1	5'	8'	SLIDING	GLASS DOOR
17	2	8'	8'	SLIDING	GLASS DOOR
18	1	6'	8'	SLIDING	GLASS DOOR
19	1	8'	6'-8"	SLIDING	GLASS DOOR
20	2	6'	6'-8"	SLIDING	GLASS DOOR

WINDOW SCHEDULE				
ID	QTY	SIZE		OPERATION TYPE
		WIDTH	HEIGHT	
B	2	2'	6'	CASEMENT
C	1	2'	6'	FIXED
E	1	2'	4'	CASEMENT
D	2	2'	5'-6"	FIXED
A	3	2'	7'	FIXED
F	1	2'-6"	6'	SINGLE HUNG
H	4	3'	5'	SINGLE HUNG
G	2	3'	6'-6"	FIXED
I	2	3'	5'	SINGLE HUNG
I	7	3'-6"	6'	CASEMENT
J	3	4'	7'	FIXED
J	1	4'	6'-6"	FIXED
K	1	10'	8'-6"	HORIZONTAL SLIDING



2 GARAGE LEVEL | FLOOR PLAN
SCALE: 1/4" = 1'-0"



Alex Martynovskiy
10100 Countryside Way
Sacramento, USA 95827
ALEX.MARTYNOVSKIY@GMAIL.COM

#	DATE	BY

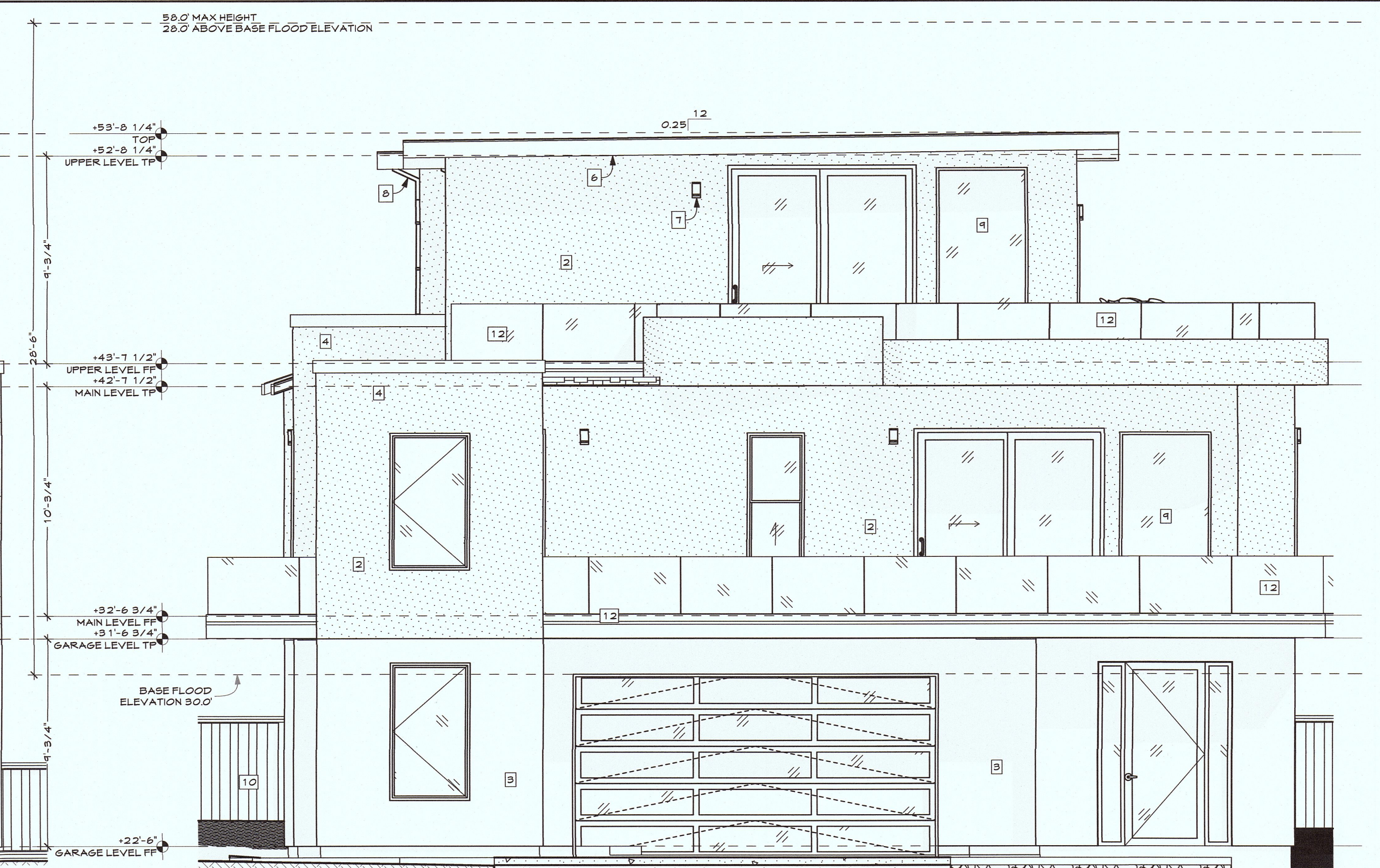
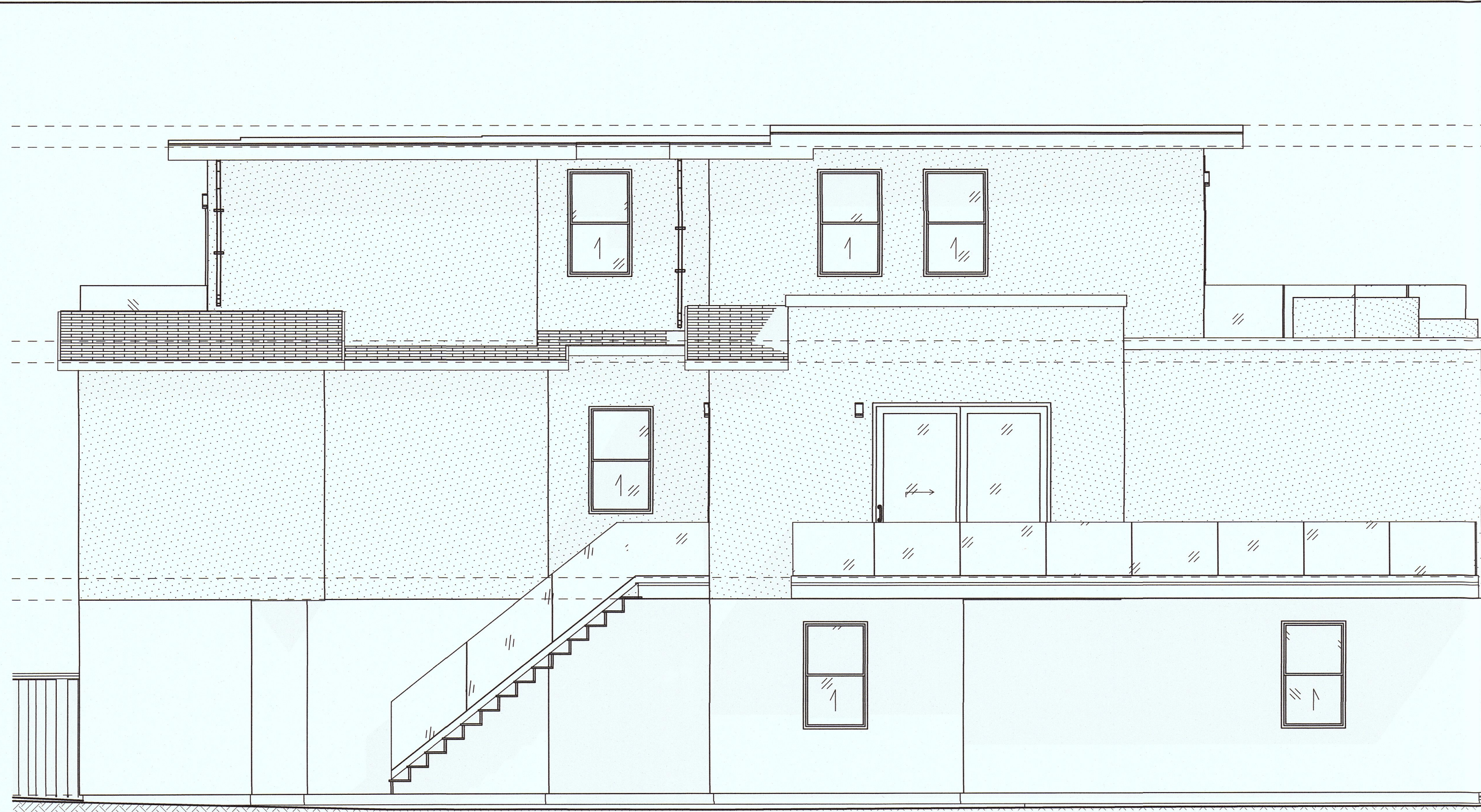
MAGELLAN AVE
HALF MOON BAY, CA 94019

APN: 048-013-600
OWNER: BERHIY KYBYCH
1424 DIAMOND ROCK DR.
ANTELOPE, USA 95843
SHEET TITLE: GARAGE LEVEL | FLOOR PLAN

DESIGNER:
ALEX MARTYNOVSKIY
NAME: _____
SIGNATURE: _____ DATE: _____

PROJECT #: 15030
DATE: 04/05/2015
DRAWN BY: AM
SCALE: AS SHOWN

A2.1



LEFT ELEVATION (NORTH-EAST)
SCALE: 1/4" = 1'-0"

FRONT ELEVATION (NORTH-WEST)
SCALE: 1/4" = 1'-0"

MATERIAL LEGEND	
1	30 YEAR MIN. DIMENSIONAL SHINGLES WITH HEAVY RIDGE CAPS.
2	ONE COAT STUCCO WALL
3	BREAKAWAY WALL IN FLOOD ZONE
4	PARAPET AT FLAT ROOF
6	PAINTED FASCIA BOARD
7	DECORATIVE DOWNWARD POINTING LIGHT FIXTURE
8	DOWNSPOUT
9	VINYL DUAL PANE LOW-E WINDOWS IN WHITE
10	6" REDWOOD FENCE
11	4" REDWOOD FENCE
12	FRAMELESS GLASS DECK RAILING

EARTH TONE FINISH COLORS TO BE SELECTED BY OWNER

EXTERIOR COLORS (BY BEHR)	
NAME	USAGE
SEASHELL GRAY N960-1	STUCCO WALL FINISH
ADIRONDACK BLUE N480-5	STUCCO TRIM, HANDRAIL & POST
YOGI S960-5	EXTERIOR PAINTED GELINGS
AMAZON BREEZE GR-103	DOOR/WINDOW FRAME

DATE	BY

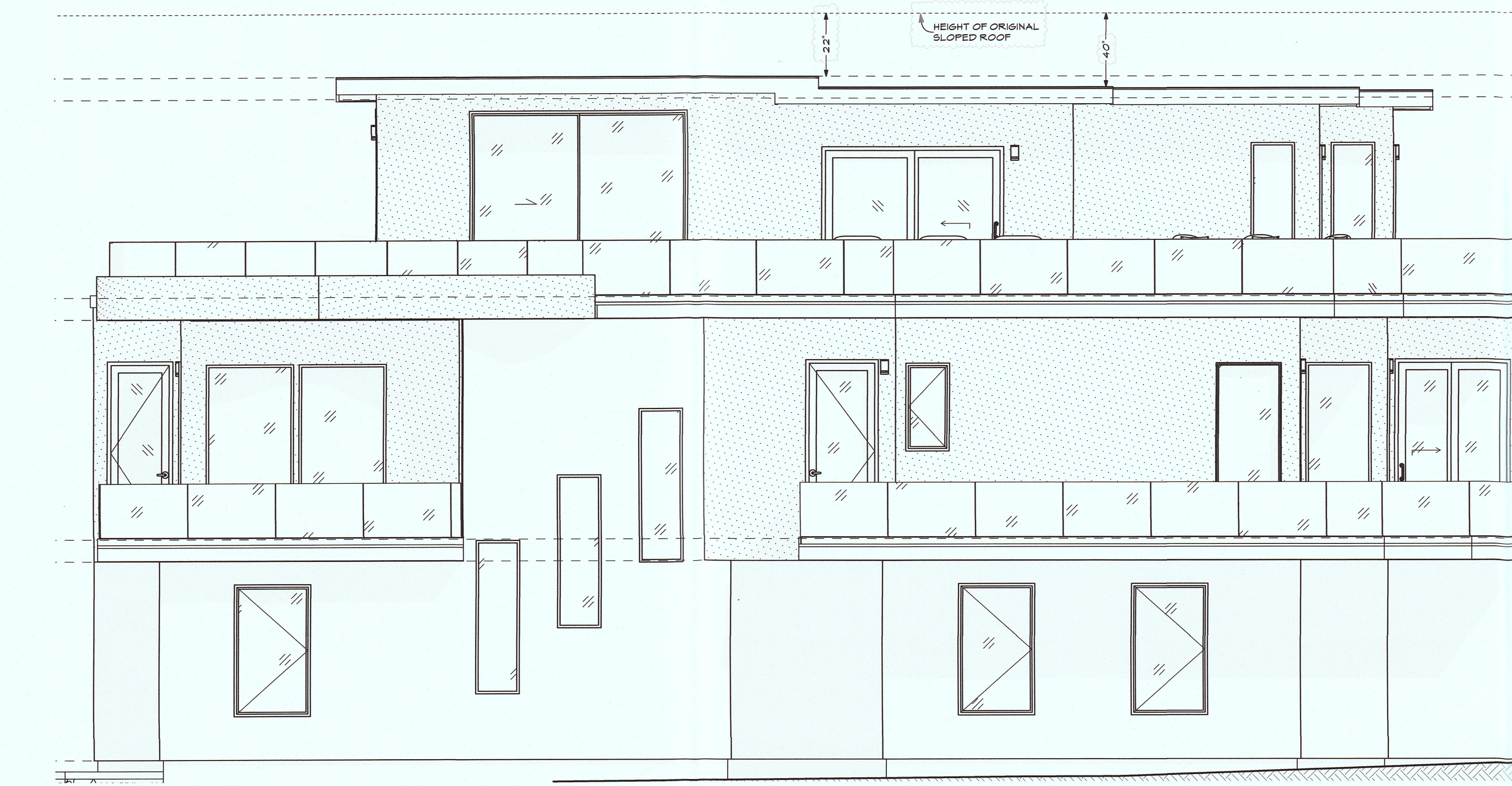
ALEX MARTYNOVSKIY
 10100 Countryside Way
 Sacramento, USA 95821
 ALEXMARTYNOVSKIY@GMAIL.COM

MAGELLAN AVE
 HALF MOON BAY, CA 94019

APN: 048-019-600
 OWNER: BERIY KYBYCH
 1121 DIAMOND ROCK DR.
 ANTELOPE, USA 95843
 (916) 314-5461
 SHEET TITLE: EXTERIOR ELEVATIONS

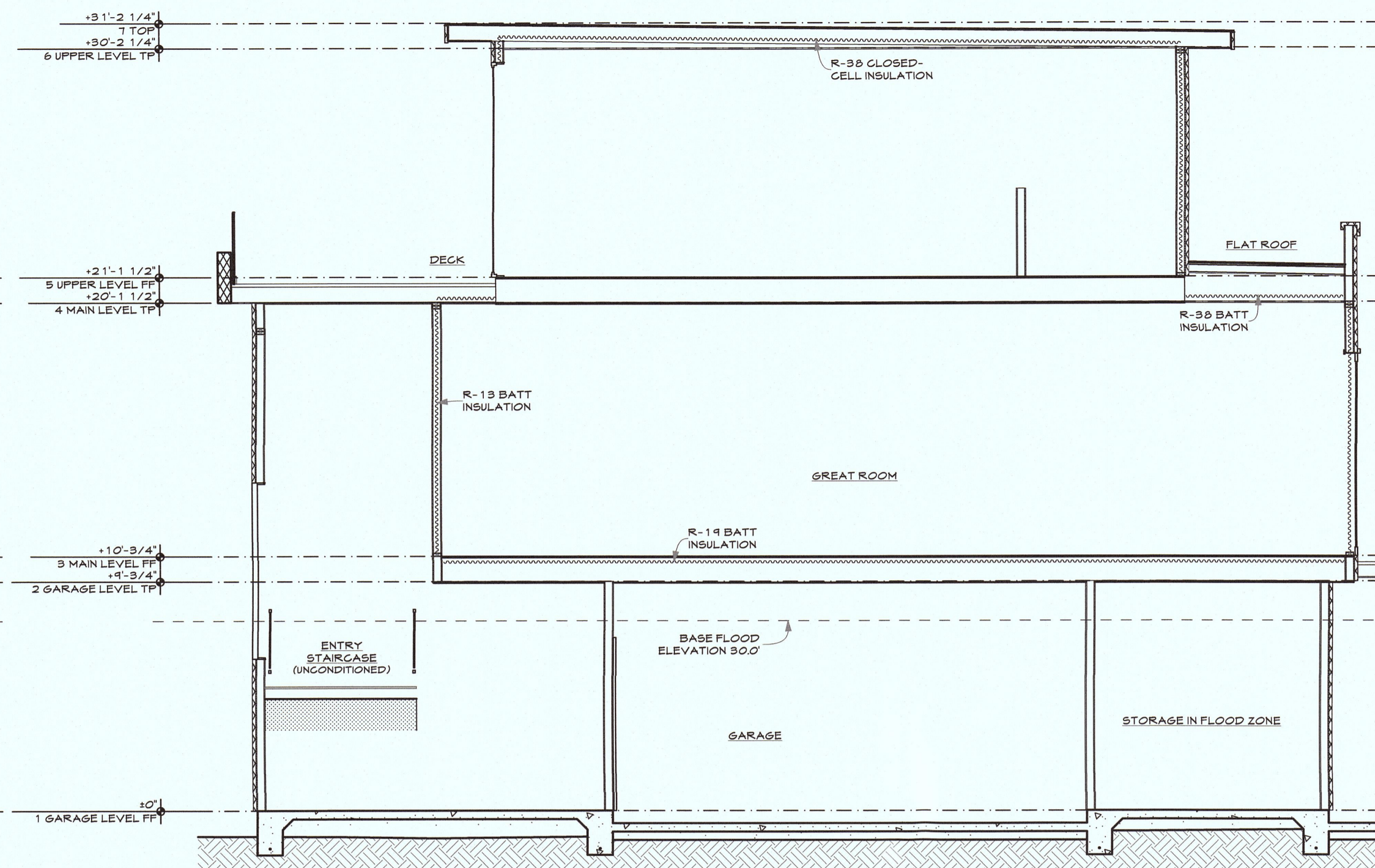
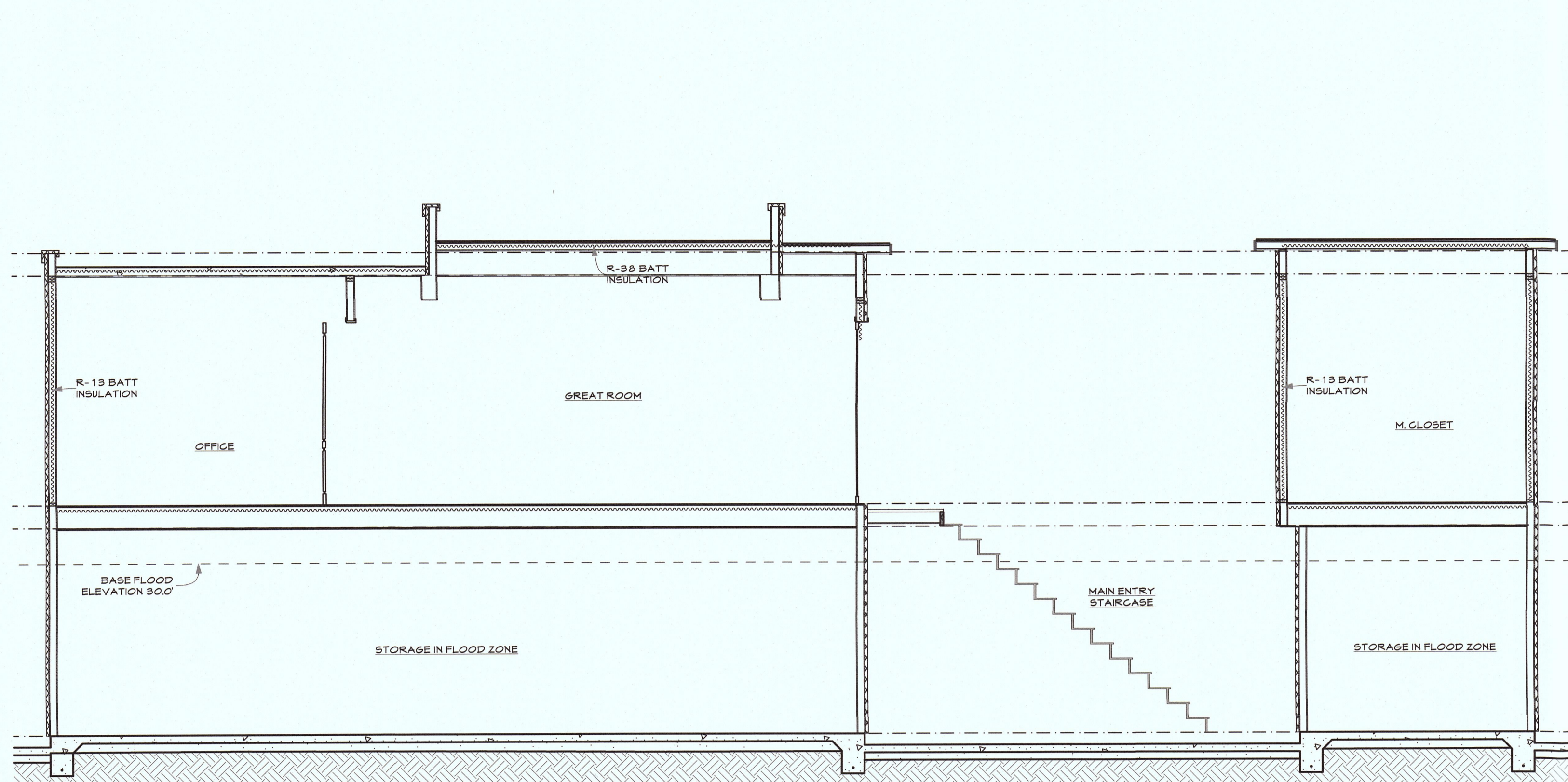
DESIGNER:
 ALEX MARTYNOVSKIY
 NAME: _____
 SIGNATURE: _____ DATE: _____
 PROJECT #: 15030
 DATE: 04/05/2015
 DRAWN BY: AM
 SCALE: AS SHOWN

A3



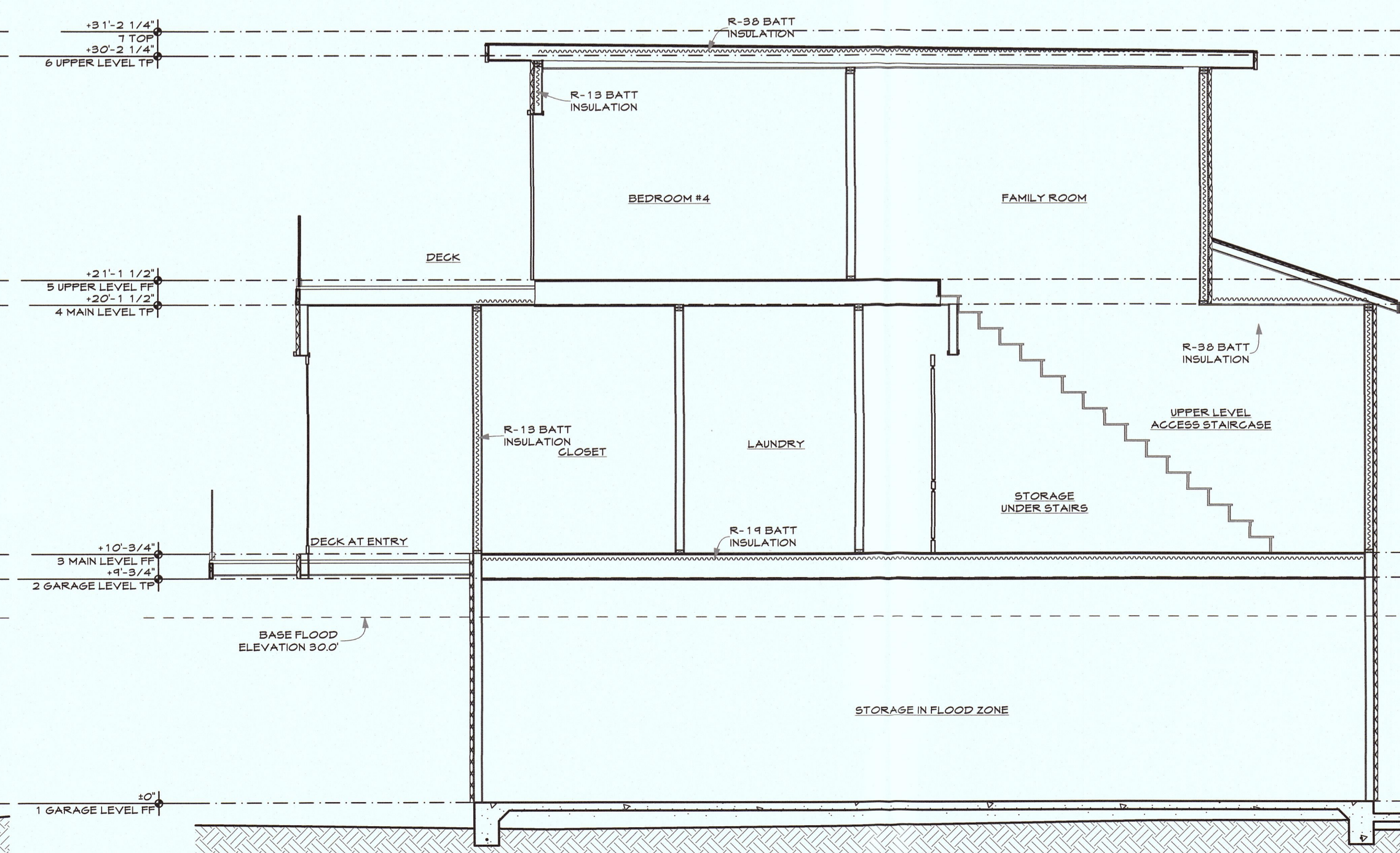
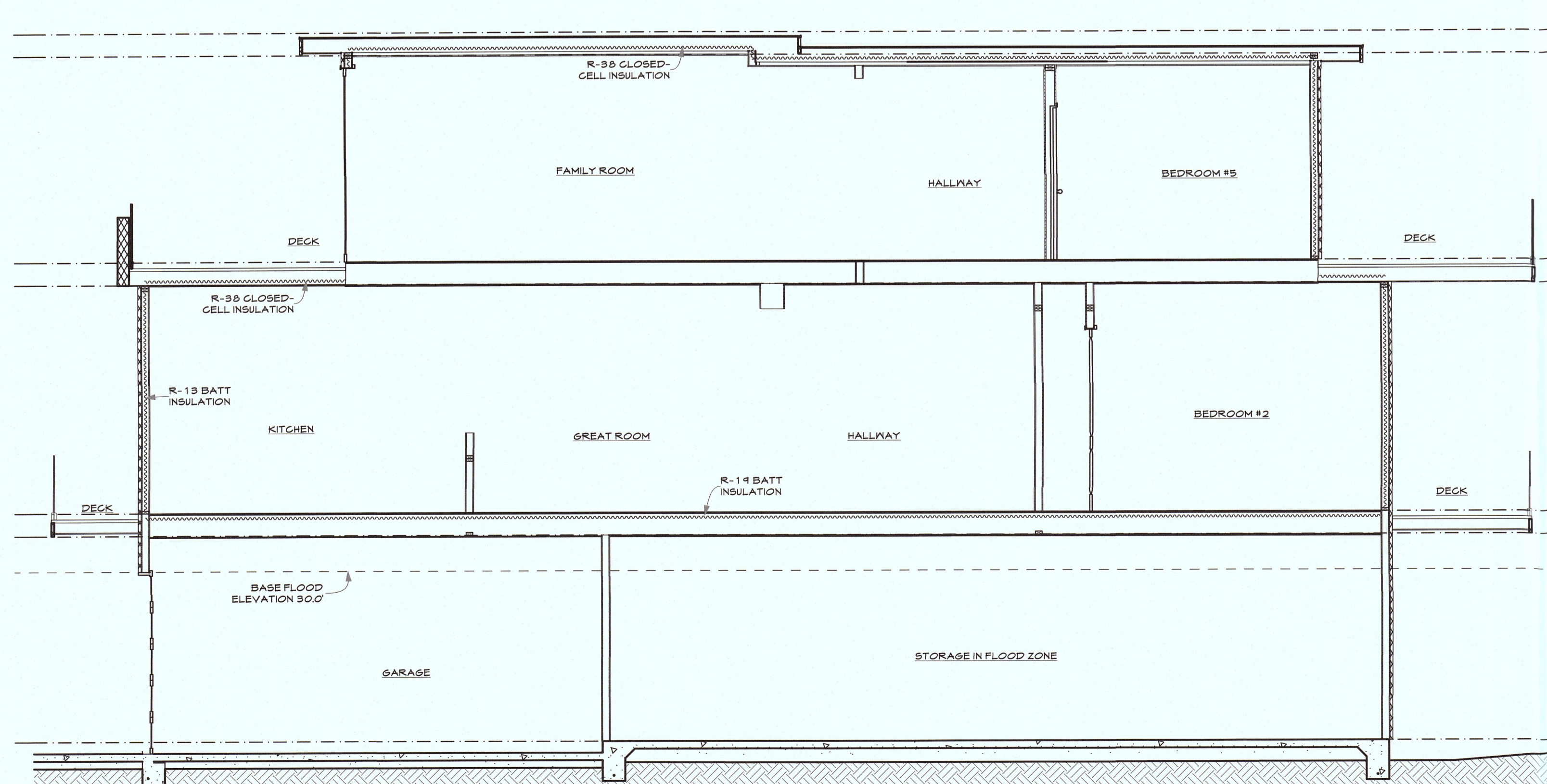
RIGHT ELEVATION (SOUTH-WEST)
SCALE: 1/4" = 1'-0"

REAR ELEVATION (SOUTH-EAST)
SCALE: 1/4" = 1'-0"



D BUILDING SECTION
SCALE: 1/4" = 1'-0"

C BUILDING SECTION
SCALE: 1/4" = 1'-0"



B BUILDING SECTION
SCALE: 1/4" = 1'-0"

A BUILDING SECTION
SCALE: 1/4" = 1'-0"

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#	DATE	BY

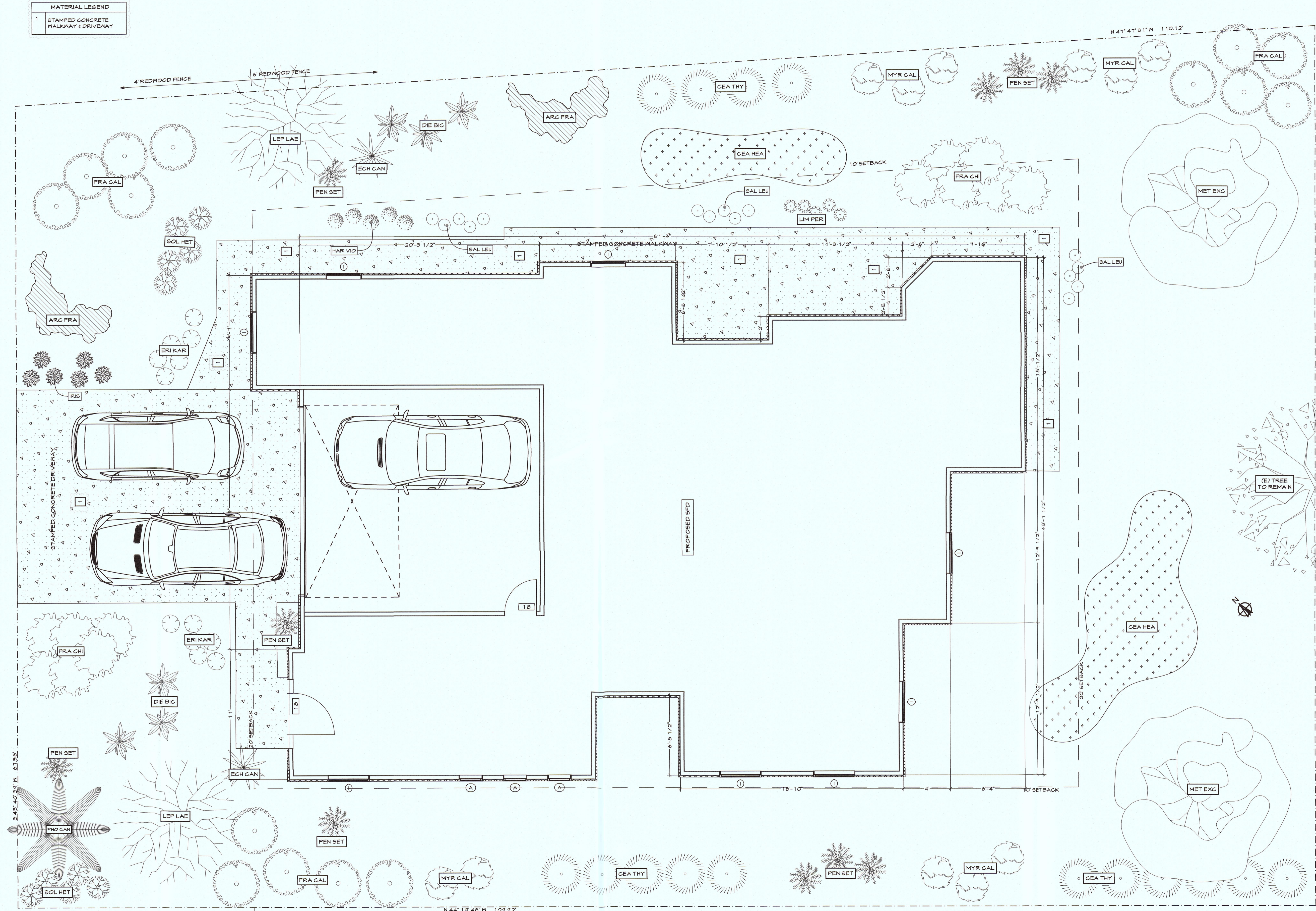
MAGELLAN AVE
HALF MOON BAY, CA 94019

APN: 048-019-600
OWNER: BERRY KYBYCH
1424 DIAMOND ROCK DR.
ANTELOPE, USA 95843
(416) 214-5461
SHEET TITLE: BUILDING SECTIONS

DESIGNER:
ALEX MARTYNOVSKIY
NAME:
SIGNATURE: _____ DATE: _____
PROJECT #: 15090
DATE: 09/09/2015
DRAWN BY: AM
SCALE: AS SHOWN

PLANT LIST					
ID	BOTANICAL	COMMON NAME	QTY	SIZE	PLANT TYPE
MET EXG	Metrosideros Excelsa	New Zealand Christmas Tree	2	15 Gal	Evgn Tree
LEP LAE	Leptospermum Laevigatum	Australian Teatree	2	15 Gal	Evgn Tree, multi-trunk
ARC FRA	Arctostaphylos h. Franciscana	Franciscana Manzanita	10	1 Gal	Low Shrub
DIE BIG	Dietses Bicolor	Fortnight Lily	6	1 Gal	Low Shrub
GEA THY	Ceanothus Thyrsiflorus	Blue Blossom Ceanothus	15	5 Gal	Evgn Shrub
ERI KAR	Erigeron Karwinskianus	Santa Barbara Daisy	12	1 Gal	Low Shrub
ECH CAN	Echium Gandicans	Pride of Madeira	2	5 Gal	Evgn Shrub
FRA GAL	Fragaria Californica	California Coffeeberry	15	5 Gal	Evgn Shrub
HAR VIO	Hardenbergia Violacea	Hardenbergia	5	5 Gal	Evgn Vine
IRIS	Iris Douglasiana	Douglas Iris	6	1 Gal	Low Shrub
LIM PER	Limonium Perzili	Perez's Sea Lavender	5	1 Gal	Low Shrub
MYR GAL	Myrica Californica	Pacific Wax Myrtle	11	5 Gal	Evgn Shrub
PEN SET	Pennisetum Setaceum Atropurpurea	Purple Fountain Grass	10	5 Gal	Grassy Plant
SAL LEU	Salvia Leucophylla	Purple Sage	15	5 Gal	Evgn Shrub
SOL HET	Sollyhæter Ophilia	Australian Bluebell Creeper	10	1 Gal	Low Shrub
FRA CHI	Fragaria Chiloensis	Coastal Strawberry	12		Groundcover
GEA HEA	Ceanothus Hearstiorum	Hearst's Ceanothus	12		Groundcover
PHO CAN	Phoenix Canariensis	Canary Island Palm	1	24" Box	Evgn Tree

- NOTES:
- CONTRACTOR SHALL CONTACT UNDERGROUND SERVICES ADMINISTRATION PRIOR TO EXCAVATION AND GRADING.
 - ALL PLANTING AREAS SHALL BE CLEARED OF WEEDS AND OTHER DEBRIS. THE CONTRACTOR SHALL VERIFY WITH THE OWNER WHICH EXISTING PLANTS ARE TO REMAIN. EXISTING PLANTS TO BE REMOVED SHALL BE VERIFIED WITH OWNER PRIOR TO REMOVAL. ALL IVY IN PROJECT AREA SHALL BE REMOVED. IVY SHALL BE SPRAYED WITH HERBICIDE TWO WEEKS PRIOR TO REMOVAL.
 - SOIL TESTING SHALL BE UNDERTAKEN BY THE CONTRACTOR AND PERFORMED BY A CERTIFIED LABORATORY. A COPY OF THE REPORT SHALL BE PROVIDED TO THE OWNER AND LANDSCAPE ARCHITECT. RECOMMENDATIONS FOR AMENDMENTS AND FERTILIZATION SHALL REFLECT THE NUTRIENT REQUIREMENTS OF SPECIFIED PLANT SPECIES.
 - SOIL AMENDMENTS SHALL BE FREE OF DEBRIS SUCH AS LITTER, BROKEN GLAY POTS, AND OTHER FOREIGN MATERIAL. ROCKS LARGER THAN ONE INCH DIAMETER WILL NOT BE PERMITTED. SOIL AMENDMENTS SHALL HAVE THE FOLLOWING CONTENT: REDWOOD NITRIFIED COMPOST 40%, COARSE SAND 30%, BLACK TOPSOIL 30%.
 - PLANT HOLES SHALL BE DOUBLE THE SIZE OF THE CONTAINER (GENERALLY). THE WALLS AND BASES OF PLANT HOLES SHALL BE SCARIFIED. HOLES SHALL BE BACKFILLED WITH THE FOLLOWING MIXTURE: 10% TO 20% IMPORTED SOIL TO EXISTING SOIL.
 - SOIL BERMES SHALL BE FORMED AROUND ALL PLANTS 1 GALLON SIZE AND LARGER. BASINS SHALL BE MULCHED WITH A 2" LAYER OF BARK CHIPS. MINIMUM OF 1" IN SIZE PLANTING AREAS SHALL BE COVERED WITH A TWO INCH LAYER OF BARK CHIPS.
 - ALL PLANTS SHALL BE FERTILIZED. FERTILIZER SHALL BE COMMERCIALY AVAILABLE TYPE, AGROFORM OR EQUIVALENT. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS. RESIDUAL NEED PRE-EMERGENT SHALL BE APPLIED BY THE CONTRACTOR. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
 - TREES SHALL BE STAKED WITH TWO PRESSURE TREATED 2" DIAMETER POLES. TREE TRUNK SHALL BE SECURED WITH TWO RUBBER TIES OR STRAPS FORMING A FIGURE-EIGHT BETWEEN TRUNK AND STAKE.



LANDSCAPING

SCALE: 1/4" = 1'-0"

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DRAWN BY: AM
SCALE: AS SHOWN

L1