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San Mateo County

Planning and Building Department

San Mateo County
Planning Division
Planning Permit
Application Form

455 County Center, 2nd Floor • Redwood City CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849
www.co.sanmateo.ca.us/planning

PLN: 2017-00002

BLD:

Applicant/Owner Information

Applicant: ERICA ADAMS
Mailing Address: 1181 Redith St
Belmont Zip: 94002
Phone, W: 650 363-1828 H:
E-mail Address: edaplanmer@yahoo.com FAX:

Name of Owner (1): Same Mailing Address: Zip: Phone, W: H: E-mail Address:
Name of Owner (2): Mailing Address: Zip: Phone, W: H: E-mail Address:

Project Information

Project Location (address): Columbus St
Rancho El Granada
Zoning: R-1/S-17/CO/DR
Assessor's Parcel Numbers: 047-275-060
Parcel/lot size: 2984 SF (Square Feet)

List all elements of proposed project (e.g. access, size and location, primary and accessory structures, well, septic, tank)
Single Family Residence with attached one-car garage
Requires use permit for 25ft wide lots, Coastal permit design review and certificate of compliance

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):
Vacant land, 50% slope, 3 Monterey pines trees

Describe Existing Structures and/or Development:
N/A

Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature: [Signature] Jan 3, 2017
Owner's signature:
Applicant's signature:

Application for Design Review by the County Coastside Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Permit #: PLN 2017-00002

Other Permit #: _____

Applicant:

Name: Erica Adams
Address: 1181 Keduth St
Belmont Zip: 94002
Phone, W: 650 363 1828 H: _____
Email: edaplanner@yahoo.com

Owner (if different from Applicant):

Name: _____
Address: _____
Zip: _____
Phone, W: _____ H: _____
Email: _____

Architect or Designer (if different from Applicant):

Name: Hamid Hekmat
Address: _____ Zip: _____
Phone, W: _____ H: _____ Email: _____

Project Information

Project location:

APN: 047-275-060
Address: _____
Zip: _____
Zoning: R-1/S-17/CO/DR
Parcel/lot size: 2,984 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe): _____

Project Description

Project:

- New Single Family Residence: _____ sq. ft.
- Addition to Residence: _____ sq. ft.
- Other: _____

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
 - Fence Height Exception (not permitted on coast)
 - Grading Permit or Exemption
 - Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Describe Project:

New single-family residence
with one car garage
Total project approx
1400 sq ft.

4. Material and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	Hardie Board/Stucco	Mountain Sage	<input type="checkbox"/>
b. Trim	Hardie Board/Wood	Monterey Taupe	<input type="checkbox"/>
c. Windows	Vinyl	Black	<input type="checkbox"/>
d. Doors	Wood		<input type="checkbox"/>
e. Roof	Asphalt	Granite	<input type="checkbox"/>
f. Chimneys	N/A		<input type="checkbox"/>
g. Decks & railings	Wood/Hardie Board	Mountain Sage	<input type="checkbox"/>
h. Stairs			<input type="checkbox"/>
i. Retaining walls			<input type="checkbox"/>
j. Fences	Wood/metal		<input type="checkbox"/>
k. Accessory buildings	N/A		<input type="checkbox"/>
l. Garage/Carport	Aluminum w/Glas	Monterey taupe	<input type="checkbox"/>

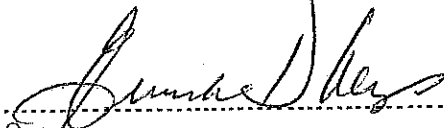
5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signature

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

 1/3/17
 Owner: _____ Applicant: _____

Date: _____ Date: _____

Application for a Coastal Development Permit

Companion Page

Applicant's Name: ADAMS

Primary Permit #: PLN2017-00007

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

2. Basic Information

Does the owner or applicant own any adjacent property not listed?

Yes No

If yes, list Assessor's Parcel Number(s):

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

Yes No

If yes, explain (include date and application file numbers).

3. Materials and Finish of Proposed Buildings or Structures

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	Hardie Plank & Stucco	Mountain Sage	<input type="checkbox"/>
b. Trim	Wood	Monterey Tan	<input type="checkbox"/>
c. Roof	Composite	Granite	<input type="checkbox"/>
d. Chimneys			<input type="checkbox"/>
e. Accessory Buildings	N/A		<input type="checkbox"/>
f. Decks/Stairs	Wood / Siding	Mountain Sage	<input type="checkbox"/>
g. Retaining Walls	Keystone		<input type="checkbox"/>
h. Fences	Wood & Wire		<input type="checkbox"/>
i. Storage Tanks	N/A		<input type="checkbox"/>

4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- | | Yes | No |
|---|-------------------------------------|-------------------------------------|
| a. Demolition of existing housing units? (If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. Beaches? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. Sand Dunes? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g. Ridgetops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| j. Grading or alteration of landforms? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| k. Landscaping? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| l. Signs? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)? <i>below</i> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| n. Areas subject to flooding? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

- | | | |
|--|--------------------------|-------------------------------------|
| p. Between the sea and the nearest public road? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Explain all Yes answers below. Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

Three cypress trees need to be removed for the development. Replanted trees are proposed. Minimal grading quantity of approx 100 cu yd is required. New utilities are required to be provided underground. The parcel has a 50% slope.

5. Staff Use Only

California Coastal Commission Jurisdiction

A. Does the Proposed Project Involve:

- A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?
 Yes No
- Construction or grading within 100 feet of a stream or wetland?
 Yes No
- A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?
 Yes No

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

B. Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).
 Yes No

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: _____

Environmental Information Disclosure Form

PLN 2017-00002
BLD _____

Project Address: Columbus Street,
El Granada

Name of Owner: ERICA J. ADAMS
Address: 1181 Kedzie St,
Belmont Phone: 213/713-5789

Assessor's Parcel No.: 047-275-060

Name of Applicant: same
Address: _____
Phone: _____

Zoning District: R1/5-17/DR/CD

Existing Site Conditions

Parcel size: 2,984 sq ft

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). The parcel is a vacant lot with a slope of 58%.
There are three trees on the property.

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input checked="" type="checkbox"/>		d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? <u>3</u>
<input checked="" type="checkbox"/>		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation: <u>55</u> c.y. Fill: <u>15</u> c.y.
	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:
3 Monterey pines need to be removed
Minor grading for the house and deck area

Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
	↑	a. Construction outside of the footprint of an existing, legal structure?
	↑	b. Exterior construction within 100-feet of a stream?
	↑	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
	↑	d. Land-use within a riparian area?
	↑	e. Timber harvesting, mining, grazing or grading?
	↑	f. Any work inside of a stream, riparian corridor, or shoreline?
	↑	g. Release or capture of fish or commerce dealing with fish?
Please explain any "Yes" answers:		

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
	X	a. A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface? If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
	X	b. Land disturbance of 1 acre or more of area? If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: _____

[Handwritten Signature]
(Applicant may sign)

Date: _____

1/3/19

455 County Center, 2nd Floor, Redwood City, CA 94063
 Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Application for a Zoning Nonconformity Use Permit

Applicant's Name: ADAMS
 Primary Permit #: PLN2017-00002

Companion Page

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Zoning Nonconformity Use Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form, and, if applicable, a copy of a building permit or Assessor's records indicating that your nonconforming structure was built legally.

2. Project Information

This application is for:

- Expansion of a legal, nonconforming structure on a standard-sized parcel.
- Expansion of a legal, nonconforming structure on a substandard parcel.
- New nonconforming structure on a substandard parcel.
- New conforming structure on a substandard parcel per Zoning Regulations Section 6133.3(b).

Zoning: R-1/S-17/DR/CD

Existing nonconformity: N/A
 (Examples: 3 ft. side setback, 40% lot coverage)

Parcel size: 2,984 sq ft

Proposed nonconformity: None

3. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the following specifically required finding:

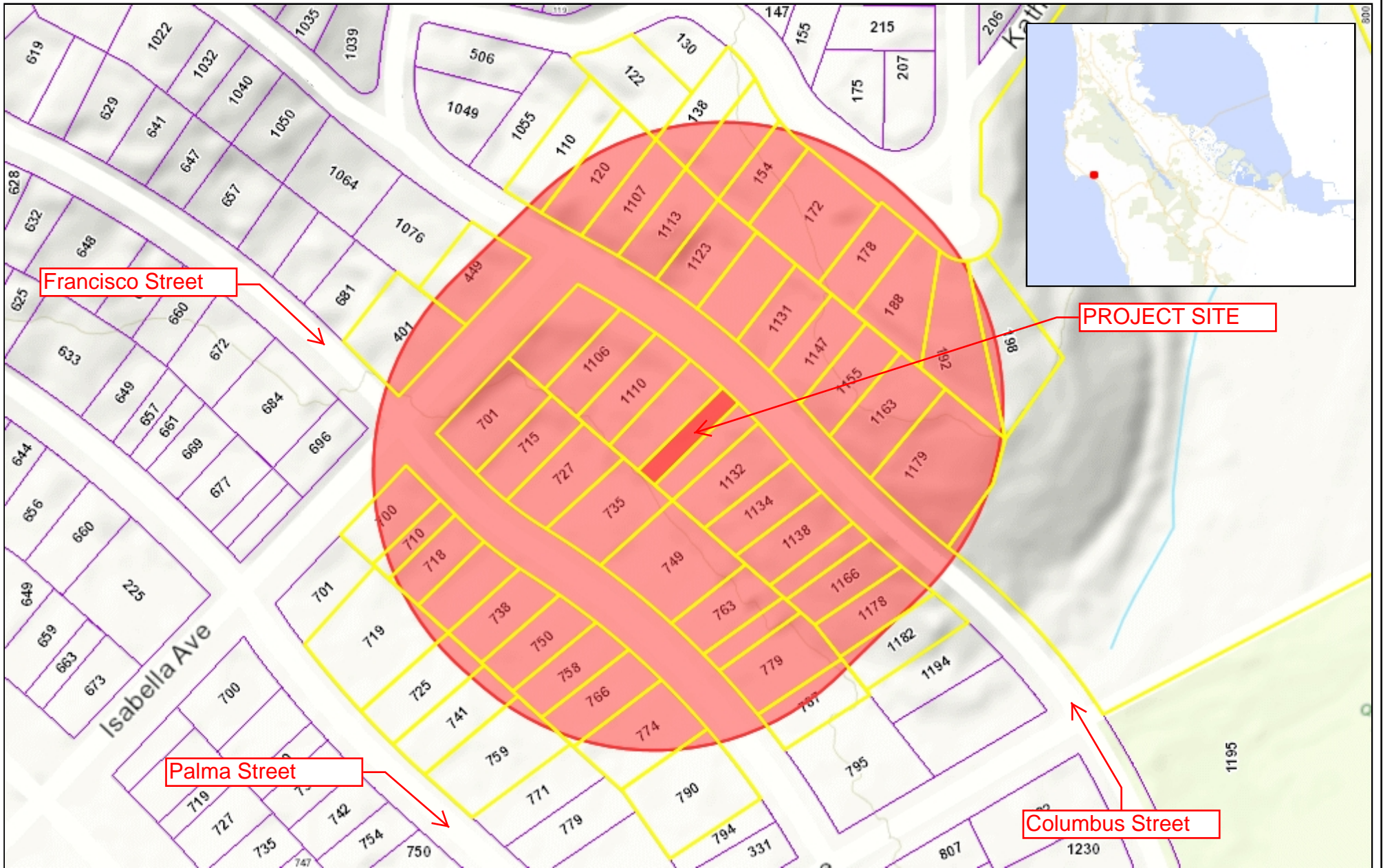
1. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in the neighborhood.

The County must make four additional findings for projects involving substandard parcels:

- | | |
|---|--|
| <ol style="list-style-type: none"> 2. The proposed development is proportioned to the size of the parcel on which it is being built. 3. All opportunities to acquire additional contiguous land have been investigated. | <ol style="list-style-type: none"> 4. The proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible. 5. Use permit approval does not constitute a granting of special privileges. |
|---|--|

Write a brief statement in which you present evidence to support the required findings.

The proposed house is proportioned to parcel size and is compatible with the surrounding residences. The project meets the S-17 Zoning District specifications, it will be subject to review by the CDRC for conformance with design standards. The project meets guidelines for development on parcels with 25' frontage/width. There are no special privileges associated with the project.



0.07 0 0.04 0.07 Miles

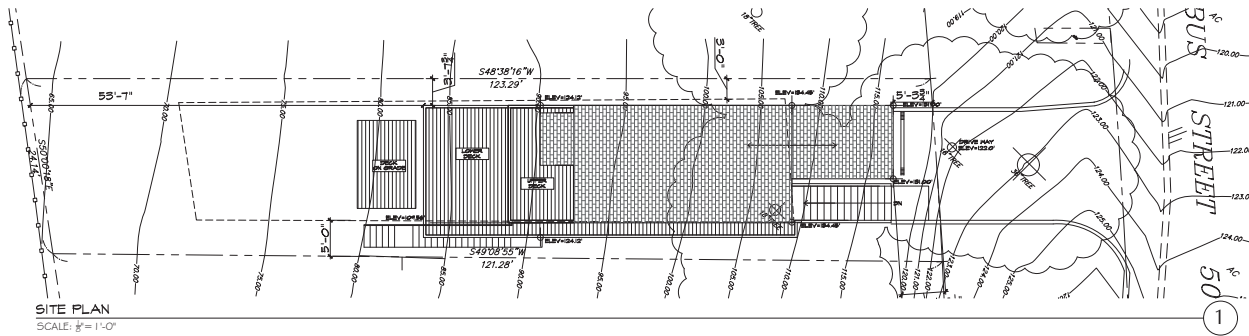
WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:2,256



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

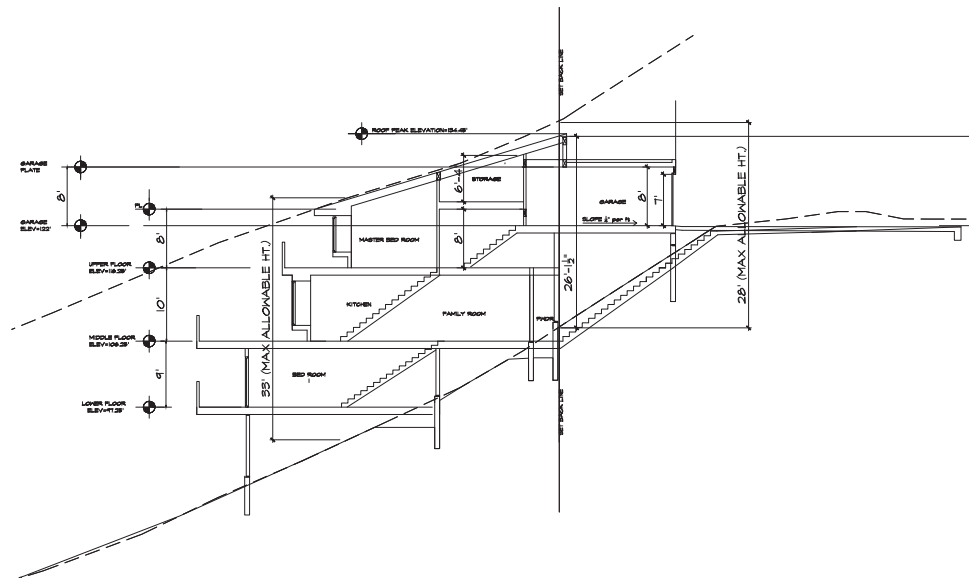


SITE PLAN
SCALE: 1/8" = 1'-0"

MATERIAL PALETTE FOR COLUMBUS AVENUE, HALF MOON BAY, CA				
	MATERIAL	FINISH	COLOR	MANUFACTURER
SIDING	HARDPLANK		MOUNTAIN SAGE	JAMES HARDIE
TRIM	HARDPLANK		MONTERAY TAUPE	
DOORS				
WINDOWS	VINYL			
GARAGE DOOR	ALUMINUM			OVER HEAD DOOR CORPORATION
ROOF	ASPHALT SHINGLES			
STUCCO				

PROJECT DATA	
ZONE:	R-1/5-11/DR/CD
APN :	041-275-060
LOT AREA:	2,984 SF
LOT COVERAGE:	1,042 SF
MAX. LOT COVERAGE:	1,044 SF
MAX. FLOOR AREA ALLOWED	1,432 SF
PROPOSED FLOOR AREA:	1,432 SF

NOTE:
ESCAPE OR RESCUE WINDOWS SHALL HAVE A MIN. NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, 5.0 SQ. FT. ALLOWED AT GRADE. THE MIN. NET CLEAR OPENABLE HEIGHT DIM. SHALL BE 24" THE CLEAR OPENABLE WIDTH DIM. SHALL BE 20 INCHES. FINISHED SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.



SECTION
SCALE: 1/8" = 1'-0"



Hamid Hekmat, AIA
LEED AP

611 Veterans Blvd., #212
Redwood City, CA 94063

t (650) 344-1244
f (650) 344-1241

hrh@hrharchitecture.com
www.hrharchitecture.com

Project

COLUMBUS AVE.
HALF MOON BAY

DATE: 04/20/19-002

OWNER:
MS. ERICA ADAMS

Sheet Title

SITE PLAN
SECTION

Job No
Drawn
Date 2-5-2017

- Revisions
- △
 - △
 - △
 - △
 - △
 - △
 - △

Scale: 1:8

Sheet

A1.1



Hamid Hekmat, AIA
LEED AP

611 Veterans Blvd., #212
Redwood City, CA 94063

t (650) 344-1244

f (650) 344-1241

hrh@hrharchitecture.com
www.hrharchitecture.com

Project
COLUMBUS AVE.
HALF MOON BAY

PH: 047-079-000

OWNER:
MS. ERICA ADAMS

Sheet Title

EXTERIOR
ELEVATIONS

Job No
Drawn
Date 2-5-2017

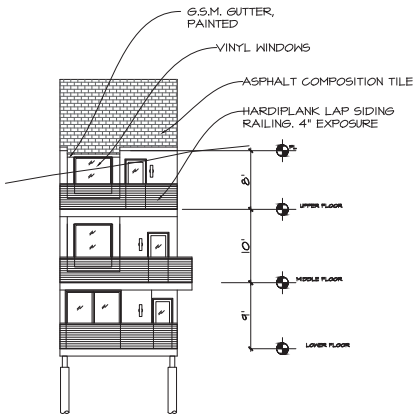
Revisions

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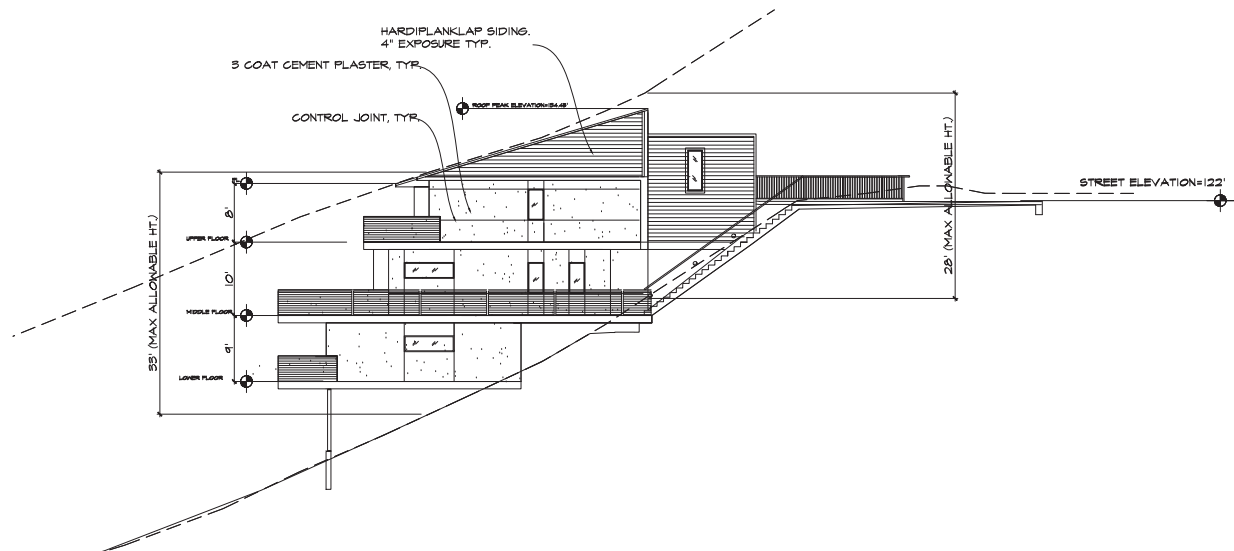
Sheet

A1.2



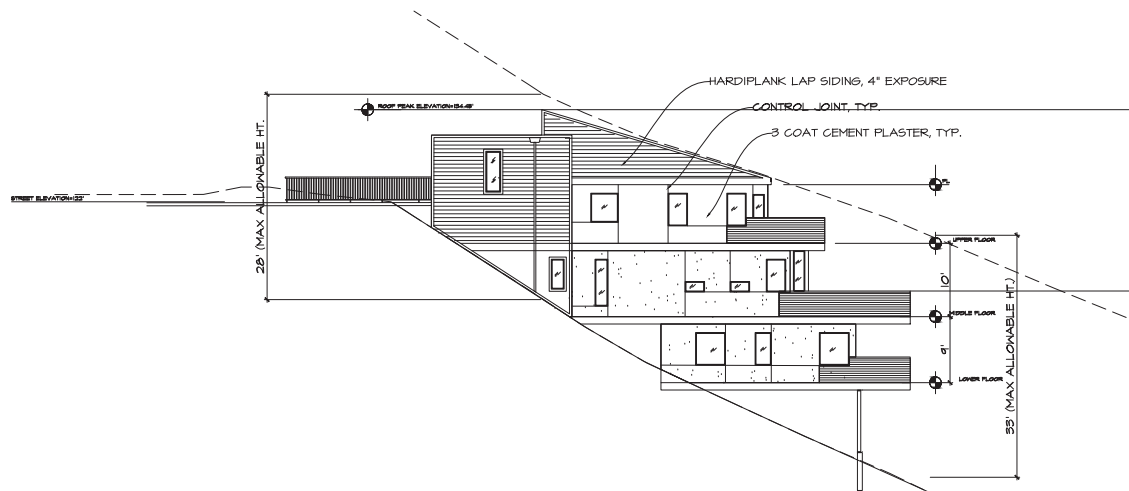
WEST ELEVATION
SCALE: $\frac{1}{8}'' = 1'-0''$

3



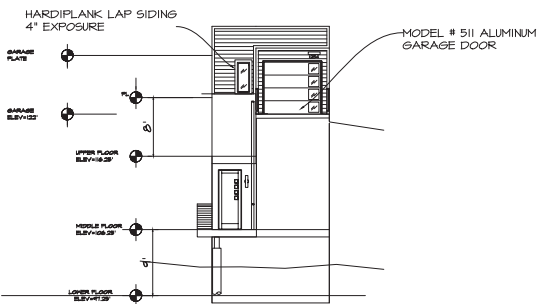
SOUTH ELEVATION
SCALE: $\frac{1}{8}'' = 1'-0''$

1



NORTH ELEVATION
SCALE: $\frac{1}{8}'' = 1'-0''$

2



EAST ELEVATION
SCALE: $\frac{1}{8}'' = 1'-0''$

4



Hamid Hekmat, AIA
LEED AP

611 Veterans Blvd., #212
Redwood City, CA 94063

T (650) 344-1244
F (650) 344-1241

hrh@hrharchitecture.com
www.hrharchitecture.com

Project

COLUMBUS AVE.
HALF MOON BAY

DATE: 04/27/10

OWNER:
MS. ERICA ADAMS

Sheet Title

FLOOR PLANS

Job No

Drawn

Date 2-5-2017

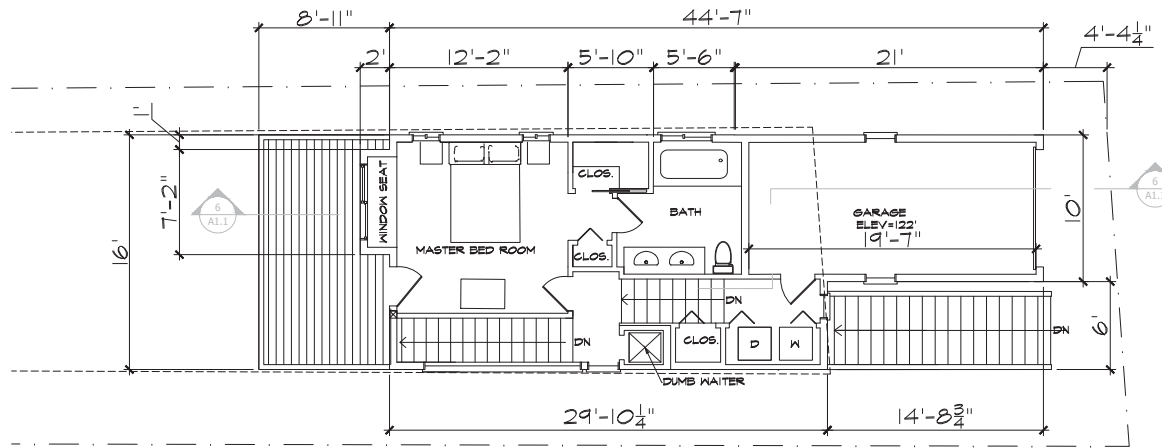
Revisions

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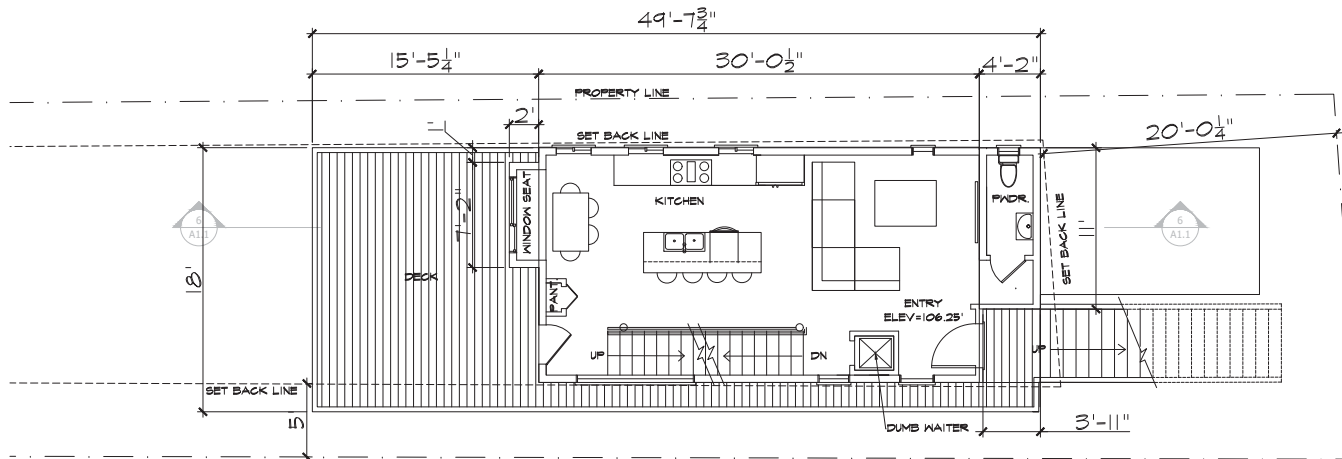
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Sheet

A1.3



UPPER PLAN AREA = 414.00 SF



MIDDLE PLAN AREA = 525 SF
DEDUCTION FOR STAIRCASE + DUMB WAITER = 70 SF
TOTAL FLOOR AREA = 455 SF

455 SF

FLOOR PLANS
SCALE: 1/8" = 1'-0"

1



Hamid Hekmat, AIA
LEED AP

611 Veterans Blvd., #212
Redwood City, CA 94063

t (650) 344-1244
f (650) 344-1241

hrh@hrharchitecture.com
www.hrharchitecture.com

Project

COLUMBUS AVE.
HALF MOON BAY

DATE: 04/27/10

OWNER:
MS. ERICA ADAMS

Sheet Title

FLOOR PLANS

Job No
Drawn
Date 2-5-2017

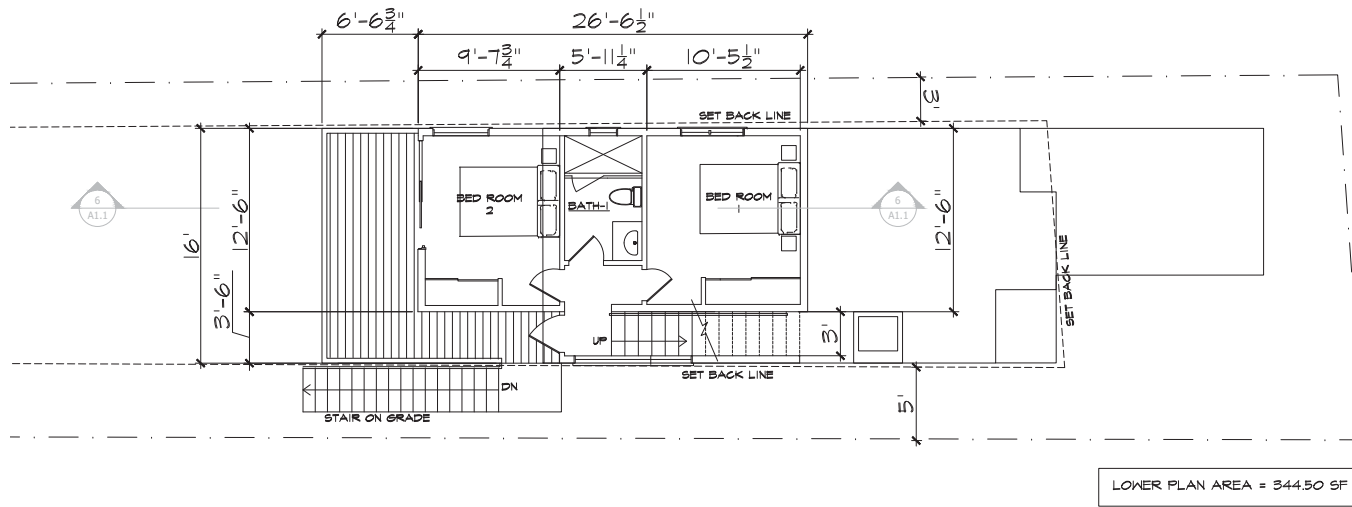
Revisions

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Scale: 1:8

Sheet

A1.4



FLOOR PLANS
SCALE: 1/8" = 1'-0"

1

- LEGEND**
- 92.6' EXISTING ELEVATION
 - 100 — EXISTING CONTOUR LINE
 - ⊙ EXISTING UTILITY POLE
 - ⊗ EXISTING WATER VALVE
 - ⊕ EXISTING FIRE HYDRANT
 - ⊕ EXISTING BENCHMARK
 - ⊕ EXISTING SEWER MANHOLE
 - ||— EXISTING EDGE OF PAVEMENT
 - EXISTING FENCE AS NOTED
 - OH— EXISTING OVERHEAD UTILITY
 - 100.0' PROPOSED ELEVATION
 - 100 — PROPOSED CONTOUR LINE
 - ~> DIRECTION OF SURFACE DRAINAGE FLOW
 - ⊙ EXISTING TREE

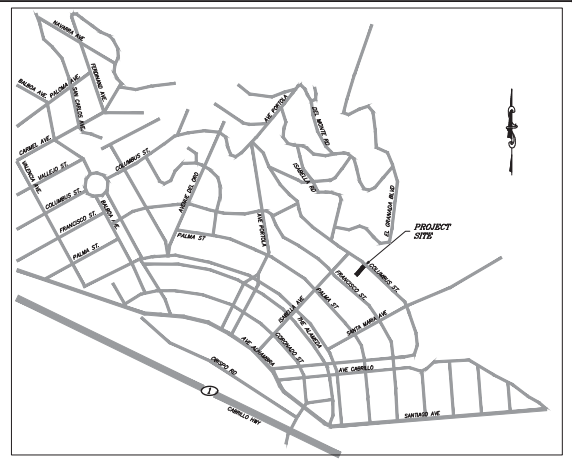
- AC ASPHALT
- AD AREA DRAIN
- CB CATCH BASIN
- CO CLEANOUT
- CONC CONCRETE
- DI DROP INLET
- DIAM DIAMETER
- (E) EXISTING
- EMB ELECTRIC METER BOX
- EP EDGE OF PAVEMENT
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FL FLOW LINE
- FS FINISHED SURFACE
- GM GAS METER
- INV INVERT
- (N) NEW
- SS SANITARY SEWER
- TC TOP OF CURB
- TG TOP OF GRATE
- WMB WATER METER BOX

CIVIL IMPROVEMENT PLANS

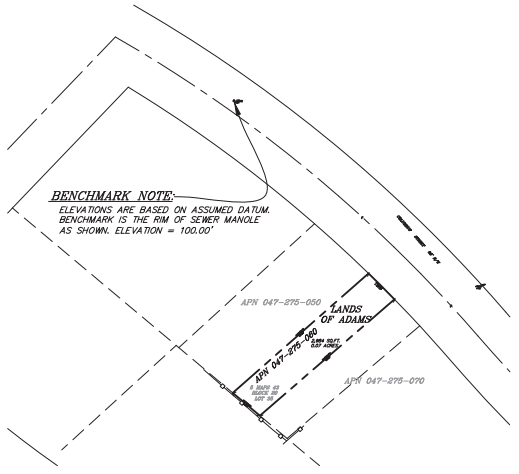
ADAMS RESIDENCE

COLUMBUS STREET, EL GRANADA, CA

- INDEX TO SHEETS**
- SHEET C1 - TITLE SHEET
 - SHEET C2 - GRADING & DRAINAGE PLAN
 - SHEET C3 - EROSION CONTROL PLAN
 - SHEET C4 - SAN MATEO COUNTY CONSTRUCTION BMPs



VICINITY MAP
N.T.S.



EXISTING PROJECT SITE

GRADING AND SITENETWORK SPECIFICATIONS

1. SITE-DISTURBING CONSTRUCTION ACTIVITIES MUST BE RESTRICTED TO THE BOUNDARIES OF THIS SITE. AREAS TO BE GRADED SHALL BE CLEARED OF BRUSH, VEGETATION, LARGE BOULDERS, AND OTHER DELETERIOUS MATERIALS. CLEARED MATERIALS SHALL BE DEPOSITED BY THE CONTRACTOR TO A DESIGNATED DUMP SITE OR OTHER LOCATION APPROVED BY THE CITY OR COUNTY. TOPSOIL SHALL BE STOCKPILED WITHIN THE CONSTRUCTION PERIMETER AREAS, AS APPROVED BY THE OWNER, FOR RE-USE ON SLOPES AND DISTURBED AREAS. ALL GRADING SHALL BE PERFORMED IN ACCORDANCE WITH CITY OR COUNTY ORDINANCES AND STANDARDS.
2. CONTRACTOR SHALL TAKE ALL SUCH MEASURES NECESSARY TO CONTROL DUST IN CONSTRUCTION AREAS OR ON ACCESS ROADS. SURVEYED MOTOR TRUCKS SHALL BE MADE AVAILABLE FOR DUST CONTROL PURPOSES. ALL EXPOSED SOIL SURFACES SHALL BE MOISTENED AS REQUIRED TO AVOID NUISANCE CONDITIONS AND INCONVENIENCES FOR LOCAL RESIDENTS AND TRAVELERS OF NEARBY ROADS. CONTRACTOR SHALL TAKE ALL SUCH MEASURES NECESSARY TO RETAIN SOIL AND SEDIMENT ON SITE AND TO PREVENT TRACKING OF MUD AND DIRT ONTO PUBLIC ROADS.
3. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF ALL IMPROVEMENTS DAMAGED DURING CONSTRUCTION.
4. A SEPARATE ENDEAVOURMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.



PROPERTY LOCATION
COLUMBUS STREET
EL GRANADA, CA 94019

LEGAL DESCRIPTION
A.P.N. 047-275-060
LOT 26, BLOCK 20
5 MAPS 43
SAN MATEO COUNTY

RECORD OWNER
ERICA ADAMS
1191 KEDITH ST
BELMONT, CA 94002

SURVEYOR
TRIAD/HOLMES ASSOCIATES
777 WOODSIDE RD #214
REDWOOD CITY, CA 94061

ARCHITECT
HRH ARCHITECTURE
HAMID HEXMAT
611 VETERANS BLVD
REDWOOD CITY, CA 94063

SITE BENCHMARK
ELEVATIONS ARE BASED ON ASSUMED DATUM.
BENCHMARK IS THE RIM OF THE SEWER
MANHOLE AS SHOWN.
ELEVATION = 100.00'

TITLE SHEET

ADAMS RESIDENCE

PREPARED FOR: ERICA ADAMS

ERIC ADAMS
1191 KEDITH ST
BELMONT, CA 94002
PH: (415) 871-2022
CELL: (415) 871-2022
EMAIL: eric@triah.com

777 WOODSIDE RD, SUITE 1
REDWOOD CITY, CA 94061
PH: (650) 968-0144
CELL: (650) 968-0144
EMAIL: msherman@triah.com

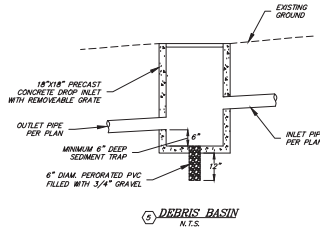
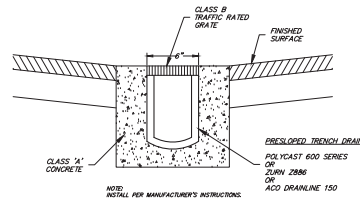
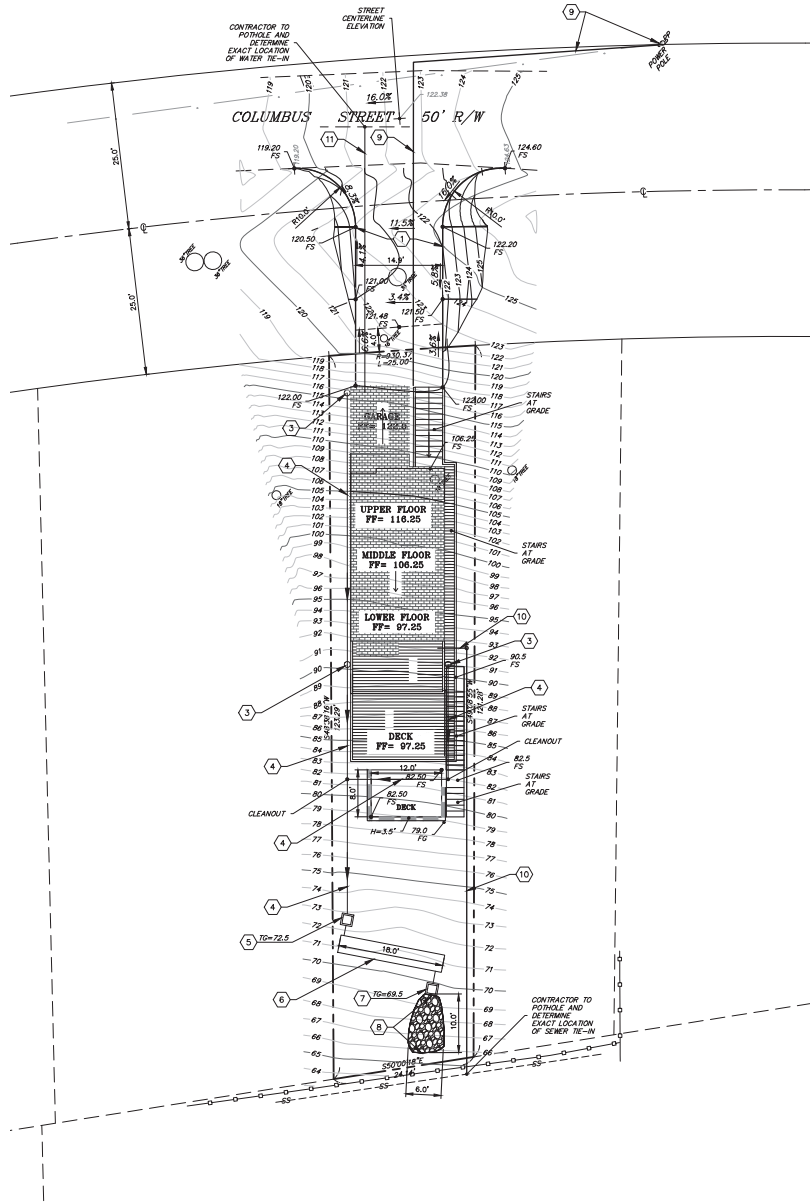
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REVISIONS	BY

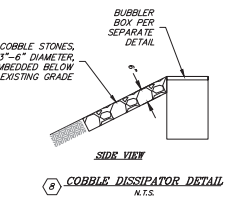
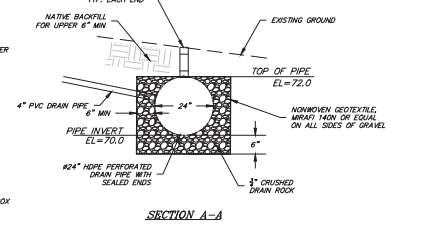
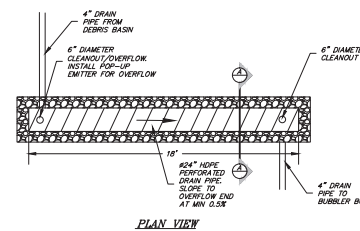
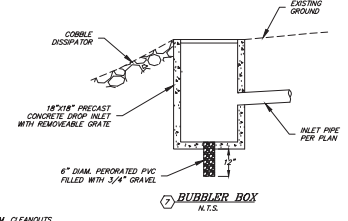
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SCALE AS SHOWN
DRAWN MS
JOB NO. 9,1690
DWG 2,1690grad.dwg
SHEET C1
OF 4 SHEETS

PREPARED AND SUBMITTED BY:
MATTHEW S. SCHOBEL DATE
P.L.C. C 70489





- CONSTRUCTION NOTES**
- CONSTRUCT CONCRETE DRIVEWAY, 6" CONCRETE ON 6" CLASS 2 BASE, MATCH EXISTING EDGE OF PAVEMENT.
 - INSTALL TRENCH DRAIN PER DETAIL HEREON.
 - CONNECT ROOF DOWNSPOUT TO DRAIN PIPE.
 - INSTALL 4" PVC DRAIN PIPE, INSTALL CLEANOUTS AT ANGLE POINTS AND WHERE SHOWN ON PLAN.
 - INSTALL DEBRIS BASIN PER DETAIL HEREON.
 - INSTALL DETENTION BASIN PER DETAIL HEREON.
 - INSTALL BUBBLER BOX PER DETAIL HEREON.
 - INSTALL COBBLE DISSIPATOR PER DETAIL HEREON.
 - INSTALL POWER AND TELEPHONE UTILITIES UNDERGROUND, COORDINATE CONNECTION POINTS WITH UTILITY COMPANIES AND ARCHITECT.
 - INSTALL 4" SEWER LATERAL PER GRANADA COMMUNITY SERVICES DISTRICT STANDARDS, CONNECT TO EXISTING SEWER MAIN AT BACK OF LOT.
 - INSTALL 1" DOMESTIC SERVICE CONNECTION AND 1" FIRE SERVICE CONNECTION PER COASTSIDE COUNTY WATER DISTRICT STANDARDS.

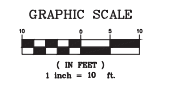


EARTHWORK QUANTITIES

BUILDING EXCAVATION (WITHIN BUILDING FOOTPRINT):
 CUT = 10 CY
 FILL = 0 CY
 NET = 10 CY CUT

SI-THEWORK EXCAVATION (OUTSIDE BUILDING FOOTPRINT):
 CUT = 45 CY
 FILL = 15 CY
 NET = 30 CY CUT

EARTHWORK QUANTITIES ARE ESTIMATE ONLY AND DO NOT ACCOUNT FOR REMOVALS OF UNSUITABLE MATERIALS, WORK SHRINKAGE, NOR SWELL. CONTRACTOR SHALL PERFORM OWN TAKEOFF IN CONJUNCTION WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.



GRADING & DRAINAGE PLAN
ADAMS RESIDENCE
 PREPARED FOR: ERICA ADAMS

tdh
 taylor dunn holliman
 civil engineering
 land surveying

277 HODGES RD., SUITE 101
 GRANADA SPRINGS, CA 92748
 (951) 871-8821
 www.taylor-dunn-holliman.com

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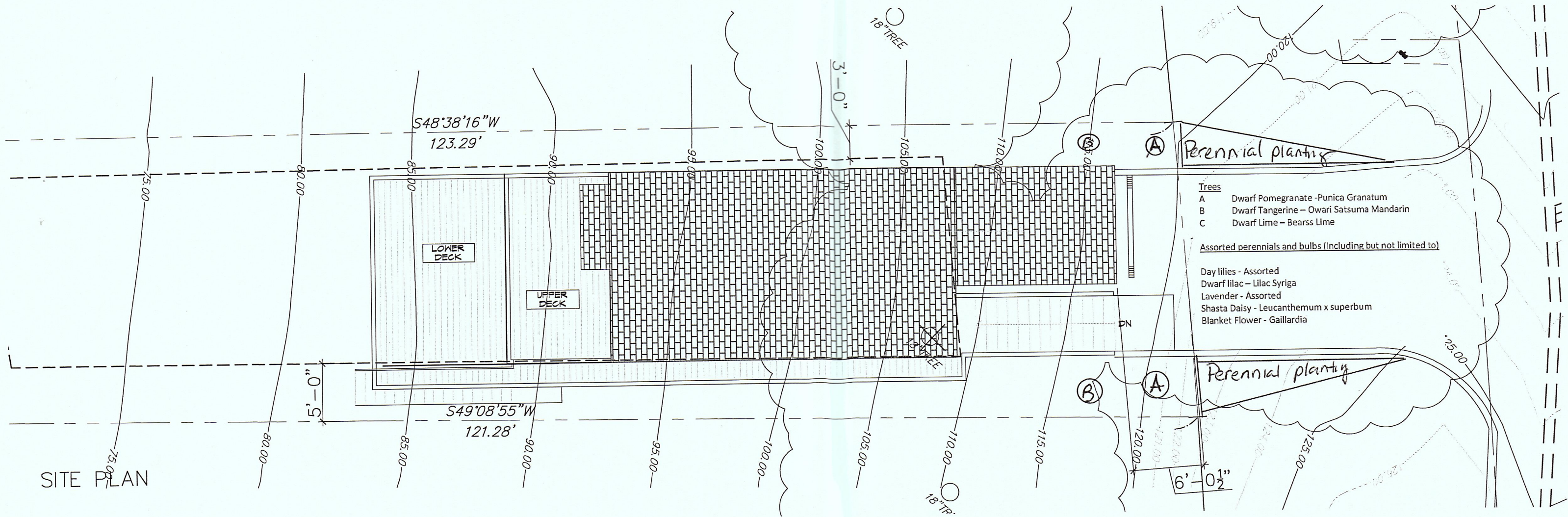
REVISIONS	BY

DATE: 11/2/16
 SCALE: 1"=10'
 DRAWN: MS
 JOB NO.: 9.1690
 FILE: 2.1690grad.dwg
 SHEET: **C2**
 of 4 SHEETS



PREPARED AND SUBMITTED BY:
MATTHEW S. SCHOBER DATE: _____
 P.E. C. 70489

2016/11/02 10:58 AM C:\Users\msho\OneDrive\Documents\21_16_1690_grad.dwg PLOT (PLOT) 21_16_1690_grad.dwg 11/2/2016 10:58 AM R:16mm



SITE PLAN

LANDSCAPE / TREE REPLANTING PLAN

RECEIVED

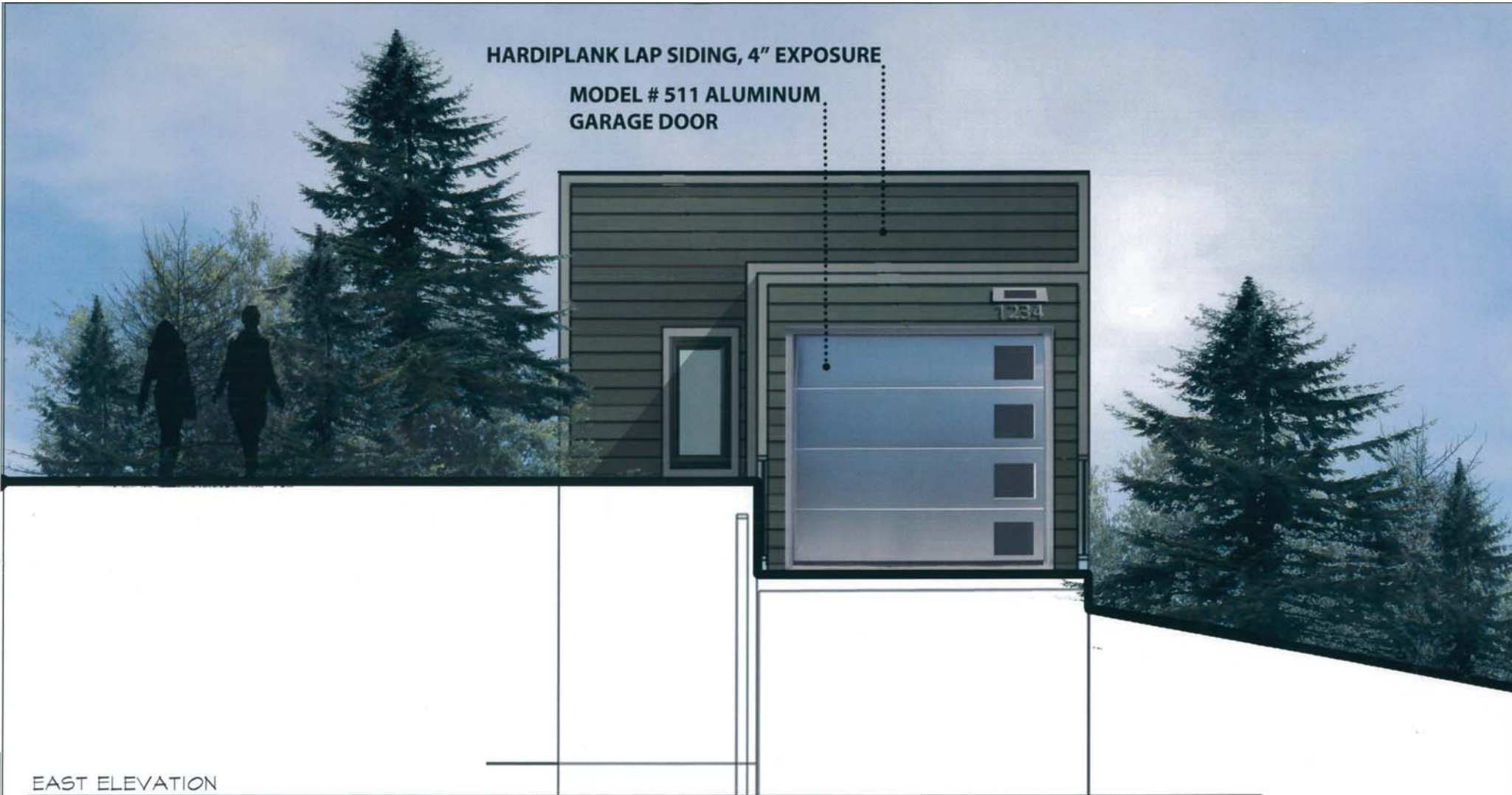
JAN 09 2017

San Mateo County
Planning and Building Department

PLN2017-0002

HARDIPLANK LAP SIDING, 4" EXPOSURE

MODEL # 511 ALUMINUM
GARAGE DOOR



EAST ELEVATION

Project

COLUMBUS AVE.
HALF MOON BAY

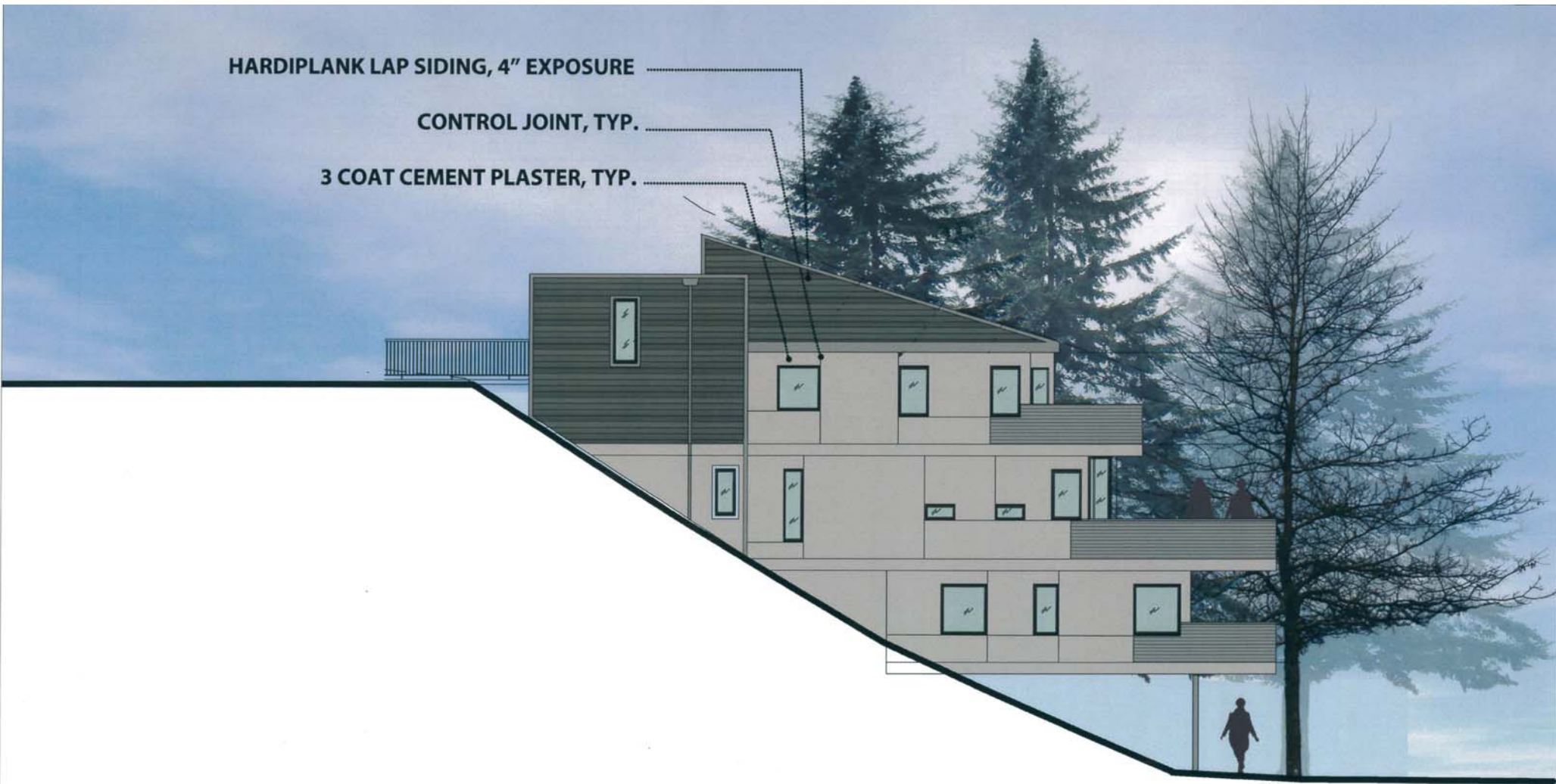
EXTERIOR MATERIALS/COLORS

611 Veterans Blvd., #212
Redwood City, CA 94063

t (650) 344-1244
f (650) 344-1241

hrh@hrharchitecture.com
www.hrharchitecture.com





HARDIPLANK LAP SIDING, 4" EXPOSURE
 CONTROL JOINT, TYP.
 3 COAT CEMENT PLASTER, TYP.

NORTH ELEVATION

Project
 COLUMBUS AVE.
 HALF MOON BAY

EXTERIOR MATERIALS/COLORS

611 Veterans Blvd., #212
 Redwood City, CA 94063
 t (650) 344-1244
 f (650) 344-1241
 hrh@hrharchitecture.com
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