

## PROJECT DATA

**PROPERTY ADDRESS:** 108 Dolton Avenue, San Carlos, CA 94070 (Proposed)  
**ASSESSOR'S PARCEL NUMBER:** 049-103-170

**SCOPE OF WORK**  
 CLEAR AND GRADE THE EXISTING VACANT LOT, BUILD RETAINING WALLS, INSTALL DRAINAGE. BUILD A NEW SINGLE-FAMILY RESIDENCE WITH YARD, DRIVEWAY, AND ACCESS ROAD. INSTALL LANDSCAPING AND IRRIGATION.

**PLANNING INFORMATION**  
 ZONING DISTRICT: R-1/S-71/DR  
 LOT SIZE: 15,739 SQ FT  
 NO. OF STORIES: 3  
 SETBACKS/YARD REQUIREMENTS:

DESCRIPTION	ALLOWABLE	EXISTING	NEW
FRONT SETBACK	20'	N/A	22'-3"
REAR SETBACK	15'	N/A	60'-3"
SIDE SETBACK	5'	N/A	16'-4"+
BUILDING HEIGHT	30'	N/A	27'-9"
SITE COVERAGE AREA	7725 SQ FT	N/A	2478 SQ FT
SITE COVERAGE %	50%	N/A	16.0%
BLD FLOOR AREA	4100 SQ FT	N/A	3870 SQ FT

**BUILDING INFORMATION**  
 OCCUPANCY TYPE: R3  
 CONSTRUCTION TYPE: VB  
 FIRE SPRINKLERS: REQUIRED

FLOOR AREA:

CATEGORY	DESCRIPTION	EXISTING SQ FT	PROPOSED SQ FT
CONDITIONED	1ST FLOOR	0	434
	2ND FLOOR	0	1613
	3RD FLOOR	0	1558
	SUBTOTAL	0	3605
UNCONDITIONED	GARAGE	0	598
	GARAGE ALLOWANCE	0	-400
	PROTECTED DECKS/PORCHES	0	67
	EXTERIOR STORAGE	0	0
	SUBTOTAL	0	265
<b>TOTAL</b>	<b>GROSS AREA</b>	0	<b>3870</b>

**LANDSCAPING INFORMATION**  
 EXISTING LANDSCAPING: 0 SQ FT  
 REHABILITATED: 0 SQ FT  
 NEW LANDSCAPING: 1,012 SQ FT  
 NEW TURF: 0 SQ FT

## CODES

2022 CALIFORNIA BUILDING CODE (CBC)      2022 CA FIRE CODE (CFC)  
 2022 CALIFORNIA RESIDENTIAL CODE (CRC)      2022 CA GREEN BUILDING CODE  
 2022 CALIFORNIA ELECTRICAL CODE (CEC)  
 2022 CALIFORNIA MECHANICAL CODE (CME)      APPLICABLE SAN MATEO COUNTY MUNICIPAL CODES  
 2022 CALIFORNIA PLUMBING CODE (CPC)  
 2022 CA BUILDING ENERGY EFFICIENCY STANDARDS (CBEES)

## PROJECT DIRECTORY

**OWNER**  
 Dolton Estates LLC  
 1025 Alameda #701  
 Belmont, CA 94002  
 Contact: Irene Velasquez  
 E: doltonestates@gmail.com  
 T: 415-999-6189

**DESIGNER**  
 SF Modern  
 1080 San Carlos #940  
 San Carlos CA 94070  
 Contact: Bich-Khoi Do  
 E: bk@sfmodern.com  
 T: 650-281-4832

**SURVEYOR**  
 DMG Engineering, Inc.  
 Contact: Dylan Gonsalves  
 E: dylan@dmgbayarea.com  
 T: 925-787-0463

**GEOTECHNICAL ENGINEER**  
 Atlas Technical Consultants, LLC (Formerly Geosphere Consultants, Inc.)  
 2100 Crow Canyon Rd, #210  
 San Ramon, CA 94583  
 Contact: Joel Baldwin  
 E: Joel.baldwin@oneatlas.com  
 T: 650-557-0262

**CIVIL ENGINEER**  
 Precision Engineering and Construction, Inc.  
 Contact: Travis Lutz  
 E: travis@precision-ec.com  
 T: 415-743-0527

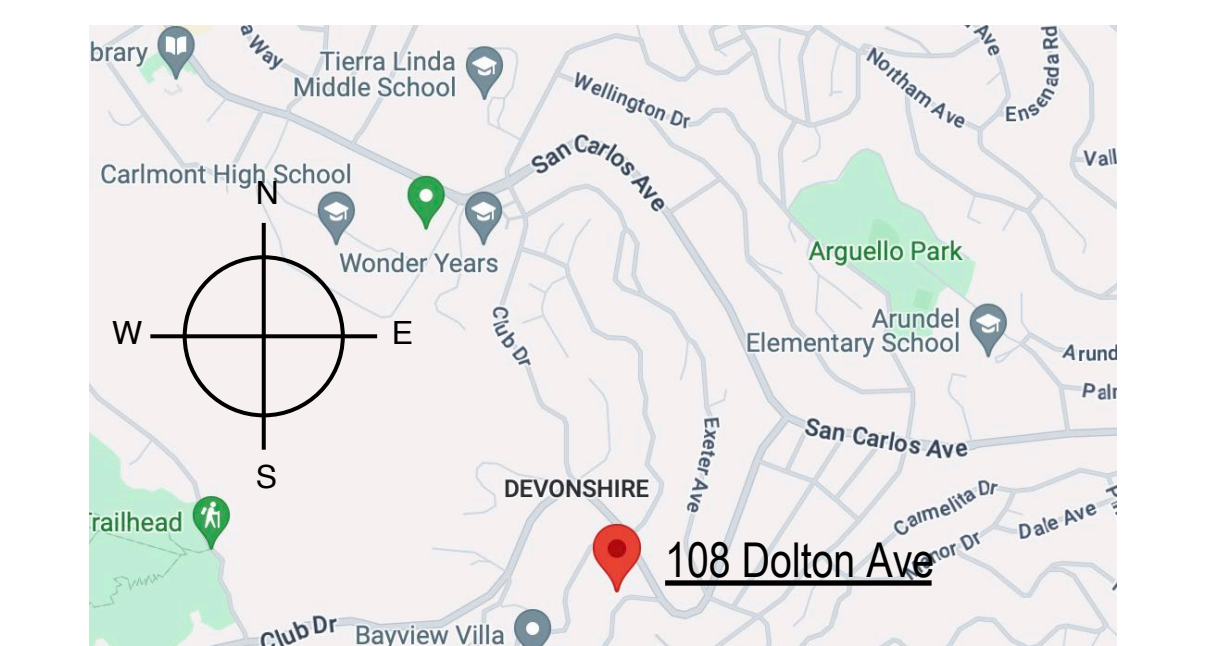
**ARBORIST**  
 Advanced Tree Care, Inc.  
 Contact: Robert Weatherill  
 E: rweather@pacbell.net  
 T: 650-839-9539

**STRUCTURAL ENGINEER**

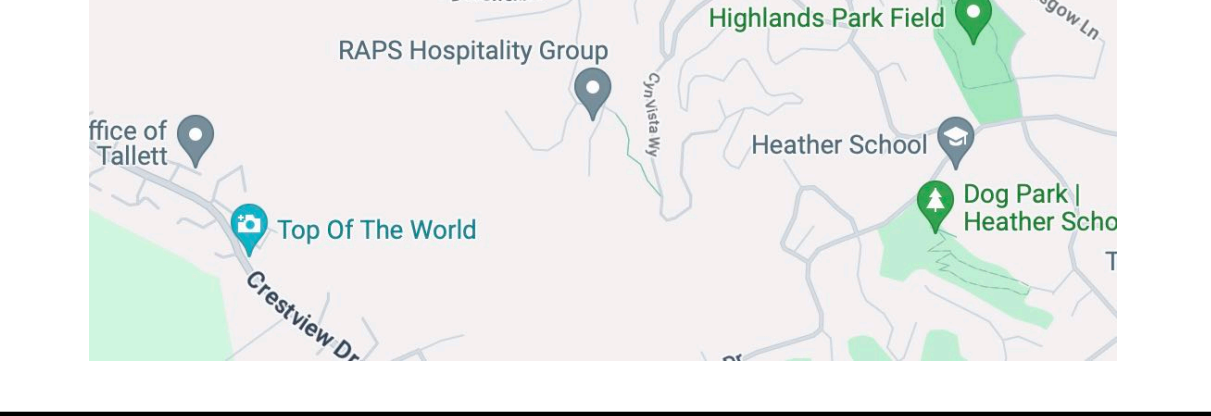
**FIRE PROTECTION**

**TITLE 24 ENERGY**

## SYMBOLS



## VICINITY MAP



## DRAWING INDEX

- ARCHITECTURAL**  
 T-01 TITLE SHEET  
 A-01 SITE - EXISTING  
 A-02 SITE - PROPOSED  
 A-03 ROOF / FOOTPRINT  
 A-04 FLOOR 1 PLAN  
 A-05 FLOOR 2 PLAN  
 A-06 FLOOR 3 PLAN  
 A-07 ELEVATIONS  
 A-08 ELEVATIONS  
 A-09 ELEVATIONS  
 A-10 COLORS  
 A-11 RENDERINGS  
 A-12 SECTIONS  
 A-13 LANDSCAPE PLAN  
 A-14 PLANTS & NOTES  
 A-15 IRRIGATION PLAN  
 A-16 FLOOR 1 LIGHTING  
 A-17 FLOOR 2 LIGHTING  
 A-18 FLOOR 3 LIGHTING

- CIVIL ENGINEERING**  
 C-0 TITLE SHEET  
 C-1 NOTES  
 C-2 GRADING AND UTILITIES  
 C-3 EROSION CONTROL  
 C-3.1 BEST MANAGEMENT PRACTICES  
 C-3.2 TREE PROTECTION PLAN  
 C-4 DETAIL SHEET  
 C-4.1 DETAIL SHEET  
 C-4.2 DETAIL SHEET

**SURVEY**  
 See separate survey by DMG Engineering, Inc.

**GEOTECHNICAL REPORT**  
 See separate Geotechnical Report by Engineering Geologist Geosphere Consultants, Inc.

**ARBORIST REPORT**  
 See separate Arborist Report by Advanced Tree Care

## GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO CURRENT SAN MATEO COUNTY CODES AND ANY OTHER GOVERNING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY APPLICABLE PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THE WORK CAN BE BUILT OR DEMOLISHED AS SHOWN BEFORE PROCEEDING WITH THE WORK. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE DESIGNER BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
- ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT SHOWN ON THE DRAWINGS.
- CONTRACTOR TO MAINTAIN ALL PROPER WORKMAN'S COMPENSATION AND LIABILITY INSURANCE THROUGHOUT THE DURATION OF PROJECT.
- SUBSTITUTIONS, REVISIONS OR CHANGES MUST HAVE PRIOR APPROVAL OF DESIGNER.
- DURING THE BIDDING AND NEGOTIATION PERIOD THE GENERAL CONTRACTOR AND SUBCONTRACTOR(S) SHALL CONFIRM IN WRITING APPROX. ONSITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND SHALL NOTIFY THE DESIGNER IN WRITING OF ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF THE SPECIFIED PRODUCT.
- ALL WORK SHALL BE PERFORMED SUCH THAT DAMAGE TO EXISTING LANDSCAPE AND/OR PERSONAL PROPERTY IS PREVENTED OR MINIMIZED.
- CONTRACTOR SHALL TAKE MEASURES TO PROTECT ADJACENT PROPERTIES. USE VISQUEEN, PLYWOOD, ETC. TO MINIMIZE NOISE, DUST, ETC.
- IN THE EVENT THAT FOUNDATION MIGHT AFFECT ADJACENT PROPERTIES, CONTRACTOR SHALL TAKE ALL APPROPRIATE STEPS TO NOTIFY THE PROPERTY OWNER OF THE CONDITION, AND TO ADEQUATELY PROTECT THE ADJACENT STRUCTURE.
- WRITTEN DIMENSIONS REFER TO FACE OF FINISH OR CENTER-LINE UNLESS OTHERWISE NOTED. EXTERIOR WALLS ARE DIMENSIONED TO FACE OF SHEATHING, U.O.N.
- DIMENSIONS ARE TO TOP OF FINISHED FLOOR, SLAB OR DECK IN SECTION OR ELEVATION, UNLESS NOTED.
- "SIM." OR "SIMILAR" MEANS COMPARABLE ATTRIBUTES FOR THE ITEM NOTED. VERIFY DIMENSIONS & ORIENTATION ON PLAN.
- "TYP." OR "TYPICAL" MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED.
- DIMENSIONS NOTED "CLR" OR "CLEAR" ARE MINIMUM REQUIRED DIMENSIONS. CLEARANCES MUST BE ACCURATELY MAINTAINED.
- CONTRACTOR TO VERIFY DIMENSIONS AND CONDITIONS IN FIELD. IF CONDITIONS ARE SIGNIFICANTLY DIFFERENT THAN REPRESENTED IN DRAWINGS, VERIFY CONDITIONS WITH DESIGNER.
- ALL MATERIALS & EQUIPMENT TO BE NEW UNLESS OTHERWISE NOTED.
- ALL MATERIALS & EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- WINDOW AND DOOR SIZES ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER'S SPECIFICATIONS FOR ACTUAL ROUGH OPENINGS.
- WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED, THEY SHALL BE CENTERED IN THE WALL OR PLACED TWO STUD WIDTHS FROM ADJACENT WALL AS INDICATED ON DRAWINGS, UNLESS OTHERWISE NOTED.
- ALL CHANGES IN FLOOR MATERIAL SHALL OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- SEALANT, CAULKING, FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.
- ALL ATTICS, RAFTER SPACES, SOFFITS, CRAWL SPACES, ETC. TO BE FULLY VENTILATED PER APPLICABLE CODE.
- PROVIDE WOOD BLOCKING FOR ALL TOWEL BARS, ACCESSORIES, ETC.
- MEET ALL CALIFORNIA ENERGY CONSERVATION REQUIREMENTS INCLUDING BUT NOT LIMITED TO:
  - MIN. ROOF/CEILING INSULATION R-19
  - MIN. WALL INSULATION IN FRAMED EXTERIOR WALLS R-13
  - MIN. FLOOR INSULATION OVER CRAWL/UNOCCUPIED SPACES R-13
  - ALL INSULATION TO MEET CEC QUALITY STANDARDS
  - INFILTRATION CONTROL:
    - DOORS AND WINDOWS WEATHER-STRIPPED.
    - EXHAUST SYSTEMS DAMPENED.
    - DOORS AND WINDOWS CEC CERTIFIED AND LABELED.
    - ALL JOINTS AND PENETRATIONS CAULKED AND SEALED.
  - DUCTS CONSTRUCTED AND INSTALLED PER UMC.
  - ELECTRICAL OUTLET PLATE GASKETS SHALL BE INSTALLED ON ALL RECEPTACLES, SWITCHES AND ELECTRICAL BASES ON EXTERIOR WALLS.
- SMOKE ALARMS ARE TO BE INSTALLED IN ALL SLEEPING ROOMS. SMOKE ALARMS SHALL BE HARDWIRED TO 110V HOUSE WIRING AND WIRED TOGETHER IN SERIES. MINIMUM ONE ALARM PER STORY. REFER TO PLANS FOR LOCATIONS.
- GENERAL CONTRACTOR IS TO COORDINATE INSTALLATION OF NOT IN CONTRACT ITEMS WITH OTHER TRADES.
- LOCATION/SPECIFICATION OF SAFETY GLAZING (TEMPERED GLASS) ARE SOLE RESPONSIBILITY OF CONTRACTOR. ALL DOORS WITH GLAZING AND ALL GLAZING OF WINDOWS WITHIN 24" OF EDGE OF ANY DOOR SHALL BE TEMPERED GLASS (UBC SECTION 2406)

**108 DOLTON AVENUE**  
**Title Sheet**

**SF modern**  
 DESIGN - CONSTRUCTION DEVELOPMENT

Bich-Khoi Do  
 SENIOR PROJECT MANAGER

SF MODERN | General Contractor | License # 995405  
 BICH-KHOI DO | bk@sfmodern.com | 650-281-4832  
 1180 San Carlos Ave #940, San Carlos CA 94070

NO.	DATE	REVISIONS
1	07/04/24	Version 1
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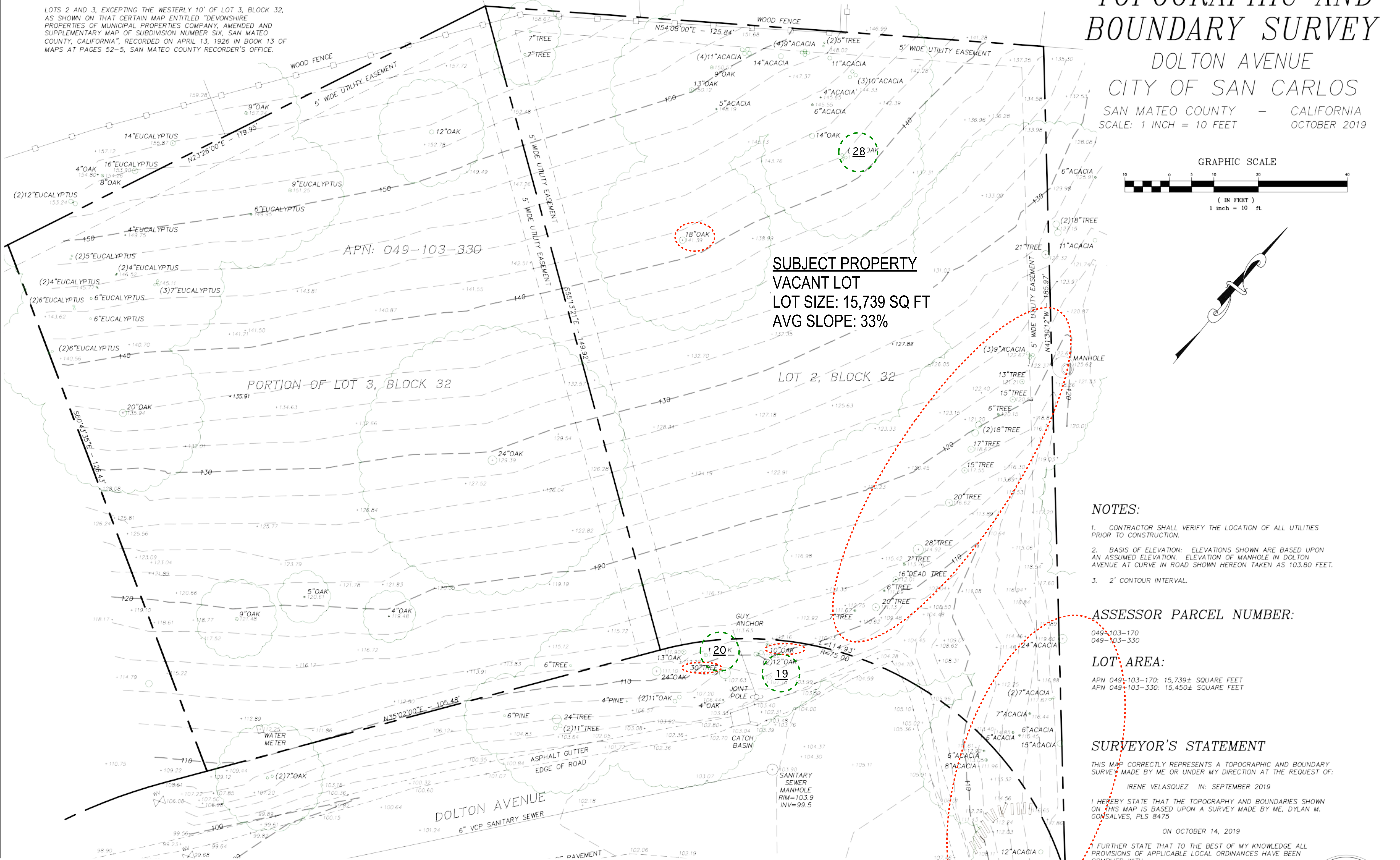
**LEGAL DESCRIPTION**

LOTS 2 AND 3, EXCEPTING THE WESTERLY 10' OF LOT 3, BLOCK 32, AS SHOWN ON THAT CERTAIN MAP ENTITLED "DEVONSHIRE PROPERTIES OF MUNICIPAL PROPERTIES COMPANY, AMENDED AND SUPPLEMENTARY MAP OF SUBDIVISION NUMBER SIX, SAN MATEO COUNTY, CALIFORNIA", RECORDED ON APRIL 13, 1926 IN BOOK 13 OF MAPS AT PAGES 52-5, SAN MATEO COUNTY RECORDER'S OFFICE.

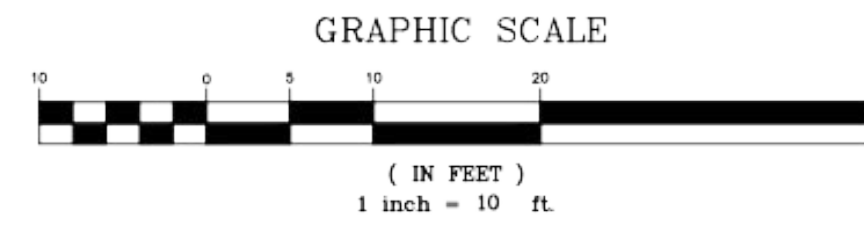
**TOPOGRAPHIC AND BOUNDARY SURVEY**

DOLTON AVENUE  
CITY OF SAN CARLOS  
SAN MATEO COUNTY - CALIFORNIA  
SCALE: 1 INCH = 10 FEET  
OCTOBER 2019

**DMG ENGINEERING, Inc.**  
30 OAKVUE COURT  
PLEASANT HILL, CA 94523  
PHONE: (925) 787-0463  
FAX: (925) 287-8503



**SUBJECT PROPERTY**  
VACANT LOT  
LOT SIZE: 15,739 SQ FT  
AVG SLOPE: 33%



**NOTES:**

- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- BASIS OF ELEVATION: ELEVATIONS SHOWN ARE BASED UPON AN ASSUMED ELEVATION. ELEVATION OF MANHOLE IN DOLTON AVENUE AT CURVE IN ROAD SHOWN HEREON TAKEN AS 103.80 FEET.
- 2' CONTOUR INTERVAL.

**ASSESSOR PARCEL NUMBER:**

049-103-170  
049-103-330

**LOT AREA:**

APN 049-103-170: 15,739± SQUARE FEET  
APN 049-103-330: 15,450± SQUARE FEET

**SURVEYOR'S STATEMENT**

THIS MAP CORRECTLY REPRESENTS A TOPOGRAPHIC AND BOUNDARY SURVEY MADE BY ME OR UNDER MY DIRECTION AT THE REQUEST OF IRENE VELASQUEZ IN: SEPTEMBER 2019  
I HEREBY STATE THAT THE TOPOGRAPHY AND BOUNDARIES SHOWN ON THIS MAP IS BASED UPON A SURVEY MADE BY ME, DYLAN M. GONSALVES, PLS 8475  
ON OCTOBER 14, 2019  
FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE LOCAL ORDINANCES HAVE BEEN COMPLIED WITH.

*Dylan M. Gonsalves*  
DYLAN M. GONSALVES  
10-25-2019  
DATE



- - - - -	Trees to be removed
(2) 4" Acacia	8" Acacia
(3) 6" Acacia	12" Acacia
(2) 7" Acacia	15" Acacia
(3) 9" Acacia	24" Acacia
(2) 12" Eucalyptus	8" Oak
(2) 4" Eucalyptus	10" Oak
(2) 6" Eucalyptus	12" Oak
(2) 7" Eucalyptus	15" Oak
(3) 7" Eucalyptus	18" Oak
(2) 4" Eucalyptus	24" Oak
(2) 5" Eucalyptus	15 Other trees
(2) 6" Eucalyptus	(Non-significant)

- - - - -	Trees to be protected
Preserve Existing Trees:	
(#19) 16.5"/8.3" Coast Live Oak	
(#20) 12" Coast Live Oak	
(#28) 15.5" Valley Oak	
Refer to Arborist's Report for more information	

- NOTES:**
- TREES INDICATED FOR REMOVAL WILL BE MULCHED AND RE-USED ON THE PROJECT.
  - LEAVE ROOTS FOR SOIL STABILIZATION.
  - TREE REMOVAL AREAS TO BE COVERED WITH 3" MULCH.

NO.	DATE	DESCRIPTION	BY

**TOPOGRAPHIC AND BOUNDARY SURVEY**  
DOLTON AVENUE  
CITY OF SAN CARLOS - CALIFORNIA  
SCALE: 1 INCH = 10 FEET  
OCTOBER 2019

SHEET 1  
OF 1 SHEETS  
ORIG.DWG: 10-25-2019  
REV.DWG: 3-9-2021  
JOB: 19-126

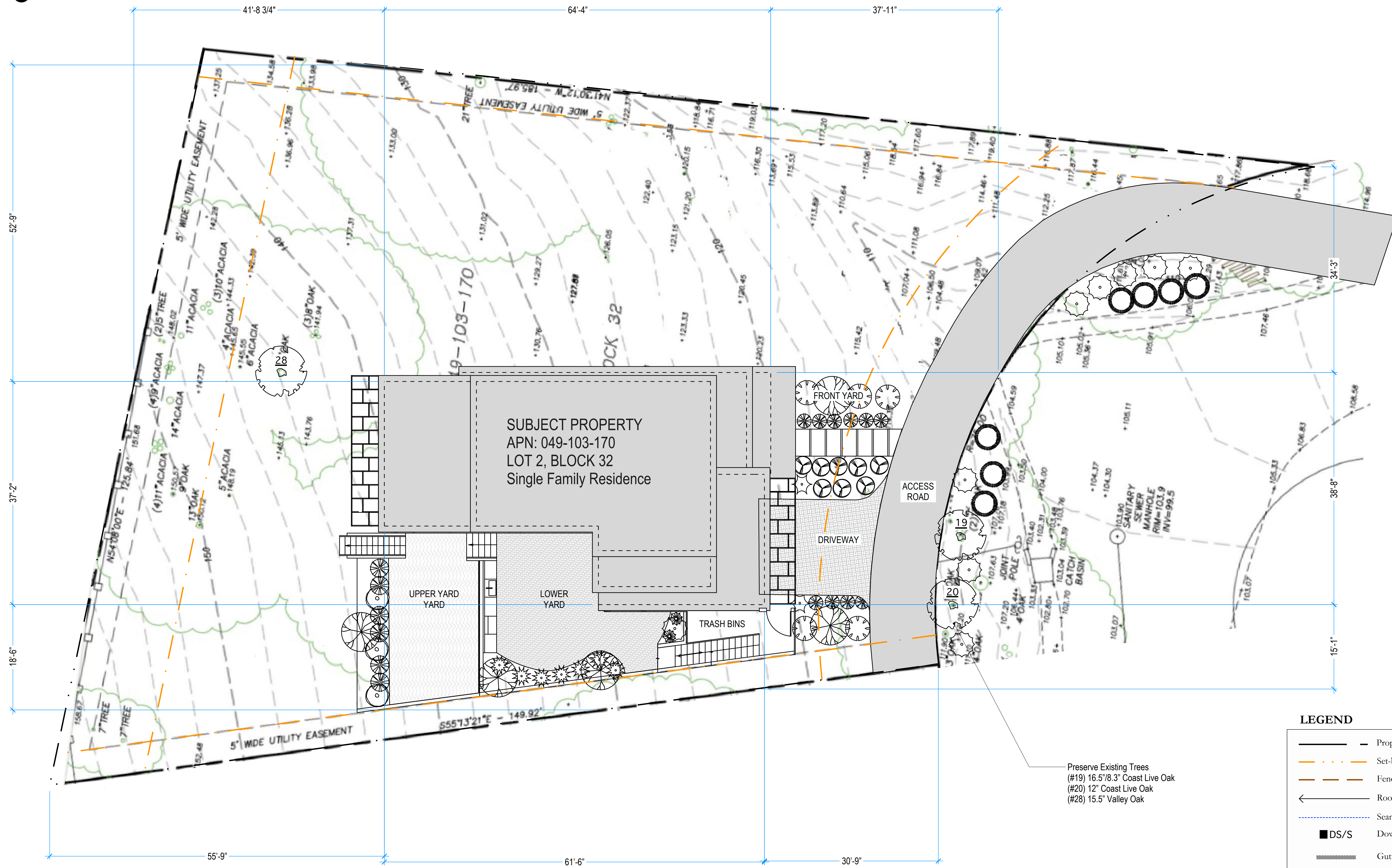
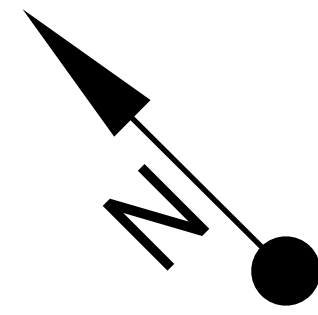
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**SF modern**  
DESIGN - CONSTRUCTION - DEVELOPMENT  
*Brenda*  
SUNSHINE REALTY GROUP

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BICI-KHOLIDO | bh@smodern.com | 650-281-4832  
1180 San Carlos Ave #940, San Carlos CA 94070

**108 DOLTON AVENUE**  
Survey Plan / Existing Site





Preserve Existing Trees  
 (#19) 16.5/8.3' Coast Live Oak  
 (#20) 12' Coast Live Oak  
 (#28) 15.5' Valley Oak

**LEGEND**

- Property Line
- Set-back Line
- Fence, 6' H
- Roof slope 1/4" H : 1' L
- Seam in roof geometry
- Downspout or Scupper
- Gutter
- Roof drain w/overflow
- Skylight

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**108 DOLTON AVENUE**  
**Site Plan - Proposed**








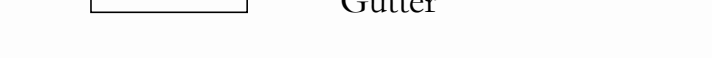

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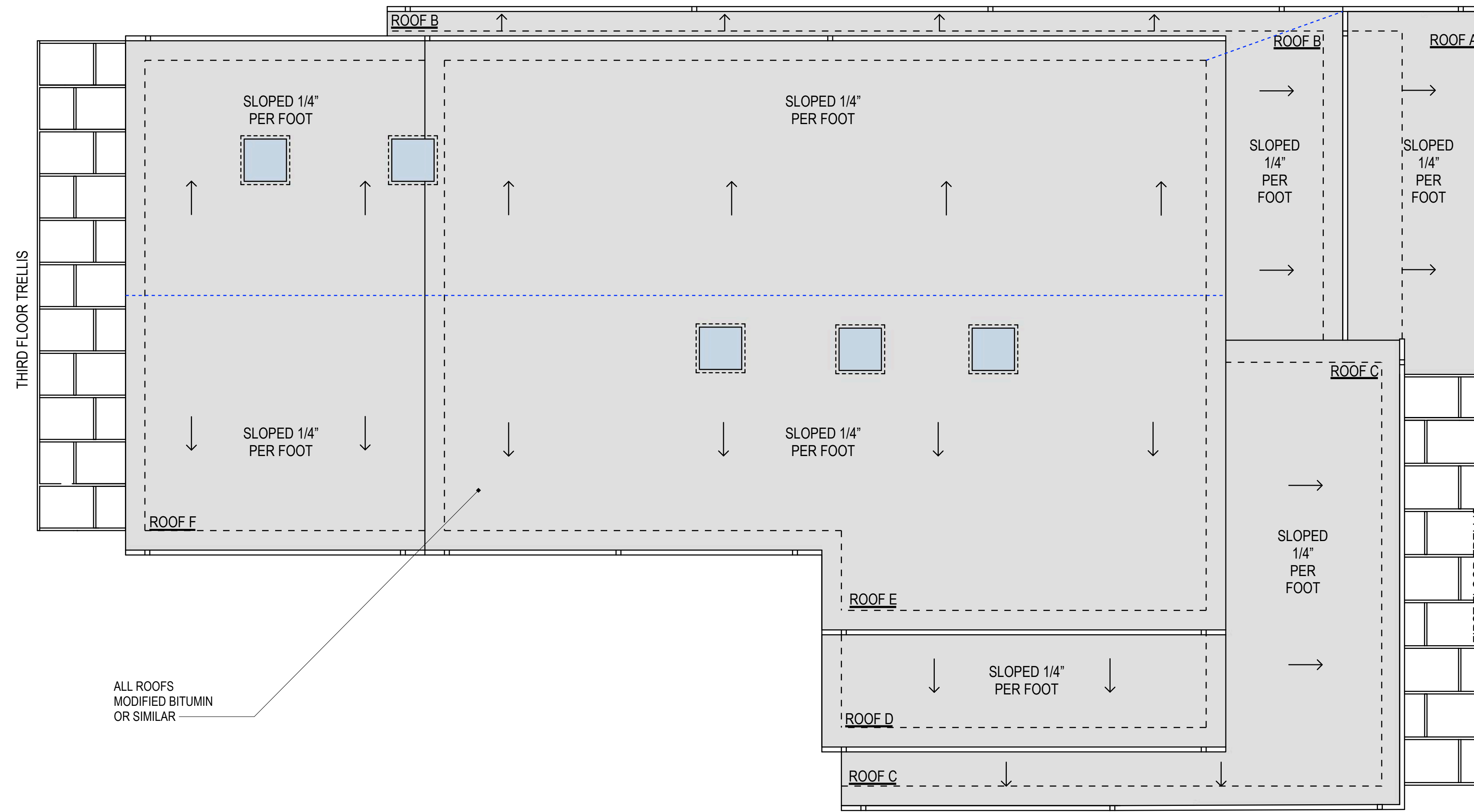
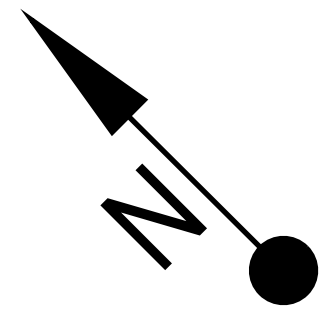


# 1 ROOF PLAN - PROPOSED

SCALE: 1/4" = 1'

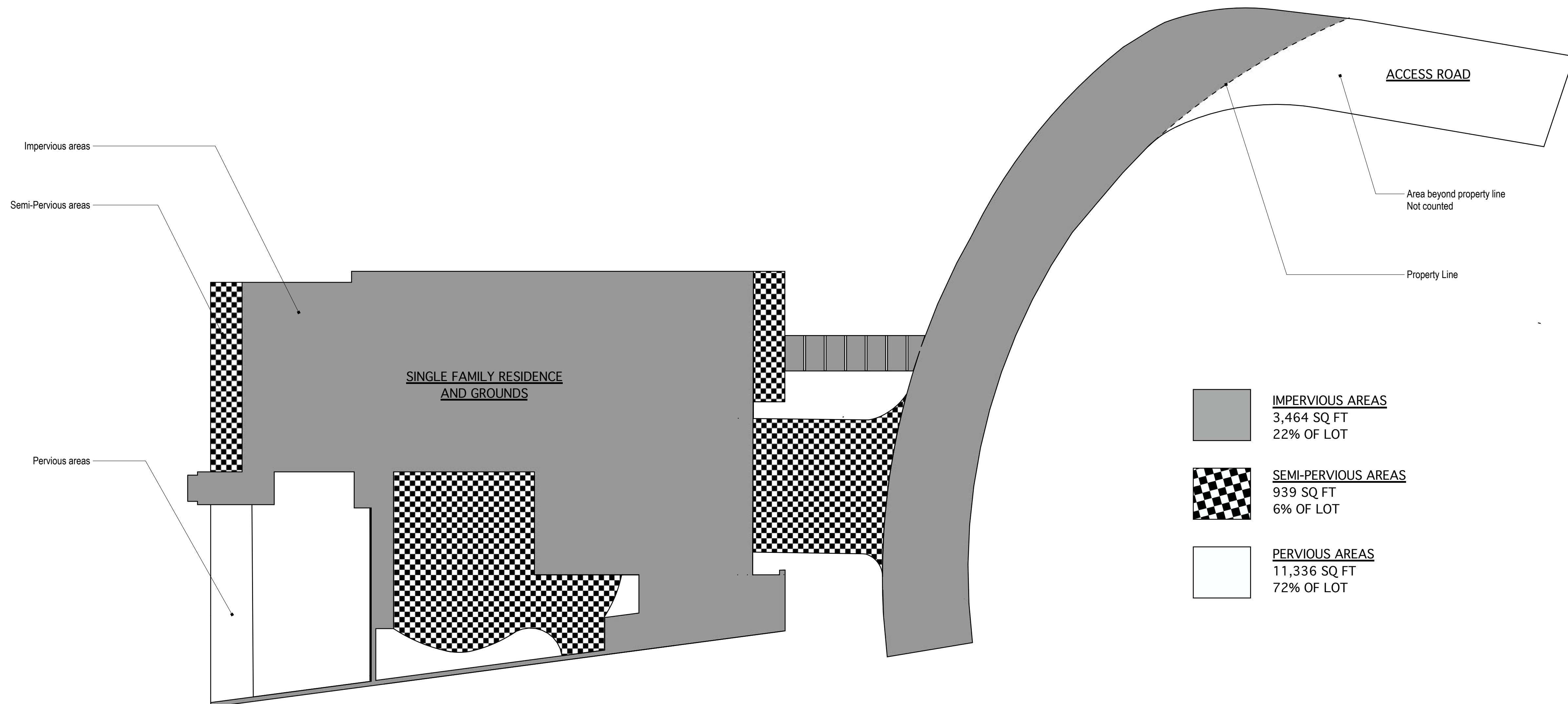
## LEGEND

-  Property Line
-  Set-back Line
-  Fence, 6' H
-  Roof slope 1/4" H : 1' L
-  Seam in roof geometry
-  Downspout or Scupper
-  Gutter
-  Roof drain w/overflow
-  Skylight



# 2 FOOTPRINT - PROPOSED

SCALE: 1/8" = 1'



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*Blenda*  
SUNSHINE ARCHITECTURE

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 1180 San Carlos Ave #940, San Carlos CA 94070

## 108 DOLTON AVENUE Roof Plan, Footprint

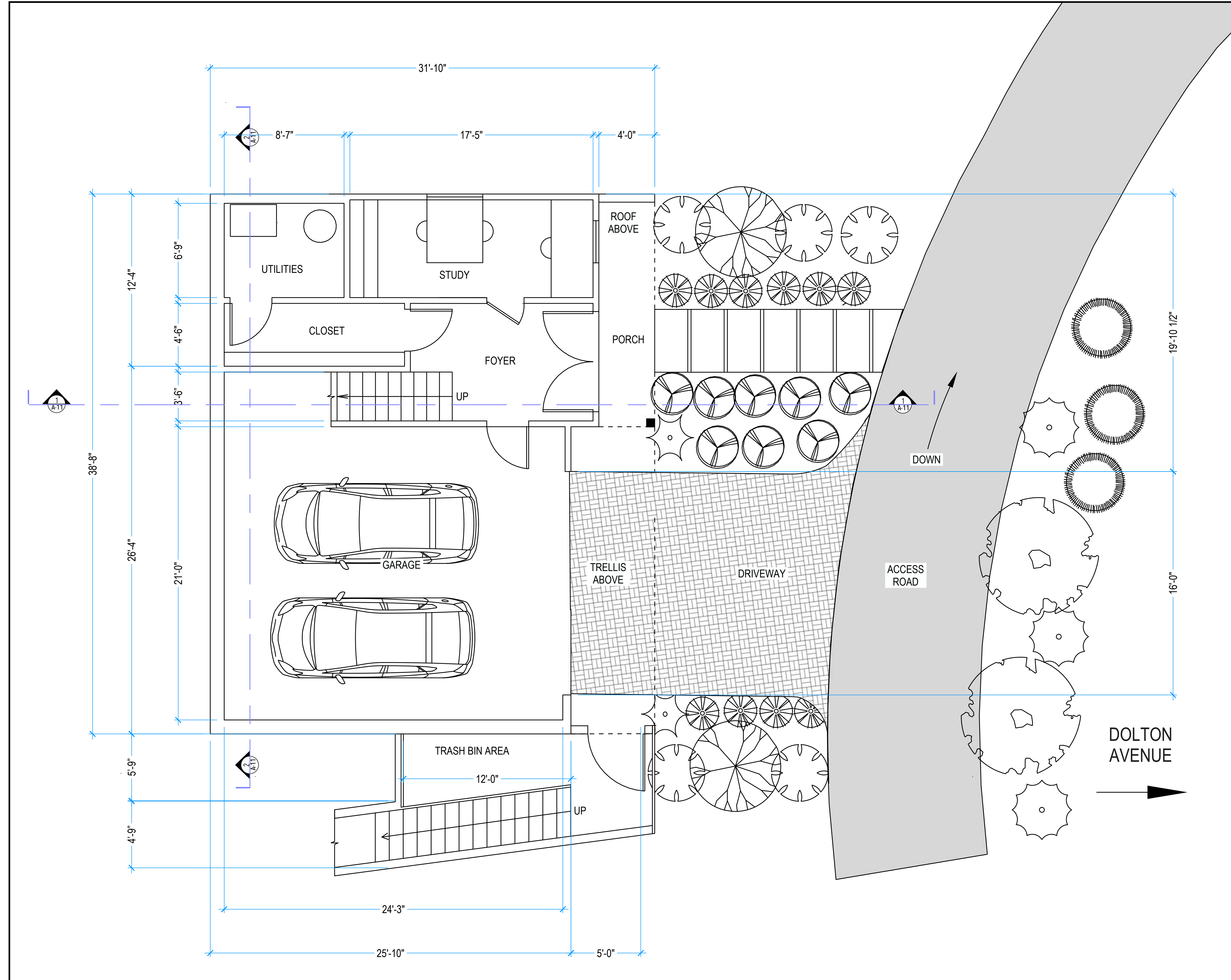
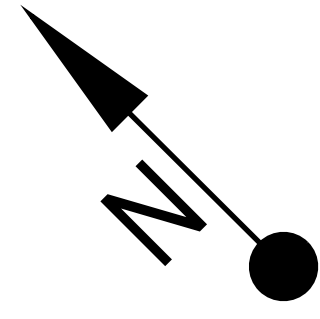


CONDITIONED: 3,605 SQ FT  
 1ST FLOOR: 434 SQ FT  
 2ND FLOOR: 1,613 SQ FT  
 3RD FLOOR: 1,558 SQ FT

UNCONDITIONED: 598 SQ FT

TOTAL INTERIOR: 4,203 SQ FT

COVERED PORCH: 67 SQ FT



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**108 DOLTON AVENUE**  
**Floor Plans**

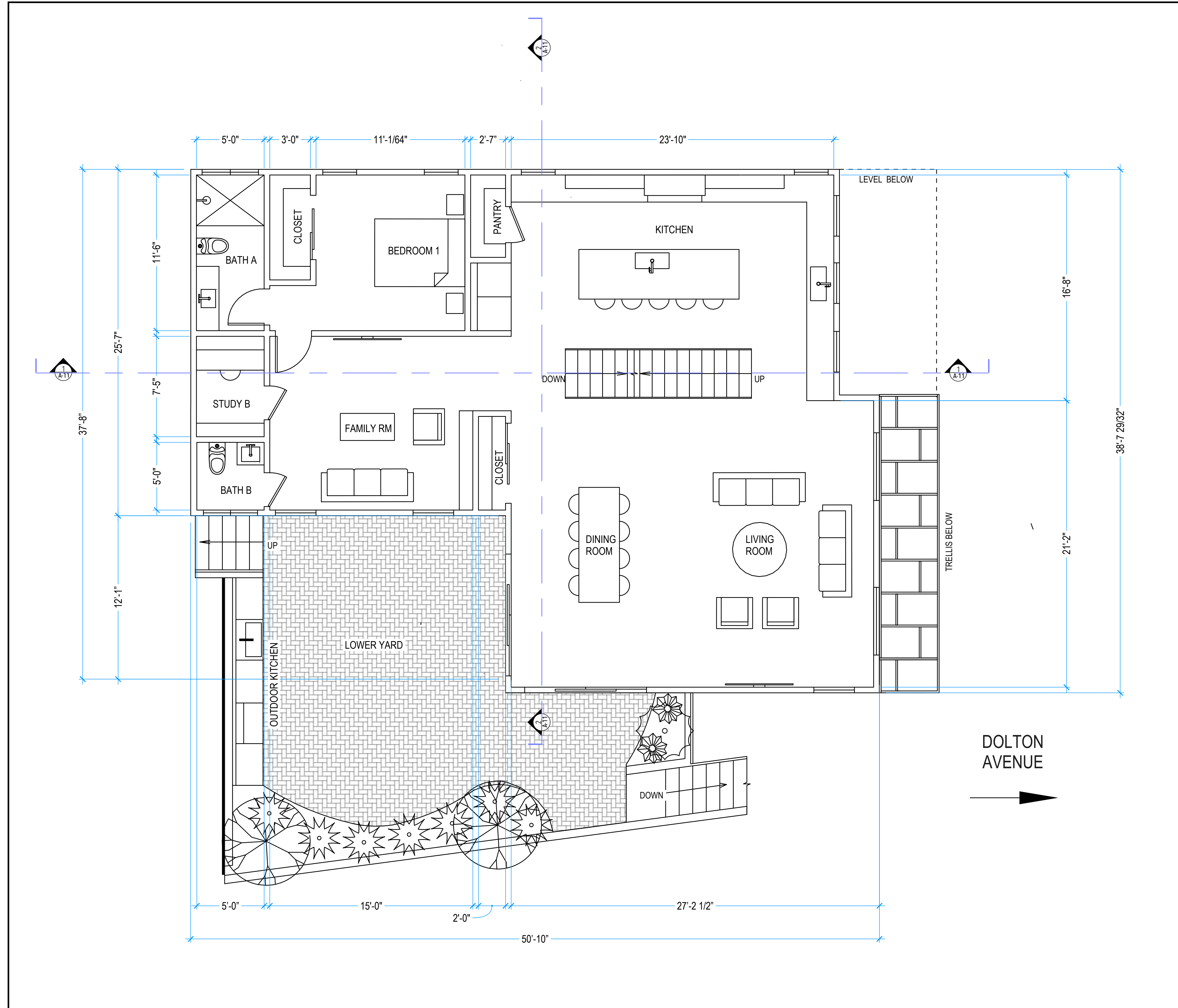
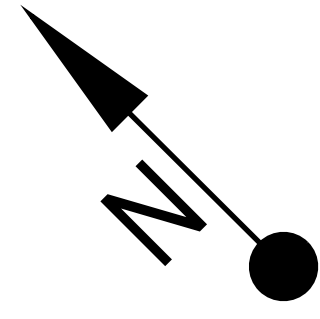


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DOLTON AVENUE

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**108 DOLTON AVENUE**  
**Floor Plans**



**X FLOOR 3**

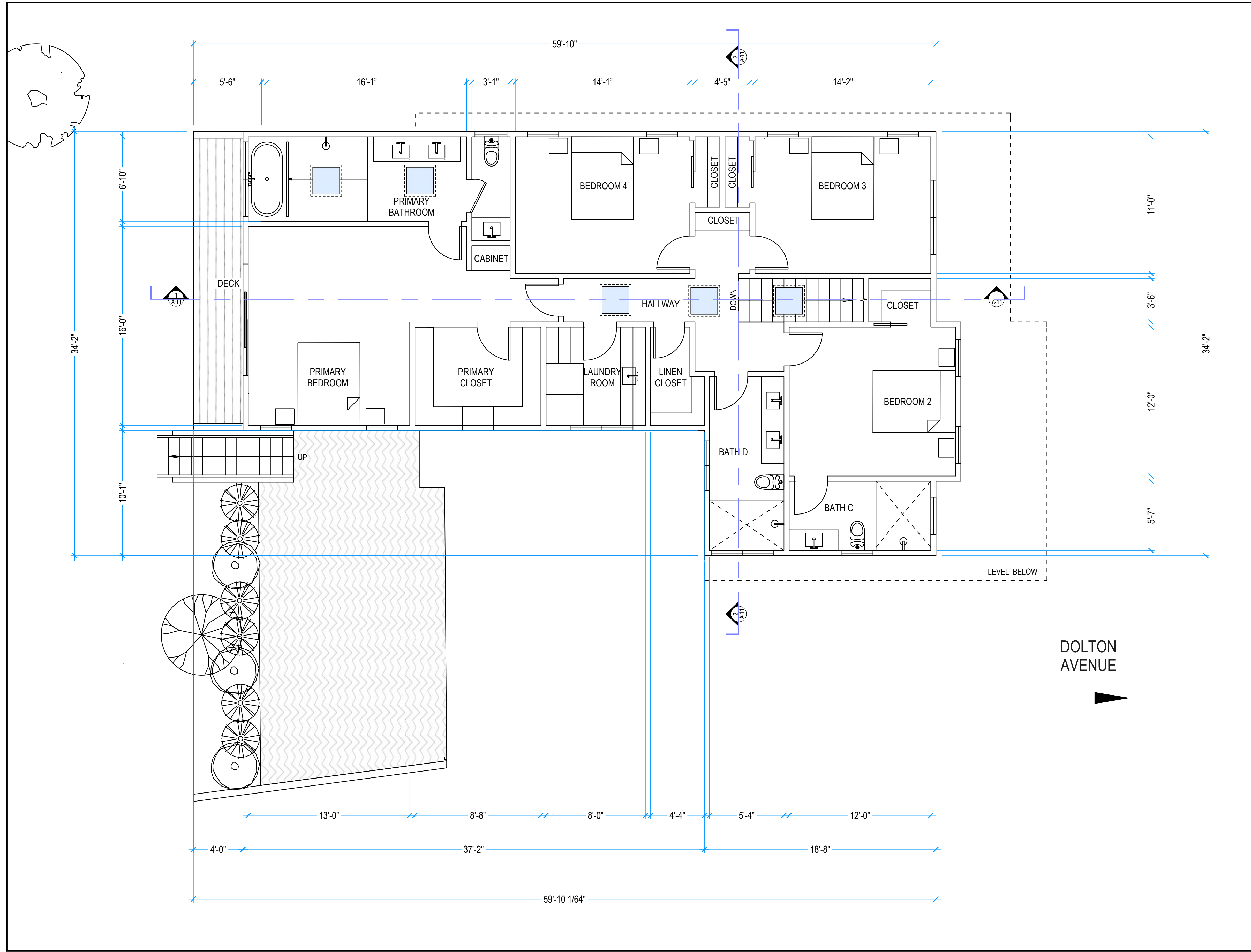
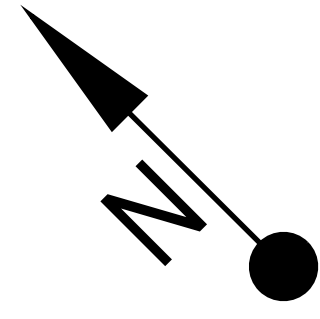
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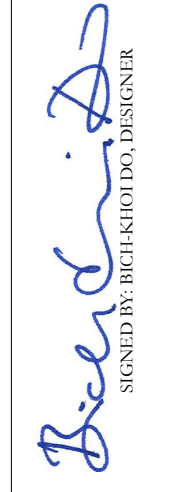
DOLTON AVENUE

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DESIGN - CONSTRUCTION - DEVELOPMENT



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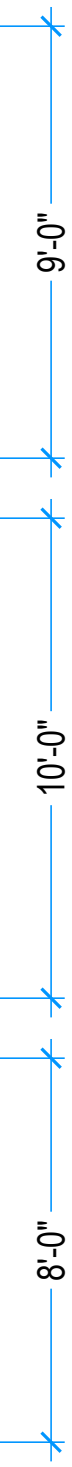
**108 DOLTON AVENUE**  
**Floor Plans**



# 1 EAST ELEVATION (FRONT)

SCALE: 1/4" = 1'

●	TOP ROOF	151
●	CEILING 3RD FL	149.5
●	FLOOR 3RD FL	140.5
●	CEILING 2ND FL	139.25
●	FLOOR 2ND FL	129.25
●	CEILING 1ST FL	128
●	FLOOR 1ST FL	120



PROPERTY LINE

DAYLIGHT PLANE



# 2 WEST ELEVATION (REAR)

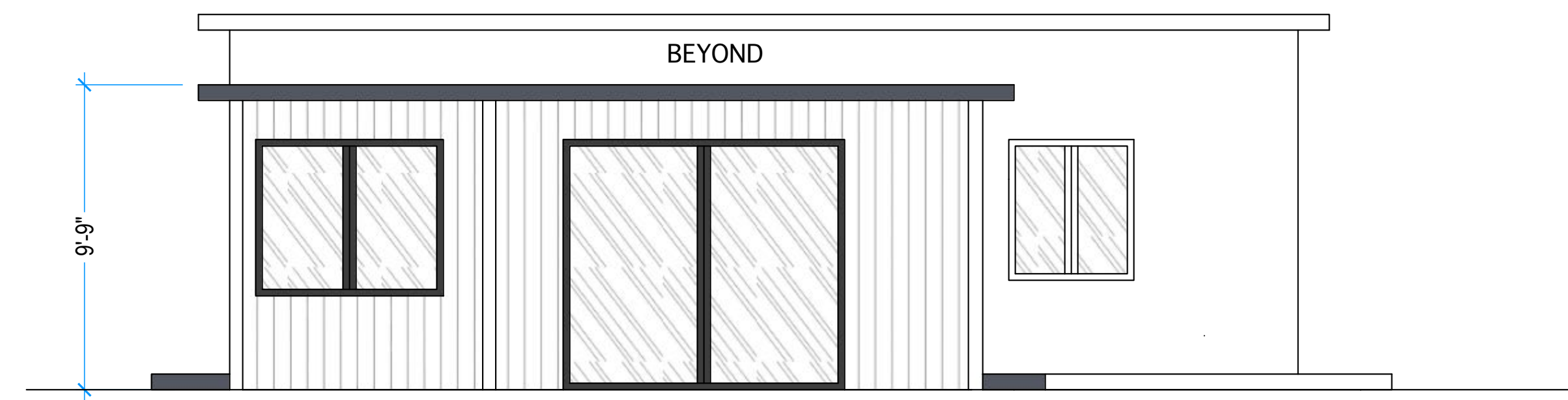
SCALE: 1/4" = 1'

●	TOP ROOF	151
●	CEILING 3RD FL	149.5
●	FLOOR 3RD FL	140.5
●	CEILING 2ND FL	139.25



PROPERTY LINE

DAYLIGHT PLANE



REVISIONS

NO.	DATE	DESCRIPTION
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3		
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SF MODERN

DESIGN - CONSTRUCTION - DEVELOPMENT

*Brenda*  
SOFIA B. BENDIS, ARCHITECT

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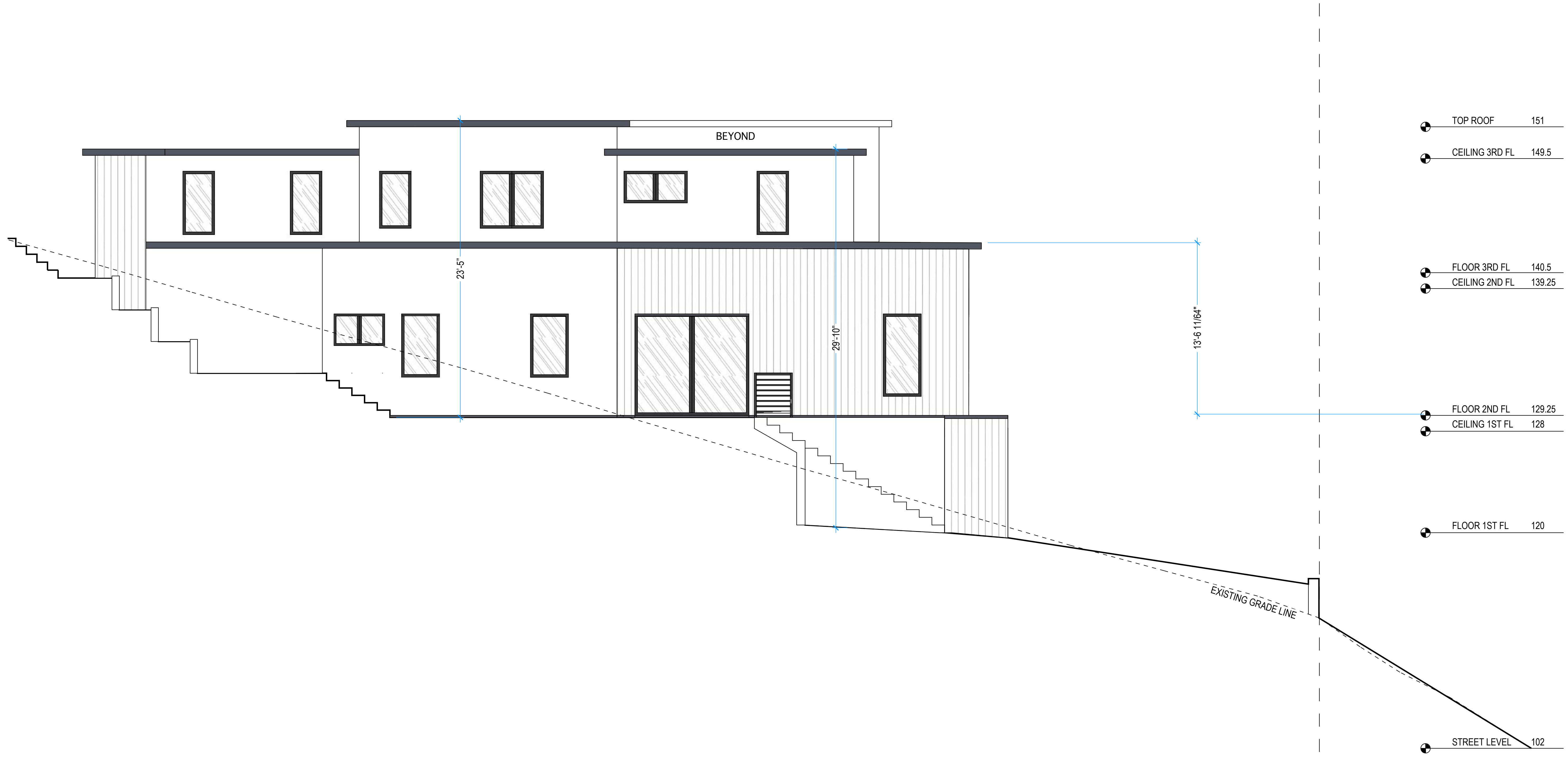
108 DOLTON AVENUE  
Elevations

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07



**X NORTH ELEVATION (RIGHT)**  
SCALE: 1/4" = 1'



●	TOP ROOF	151
●	CEILING 3RD FL	149.5
9'-0"		
●	FLOOR 3RD FL	140.5
●	CEILING 2ND FL	139.25
10'-0"		
●	FLOOR 2ND FL	129.25
●	CEILING 1ST FL	128
8'-0"		
●	FLOOR 1ST FL	120
8'-0"		
●	STREET LEVEL	102

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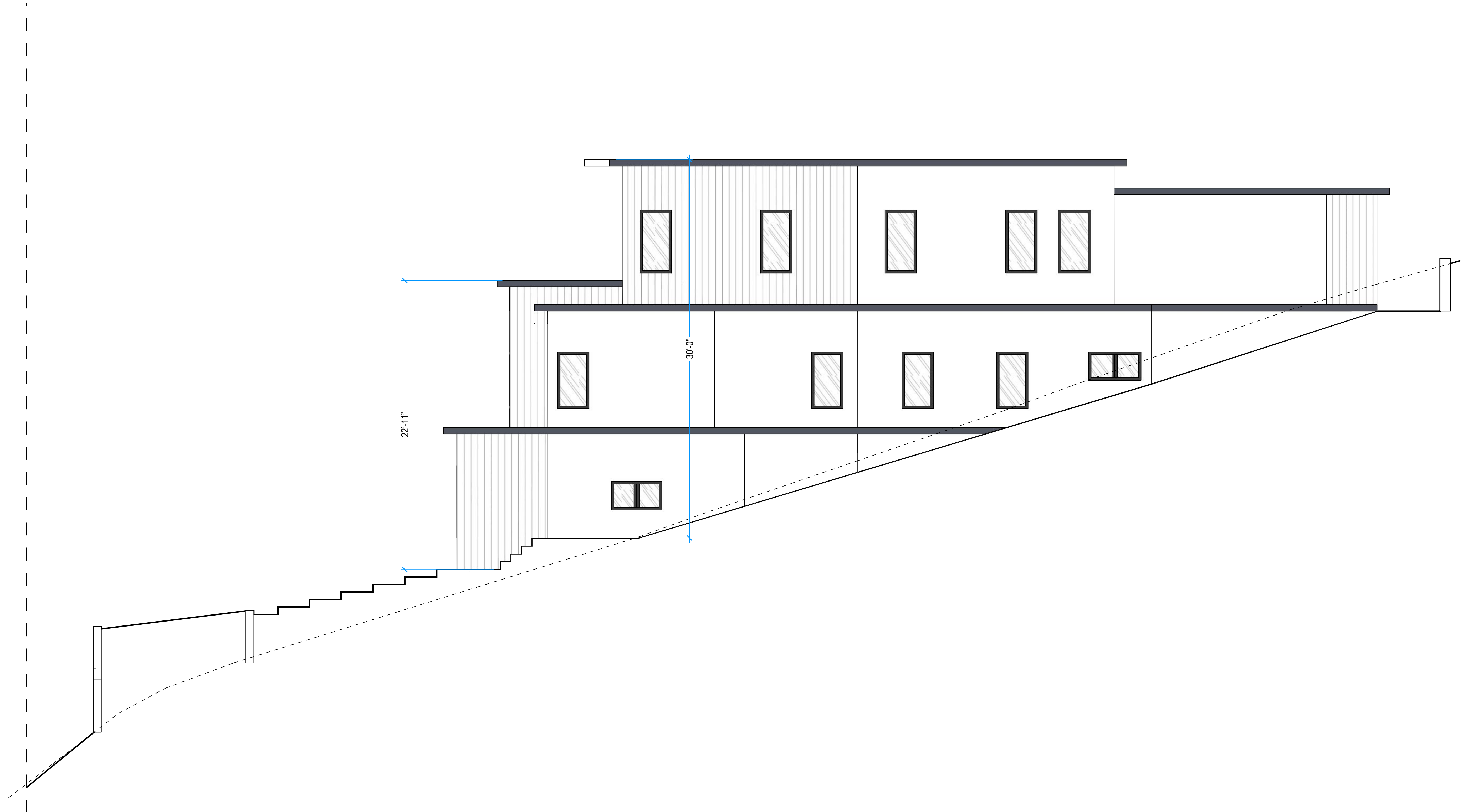
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**108 DOLTON AVENUE**  
Elevations



**X SOUTH ELEVATION (LEFT)**  
SCALE: 1/4" = 1'

●	TOP ROOF	151
●	CEILING 3RD FL	149.5
●	FLOOR 3RD FL	140.5
●	CEILING 2ND FL	139.25
●	FLOOR 2ND FL	129.25
●	CEILING 1ST FL	128
●	FLOOR 1ST FL	120
●	STREET LEVEL	102



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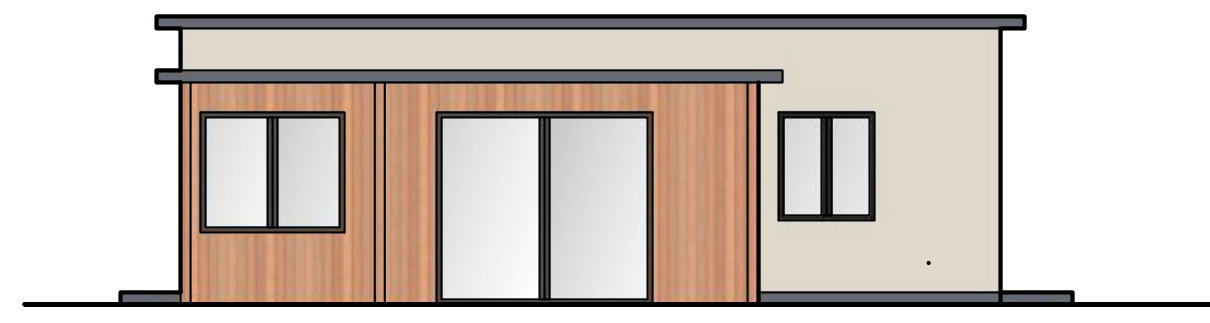
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**108 DOLTON AVENUE**  
Elevations



# 1 COLOR ELEVATIONS

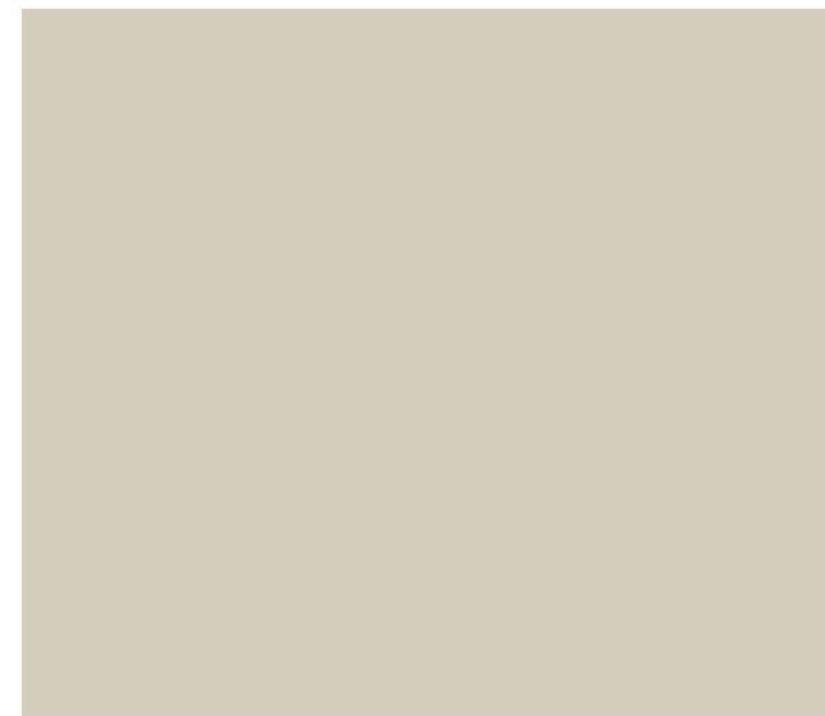


# 2 PROPOSED MATERIALS & COLORS



**SIDING**

ARBOR WOOD COMPANY  
THERMALLY MODIFIED WOOD SIDING  
NATURAL ASH - NO FINISH



**STUCCO**

SHERWIN WILLIAMS  
SW 7541  
GRECIAN IVORY



**TRIM**

SHERWIN WILLIAMS  
SW 2740  
MINERAL GRAY

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4	-/-/-	-/-/-
5	-/-/-	-/-/-

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**108 DOLTON AVENUE**  
Colors





**108 DOLTON AVENUE**  
**Renderings**

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 SENIOR ARCHITECTURAL DESIGNER

REVISIONS

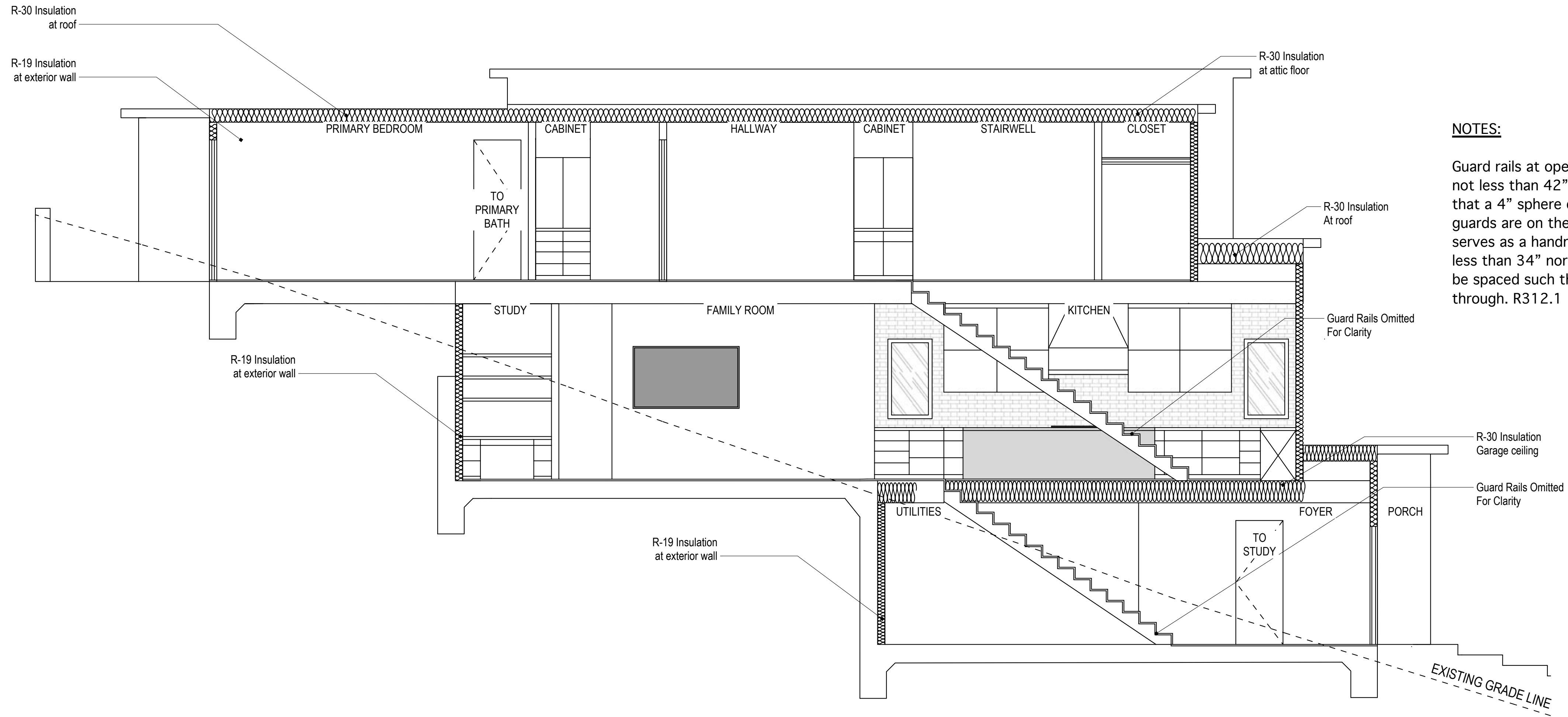
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3	-/-/-	-/-/-
4	-/-/-	-/-/-
5	-/-/-	-/-/-



# 1 FRONT-TO-BACK SECTION

SCALE: 1/4" = 1'

●	TOP ROOF	151	
●	CEILING 3RD FL	149.5	9'-0"
●	FLOOR 3RD FL	140.5	
●	CEILING 2ND FL	139.25	10'-0"
●	FLOOR 2ND FL	129.25	
●	CEILING 1ST FL	128	8'-0"
●	FLOOR 1ST FL	120	



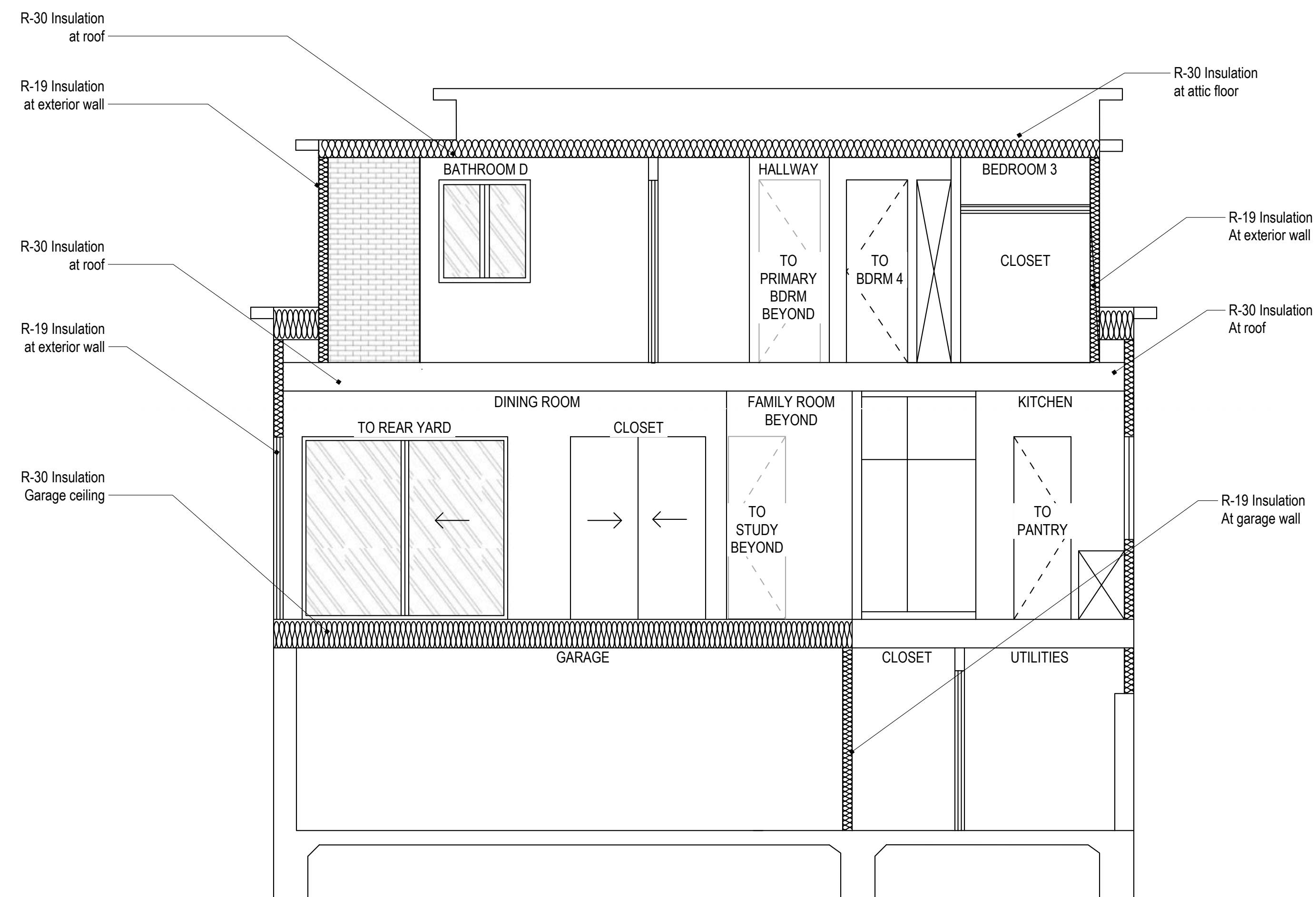
**NOTES:**

Guard rails at open-sided walking surfaces shall be not less than 42" in height with guards spaced such that a 4" sphere cannot pass through— unless the guards are on the open sides of stairs or also serves as a handrail— then the height shall not be less than 34" nor higher than 38". The guards shall be spaced such that a 4" sphere cannot pass through. R312.1

# 2 LEFT-TO-RIGHT SECTION

SCALE: 1/4" = 1'

●	TOP ROOF	151	
●	CEILING 3RD FL	149.5	9'-0"
●	FLOOR 3RD FL	140.5	
●	CEILING 2ND FL	139.25	10'-0"
●	FLOOR 2ND FL	129.25	
●	CEILING 1ST FL	128	8'-0"
●	FLOOR 1ST FL	120	



**NOTES:**

Guard rails at open-sided walking surfaces shall be not less than 42" in height with guards spaced such that a 4" sphere cannot pass through— unless the guards are on the open sides of stairs or also serves as a handrail— then the height shall not be less than 34" nor higher than 38". The guards shall be spaced such that a 4" sphere cannot pass through. R312.1

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**108 DOLTON AVENUE**  
Sections







# 1 PLANTS LIST

ID	Botanical Name	Common Name	Water Use	ET %	Light level	Sunset / USDA Zone	Growth	Size	QTY (B)	Factor	Product (A)
1	Achillea millefolium (CA native cultivars) 'Salmon Beauty'	Salmon Yarrow	Low	10-30	Sun to part shade, most soils	Sunset: 1-24, A1-3	Growth: 1-3 feet tall and wide	5 Gallon	6	0.2	1.2
2	Arctostaphylos bakeri 'Louis Edmunds'	Manzanita with pink flowers	Low	10-30	Sun to part shade, well-drained soils	Sunset: 4-9, 14-17	Growth: 5-6 feet tall and wide	5 Gallon	5	0.2	1
3	Frangula californica and cvs. (Rhamnus californica)	coffeeberry	Low	10-30	Sun or part shade	Sunset 3a-10, 14-24	Growth: 4-8 ft tall and wide	15 Gallon	3	0.2	0.6
4	Rhaphiolepis indica 'Springtime'	India Hawthorn 'Springtime'	Low	10-30	Sun or partial shade	Sunset Zone: 4-10, 12-24	4-6 ft tall and wide	5 Gallon	9	0.2	1.8
5	Quercus Douglas	Blue Oak	Low	10-30	Sun to partial shade	Sunset: 3-11, 14-24	Growth: 30-60 feet tall and wide	24" Box	1	0.2	0.2
6	Daphne odora 'Marginata' ('Aureo-marginata')	Winter Daphne	Low	10-30	Partial Shade	Sunset Zone: 4-10, 12, 14-24	3-4 feet tall and wide	5 Gallon	2	0.2	0.4
7	Chilopsis linearis	Desert Willow	Low	10-30	Full sun	Sunset: 3b, 7-14, 18-23	Fast growing 15-30 feet tall and 10-20 feet wide	24" Box	1	0.2	0.2
8	Arctostaphylos uva-ursi 'Point Reyes'	Pt. Reyes manzanita	Low	10-30	Sun or partial shade	Sunset: 1-9, 14-24, A1-3	12-18 inches tall and 6-8 feet wide	1 Gallon	6	0.2	1.2
9	Cercis Occidentalis	Western Redbud	Low	10-30	Sun, part shade	Sunset: 1-9, 12, 14-24	Growth: 10-20 feet tall and 10-15 feet wide	24" Box	2	0.2	0.4
10	Elymus triticoides (Leymus triticoides)	Creeping wild rye, Rio variety is most robust	Low	10-30	Sun to part shade, most soils	Sunset: N/A	Growth: 18-51 inches tall. Plant every 2'-3'	1 Gallon	8	0.2	1.6
11	Hesperaloe parviflora	Red Yucca	Low	10-30	Sun or partial shade	Sunset: 2B, 3, 7-16, 18-24	Growth: 3-4 ft tall and wide	1 Gallon	10	0.2	2
12	Arctostaphylos manzanita	Common Manzanita	Low	10-30	Sun to part shade, most well-drained soils	Sunset: 4-9, 14-24	Growth: evergreen shrub, upright to 10-15 feet tall and 10-12 feet	24" Box	1	0.2	0.2
13	Bougainvillea spp.	Bougainvillea	Low	10-30	Sun, most well-drained soils	Sunset: 12-17, 19, 21-24	Growth: 15-30 feet tall	15 Gallon	2	0.2	0.4
14	Iva hayesiana	Poverty weed	Low	<10	Sun to part shade, most soils		Growth: 2-3 feet tall and 5-8 feet wide	1 Gallon	7	0.2	1.4
<b>TOTAL</b>									<b>56</b>		<b>11.2</b>

# 2 NOTES

- 1) A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- 2) TURF SHALL NOT EXCEED 25% OF THE LANDSCAPE AREA IN RESIDENTIAL AREAS.
- 3) NO TURF PERMITTED IN NON-RESIDENTIAL AREAS.
- 4) TURF NOT PERMITTED ON SLOPES GREATER THAN 25%.
- 5) TURF PROHIBITED IN PARKWAYS LESS THAN 10 FEET WIDE.
- 6) AUTOMATIC WEATHER-BASED OR SOIL-MOISTURE BASED IRRIGATION CONTROLLERS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM.
- 7) PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE PRESSURE RANGE OF CONNECTION OF THE WATER SUPPLY.
- 8) AREAS LESS THAN 10-FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.
- 9) FOR NON-RESIDENTIAL PROJECTS WITH LANDSCAPE ARAS OF 1,000 SQ. FT. OR MORE, PRIVATE SUBMETER(S) TO MEASURE LANDSCAPE WATER USE SHALL BE INSTALLED.
- 10) AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION.
- 11) UNLESS CONTRAINDICATED BY SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR DEPTH OF SIX INCHES INTO THE SOIL.
- 12) UNLESS CONTRAINDICATED BY SOILS TEST, COMPOST AT A RATE OF MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQ. FT. OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
- 14) MANUAL SHUT-OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.

# 3 AVERAGE WUCOLS FACTOR CALCULATION

REFER TO PLANT LIST FOR (A) AND (B) VALUES

A = Sum of (Plant Factor x Quantity)	11.2
B = Total Quantity of Plants	56
A/B = Average WUCOLS Factor	0.20
Maximum Average WUCOLS Allowed	0.30

REVISIONS

REMARKS

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Brenda  
SUNSHINE IRRIGATION

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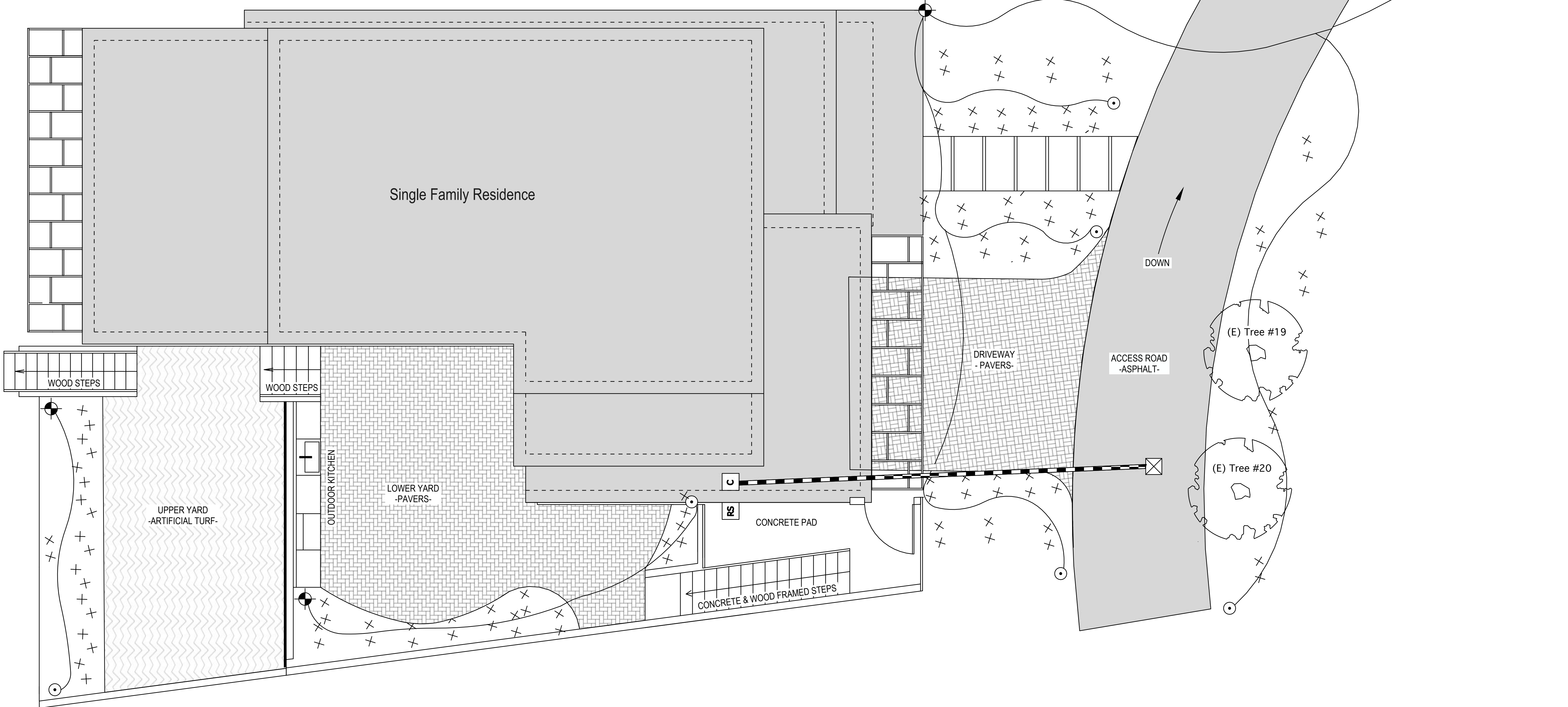
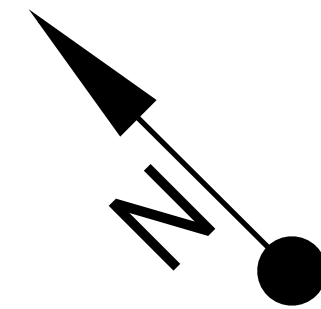
108 DOLTON AVENUE  
Plants List



**X IRRIGATION PLAN - PROPOSED**

SCALE: 1/4" = 1'

EXISTING LANDSCAPED AREA: 0 SQ FT  
NEW LANDSCAPED AREA: 1,012 SQ FT



**IRRIGATION LIST**

SYMBOL	SIZE	NAME / NOTES
☒	1"	WATER METER, MIN 15 GPM, 65 PSI
C		HUNTER X-CORE #XC-600i MOUNTED INSIDE GARAGE
RS		HUNTER SOLAR SYNC SENSOR MOUNTED TO WALL. RUN WIRE TO IRRIGATION CONTROLLER
⊙	1"	RAINBIRD VALVE #XACZ-100 PRF, ASVF WITH 1" PR #RBY FILTER. INSTALL PER LOCAL CODES USING A 1" PVC BALL VALVE
—	1"	MAINLINE SCH 40 PVC PIPE, 18" MIN DEPTH

SYMBOL	SIZE	NAME / NOTES
✕		RAINBIRD DRIP EMITTER, RAINBIRD #XB-10PC (BLACK) (1.0 GPH). PRESSURE COMPENSATING MODULE CONSTRUCTION
○	1/2"	AIR VALVE, RAINBIRD #ARV050 AIR RELIEF VALVE INSTALL IN CARSON R-910 VALVE BOX
⊙	1/2"	FLUSH VALVE, NETAFIM #TLFV-1, INSTALL IN A CARSON R-910 VALVE BOX
~	3/4"	BLACK POLY PLASTIC DISTRIBUTION LINE, STAKE EVERY 5'-0" O.C. USING WIRE U-STAKES

**NOTES**

- 1) AUTOMATIC WEATHER-BASED OR SOIL-MOISTURE BASED IRRIGATION CONTROLLERS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM.
- 2) PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
- 3) MANUAL SHUT-OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
- 4) AREAS LESS THAN 10-FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.
- 5) FOR NON-RESIDENTIAL PROJECTS WITH LANDSCAPE AREAS OF 1,000 SQ. FT. OR MORE, PRIVATE SUBMETER(S) TO MEASURE LANDSCAPE WATER USE SHALL BE INSTALLED.
- 6) AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION.
- 7) IRRIGATION CONTROLLER PROGRAMMING DATA WILL NOT BE LOST DUE TO AN INTERRUPTION IN THE PRIMARY POWER SOURCE.

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SUNSHINE IRRIGATION SERVICE

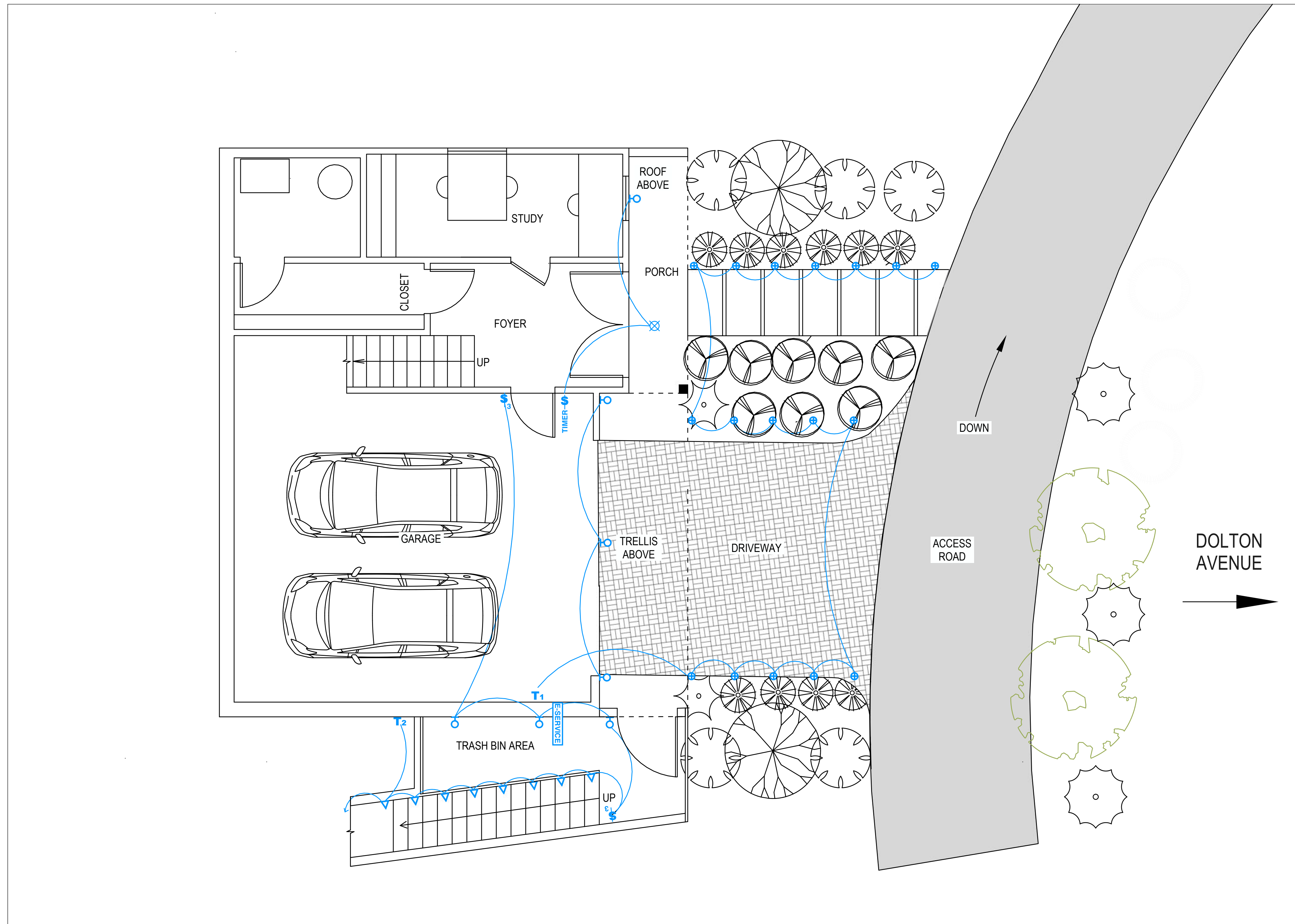
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**108 DOLTON AVENUE**  
**Irrigation Plan**



LEGEND

ICON	DESCRIPTION
	120 VOLT OUTLET, MOUNT 12"H
	240 VOLT OUTLET
	GFI OUTLET, MOUNTED AT 42"H
	EXTERIOR OUTLET
	APPLIANCE OUTLET
	OUTLET MOUNTED AT SPECIFIED HEIGHT
	FLOOR OUTLET
	SWITCH
	3-WAY SWITCH
	DIMMER SWITCH
	3-WAY DIMMER SWITCH
	AUTO-TIMER SWITCH
	CABLE LINE OUTLET
	CAT-6 DATA OUTLET
	WATER LINE
	HOSE BIB
	GAS LINE
	4" LED RECESSED CAN
	4" LED RECESSED CAN, DIRECTIONAL
	CEILING MOUNTED FIXTURE, FLUORESCENT
	WALL MOUNTED FIXTURE
	PENDANT FIXTURE
	SMOKE & CARBON MONOXIDE DETECTOR
	UNDERCABINET LIGHT
	VENTILATION FAN
	HVAC INDOOR EVAPORATOR
	HVAC OUTDOOR CONDENSER
	LANDSCAPING UP LIGHT
	LANDSCAPING DOWN LIGHT
	LANDSCAPING PATHWAY LIGHT
	TRANSFORMER



WALL-MOUNTED LIGHT FIXTURE

Tech Lighting Pitch Outdoor Wall Light, 5" in Bronze. 120V LED



DOWN-LIGHT, WALL

VOLT Deck Light (Cast Brass, Antique Bronze Finish), VDL-600-4-BBZ, 12 Volt LED



DOWN-LIGHT, STEPS

VOLT Brass Bunker Louvered Step Light, VHS-630-4-BBZ, 12 Volt LED



PATHWAY LIGHT

VOLT Mushroom Brass Path & Area Light, BDL-340-BBZ, 12V LED



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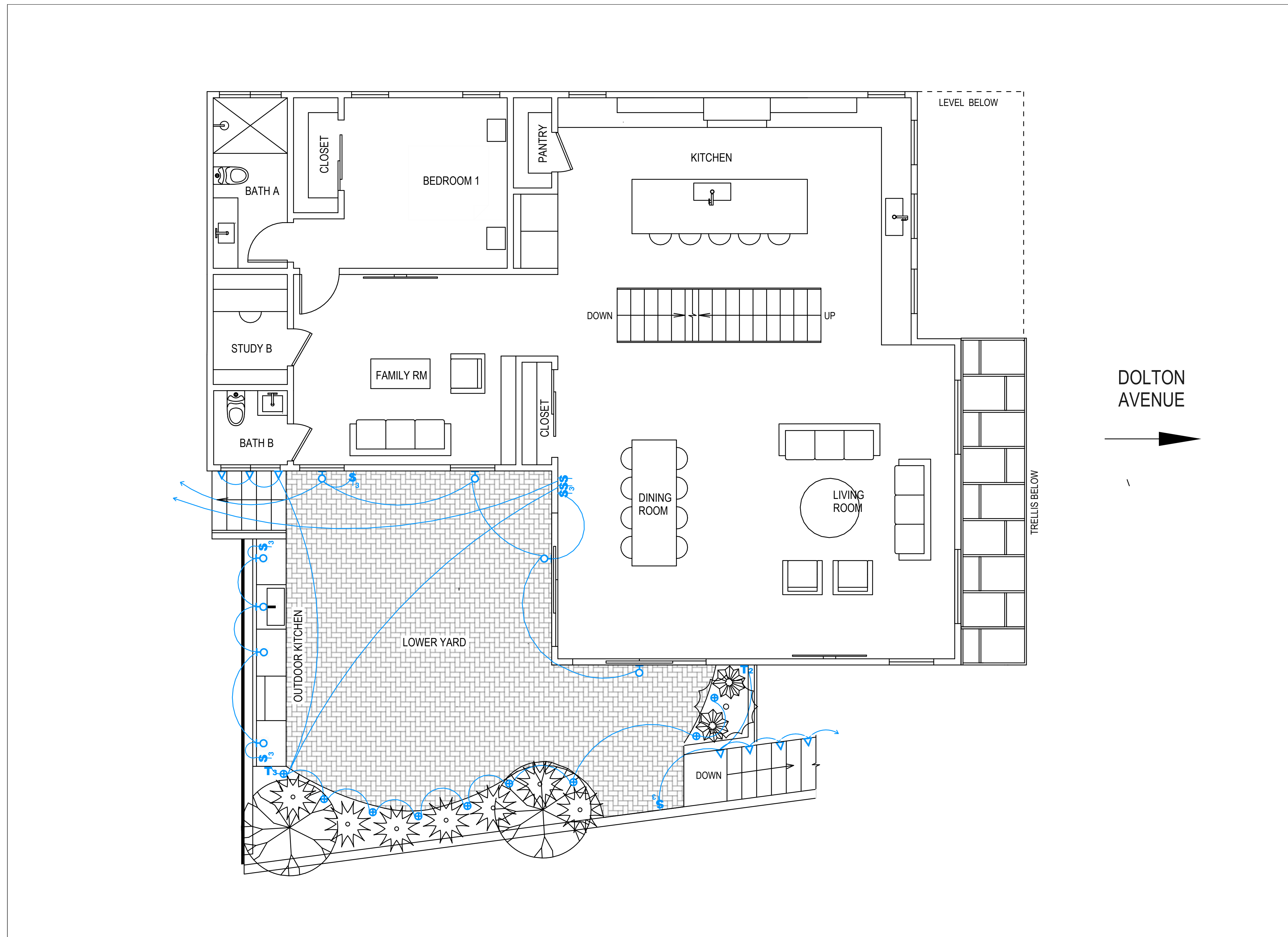
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**108 DOLTON AVENUE**  
**Exterior Lighting Plan**



LEGEND

ICON	DESCRIPTION
	120 VOLT OUTLET, MOUNT 12”H
	240 VOLT OUTLET
	GFI OUTLET, MOUNTED AT 42”H
	EXTERIOR OUTLET
	APPLIANCE OUTLET
	OUTLET MOUNTED AT SPECIFIED HEIGHT
	FLOOR OUTLET
	SWITCH
	3-WAY SWITCH
	DIMMER SWITCH
	3-WAY DIMMER SWITCH
	AUTO-TIMER SWITCH
	CABLE LINE OUTLET
	CAT-6 DATA OUTLET
	WATER LINE
	HOSE BIB
	GAS LINE
	4” LED RECESSED CAN
	4” LED RECESSED CAN, DIRECTIONAL
	CEILING MOUNTED FIXTURE, FLUORESCENT
	WALL MOUNTED FIXTURE
	PENDANT FIXTURE
	SMOKE & CARBON MONOXIDE DETECTOR
	UNDERCABINET LIGHT
	VENTILATION FAN
	HVAC INDOOR EVAPORATOR
	HVAC OUTDOOR CONDENSER
	LANDSCAPING UP LIGHT
	LANDSCAPING DOWN LIGHT
	LANDSCAPING PATHWAY LIGHT
	TRANSFORMER



WALL-MOUNTED LIGHT FIXTURE

Tech Lighting Pitch Outdoor Wall Light, 5" in Bronze. 120V LED



DOWN-LIGHT, WALL

VOLT Deck Light (Cast Brass, Antique Bronze Finish), VDL-600-4-BBZ, 12 Volt LED



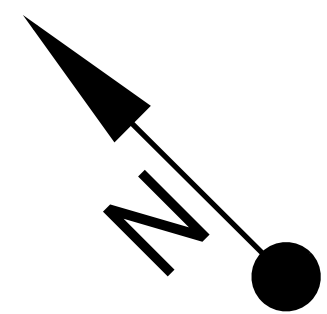
DOWN-LIGHT, STEPS

VOLT Brass Bunker Louvered Step Light, VHS-630-4-BBZ, 12 Volt LED



PATHWAY LIGHT

VOLT Mushroom Brass Path & Area Light, BDL-340-BBZ, 12V LED



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SUNSHINE INTERIORS & DESIGN

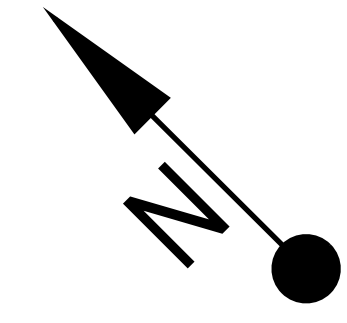
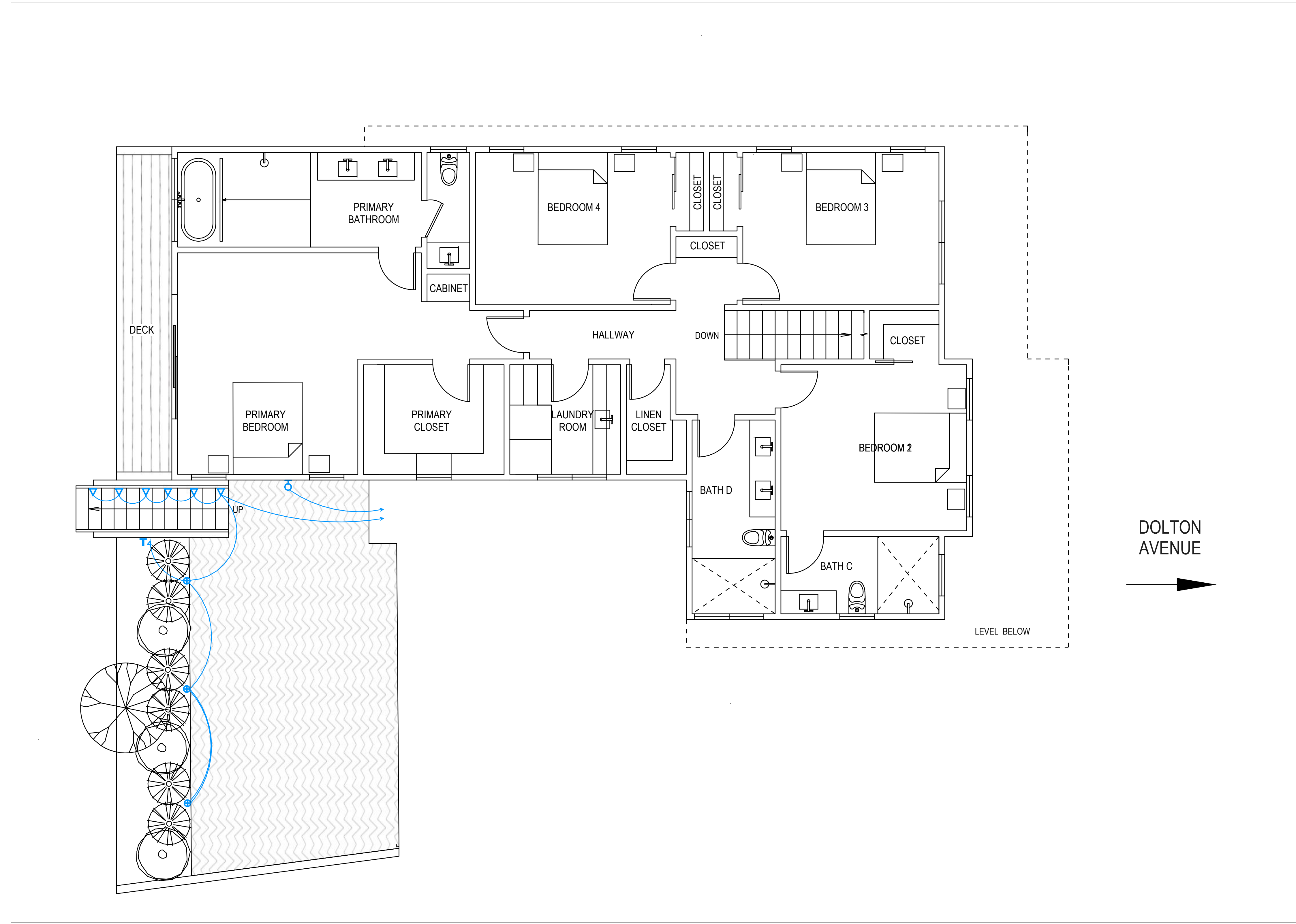
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**108 DOLTON AVENUE**  
**Exterior Lighting Plan**



**LEGEND**

ICON	DESCRIPTION
	120 VOLT OUTLET, MOUNT 12"H
	240 VOLT OUTLET
	GFI OUTLET, MOUNTED AT 42"H
	EXTERIOR OUTLET
	APPLIANCE OUTLET
	OUTLET MOUNTED AT SPECIFIED HEIGHT
	FLOOR OUTLET
	SWITCH
	3-WAY SWITCH
	DIMMER SWITCH
	3-WAY DIMMER SWITCH
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	CAT-6 DATA OUTLET
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	4" LED RECESSED CAN, DIRECTIONAL
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	UNDERCABINET LIGHT
	VENTILATION FAN
	HVAC INDOOR EVAPORATOR
	HVAC OUTDOOR CONDENSER
	LANDSCAPING UP LIGHT
	LANDSCAPING DOWN LIGHT
	LANDSCAPING PATHWAY LIGHT
	TRANSFORMER



<p><b>WALL-MOUNTED LIGHT FIXTURE</b></p> <p>Tech Lighting Pitch Outdoor Wall Light, 5" in Bronze. 120V LED</p> 	<p><b>DOWN-LIGHT, WALL</b></p> <p>VOLT Deck Light (Cast Brass, Antique Bronze Finish), VDL-600-4-BBZ, 12 Volt LED</p> 	<p><b>DOWN-LIGHT, STEPS</b></p> <p>VOLT Brass Bunker Louvered Step Light, VHS-630-4-BBZ, 12 Volt LED</p> 	<p><b>PATHWAY LIGHT</b></p> <p>VOLT Mushroom Brass Path &amp; Area Light, BDL-340-BBZ, 12V LED</p> 
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*Blind*  
 SENIOR ARCHITECT/DESIGNER

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**108 DOLTON AVENUE**  
**Exterior Lighting Plan**