

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: February 1, 2024

TO: Zoning Hearing Officer

FROM: Planning Staff

SUBJECT: Consideration of a Coastal Development Permit, Use Permit, and Design Review Permit, pursuant to Sections 6328.4, 6288.2, and 6565.3, respectively, of the San Mateo County Zoning Regulations to allow for the restoration of an existing, legal building for a material manufacturing facility and legalization of existing shipping containers as storage units on a 7,000 sq. ft. lot located at 152 Yale Avenue in the unincorporated Princeton area of San Mateo County. The Coastal Development Permit is not appealable to the California Coastal Commission.

County File Number: PLN2023-00118 (Schrier)

PROPOSAL

The applicant proposes to restore an existing 2,450-square-foot building, previously used for boat building, repair and storage, cabinet making, and as an art studio. The building is proposed to be used for a material manufacturing facility. The proposal also includes the legalization of seven (7) existing shipping containers used for storage units. In addition, the site will be used for recreational boating and fishing activities, such as building, cleaning, storing, and maintaining kayaks, boats, surf boards, scuba gear, fishing gear, and crabbing gear. The Coastal Development Permit is not appealable to the California Coastal Commission due to the proposal being a principally allowed use under the W district.

RECOMMENDATION

That the Zoning Hearing Officer approve the Coastal Development Permit, Use Permit, and Design Review Permit, County File No. PLN2023-00118, by making the required findings and adopting the conditions of approval listed in Attachment A.

BACKGROUND

Report Prepared By: Tiffany Gee, Project Planner; TGee@smcgov.org

Owner/Applicant: Marc Schrier

Public Notification: Ten (10) day advanced notification for the hearing was mailed to property owners within 300 feet of the project parcel and a notice for the hearing posted in the San Mateo County Times on January 20, 2024.

Location: 152 Yale Avenue, Princeton

APN: 047-031-420

Size: 7,000 square feet

Existing Zoning: W/AO/DR/CD (Waterfront District/Airport Overlay District/Design Review District/Coastal Development District)

General Plan Designation: General Industrial

Local Coastal Plan Designation: Industrial

Sphere-of-Influence: Half Moon Bay

Existing Land Use: Existing warehouse formerly used for art studio, woodworks, and boat building

Water Supply: Coastside County Water District

Sewage Disposal: Granada Community Services District

Flood Zone: FEMA Flood Zone X (Area of Minimal Flood Hazard), Community Panel No. 06081C0138F, dated August 2, 2017.

Environmental Evaluation: The project is categorically exempt pursuant to Section 15303, Class 3, of the California Environmental Quality Act (CEQA) Guidelines for the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure.

Setting: The subject parcel is located on Yale Avenue, between Stanford Avenue and Airport Street, within the inland Waterfront (W) zoning district of Princeton. The property is improved with an existing warehouse and shipping containers used for storage. The adjacent parcels are developed with warehouses, storage containers, and offices.

Chronology:

<u>Date</u>	<u>Action</u>
1981	- Boat building, repair and storage, cabinet making, art studio, and storage of travel trailers, trucks, recreational vehicles,

and camper shells permitted under Use Permit, UP81-35, and Coastal Development Permit, CDP81-75.

- November 3, 1994 - Building permit for interior remodel of existing warehouse opened under BLD94-1385.
- December 21, 2005 - Building permit for interior remodel of existing warehouse finalized under BLD94-1385.
- February 13, 2015 - Lot Line Adjustment and CDP between two (2) legal parcels approved under PLN2014-00381.
- April 4, 2023 - Subject application for a Use Permit, Design Review Permit, and Coastal Development Permit initiated.
- May 2, 2023 - Application deemed complete.
- November 15, 2023 - Application referrals completed.
- February 1, 2024 - Zoning Hearing Officer public hearing.

DISCUSSION

A. KEY ISSUES

1. Conformance with the San Mateo County General Plan

Staff has determined that the project complies with all applicable General Plan policies, with specific discussion of the following:

a. Chapter 4 – Visual Quality

The project is consistent with Policy 4.36 (*Urban Area Design Concept*), maintaining and, where possible, improving upon the appearance and visual character of development in urban areas. The proposal includes the restoration of an existing warehouse that blends in with the appearance of the existing structures in the area. The restoration will improve the visual appearance because the existing building will be maintained, and a landscaped area will be installed in front of the parking area. This project also seeks to legalize the shipping containers on the parcel used for storage, which emulates the surrounding parcels' use of shipping containers for storage and matches the look of the structures in the vicinity (see Attachment E).

b. Chapter 7 – General Land Use

The project is consistent with Policy 7.15 (*Designation of Land Uses*) and 7.16 (*Land Use Objectives for Urban Areas*), which seek to apply land use designations where appropriate to urban areas and establish primary associated uses for the land use designations to meet land use objectives for urban areas that include revitalization of existing developed areas. The project parcel's General Plan land use designation is General Industrial with a zoning designation of Waterfront (W) District, and a Local Coastal Program (LCP) designation of Industrial, which supports indoor low to moderate impact manufacturing and indoor storage of goods excluding extremely hazardous materials. These uses are permitted by right in the W District but require a Coastal Development Permit due to the Coastal Development District and a Use Permit due to the Airport Overlay District. The project will revitalize the area by bringing appropriate uses to the property and remodeling the existing warehouse.

c. Chapter 8 – Urban Land Use

The project is consistent with Policy 8.24 (*Land Use Compatibility*), Policy 8.36 (*Uses*), and 8.40 (*Parking Requirements*) to ensure that industrial development is compatible with adjacent land uses, uses are consistent with the overall land use designation, and that minimum on-site parking is regulated. The parcel has a General Plan designation of "General Industrial" and a zoning designation of "Waterfront". These designations allow for the low to moderate manufacturing and storage that this project proposes. These uses are compatible with adjacent uses, many of which include warehouses for storage. The proposed 2,450-square-foot warehouse requires two (2) off-street parking spaces, one space per 2,000 square feet. Two (2) uncovered off-street parking spaces will be provided on site, one (1) standard space and one (1) van accessible parking space.

2. Conformance with the Local Coastal Program

Staff has determined that the project complies with all applicable LCP policies, including:

a. Locating and Planning New Development

Policy 1.1 (*Coastal Development Permits*), Policy 1.2 (*Definition of Development*), and Policy 1.4 (*Designation of Urban Areas*) require a Coastal Development Permit for development, which includes

changes in the intensity of use of land, and designates urban areas as shown on the Land Use Plan Maps.

The applicant is seeking a Coastal Development Permit, as the project proposes to convert an existing warehouse, formerly used for storage, as an art studio, and for boat building, into a material manufacturing facility that constitutes an intensification in the use of the property. The project site is located in Princeton in the urban boundary and is designated for urban use.

Policy 1.17 (*Existing Developed Areas*) and Policy 1.18 (*Location of New Development*) seek to conserve, improve, and revitalize existing residential, commercial, and industrial areas.

The project would revitalize an existing vacant warehouse into a material manufacturing facility, in support of these policies.

Policy 1.19f (*Ensure Adequate Public Services and Infrastructure for New Development in Urban Areas*) seeks to connect parcels to public water where a public water supply is available by restricting development on parcels served by wells constructed after September 12, 1989.

The existing well may continue to be used for a future use as it was legally established prior to September 12, 1989.

Policy 1.36 (*Half Moon Bay Airport Influence Area Requirements*) discusses compliance with relevant Federal Aviation Administration standards and criteria regarding safety, flashing lights, reflective material, land uses which may attract large concentrations of birds, HVAC exhaust fans, and land uses which may generate electrical or electronic interference with aircraft communications and/or instrumentation.

The project site is located in Half Moon Bay Airport's Runway Safety Zone 2 (Inner Approach/Departure Zone, IADZ). This safety zone prohibits hazardous uses including above ground fuel storage and facilities where toxic substances are manufactured, processed, or stored if such substances exceed the threshold quantities for hazardous and extremely hazardous substances specified by the Environmental Protection Agency (EPA). The proposed use does not involve above ground fuel storage or use of toxic substances exceeding the threshold planning quantities for hazardous and extremely hazardous substances specified by the EPA in Title 40, Code of Federal Regulations Part 355, Subpart D, Appendices A & B. The proposed restoration of the existing warehouse proposes an

external light fixture, located at each of the four (4) doors, which is dark sky compliant. Dark sky compliant lights are designed to direct light towards the ground and not skyward. This lighting will not attract large concentrations of birds, include exhaust fans, or interfere with aircraft communications and/or instrumentation.

b. Visual Resources

Policy 8.12 (*General Regulations*) requires the application of Section 6565.17 (*Design Review Districts*) of the Zoning Regulations and the design criteria set forth in the Community Design Manual for all development in urban areas of the Coastal Zone, as discussed below:

Design Review District Section 6565.17 and Community Design Manual:

Colors and Materials. Varying architectural styles should be made compatible through the use of similar materials and colors which blend with the natural setting and surrounding neighborhood.

The existing exterior building will be painted gossamer blue to match surrounding structures, and will maintain its corrugated steel roof, similar to surrounding structures. Development in the area predominantly consists of similar blues, beige, and red one- and two-story industrial metal buildings.

Policy 8.13b (*Special Design Guidelines for Coastal Communities*) applies supplemental design criteria for the Princeton-by-the-Sea community which employs architectural detailing, subdued colors, textured building materials, and landscaping to add visual interest and soften the harsh lines of standard or stock building forms normally used in industrial districts.

The building consists of a low-profile pitched gable roof, which softens the hard angle and line of a higher pitched roof and matches structures in the vicinity. The gossamer blue color for the building is a subdued grayish blue color, which is used on a nearby building. The building consists of corrugated metal siding, which matches other structures in the area. The project will add landscaped areas in the front of the parcel to add visual interest and soften the hard lines of the standard industrial building.

3. Conformance with the Zoning Regulations

a. Waterfront District

The project is located in the Waterfront District, which allows low to moderate manufacturing and indoor storage by right, however, the Airport Overlay District requires an approved Use Permit for any permitted uses in the underlying district. The following table indicates the project's compliance with all development standards regarding building site area, building height and lot coverage. There is no floor area ratio limit or setbacks for the Waterfront District.

Development Standards			
Standard	Required	Existing	Proposed
Minimum Side Yard Setbacks	None	35 ft. left side 0 ft. right side	No change
Maximum Building Height	36 ft.	19 ft. 5.5 in.	No change
Maximum Lot Coverage	60%	48.7% (3,406.58 sq. ft.)	48.7% (3,406.58 sq. ft.)
Minimum Building Site	5,000 sq. ft.	7,000 sq. ft.	No change
Minimum Lot Width	50 ft.	70 ft.	No change

The project proposes to use the existing warehouse and legalize the shipping containers on the property, which conform to all zoning standards of the Waterfront District.

Parking Requirements

Pursuant to Chapter 3 (*Parking*) of the County Zoning Regulations, the project includes two (2) uncovered parking spaces which complies with the parking requirement of one (1) space per 2,000 sq. ft. of floor area. The proposed parking space dimensions will be 9 feet wide by 18 feet long and includes one (1) van accessible parking space with an accessible aisle that is 17 feet in width and 18 feet long. A condition has been included that will require spaces to be at least 9 feet by 19 feet to address the parking space size and number of spaces required.

Landscaping

The Waterfront Zoning District requires landscaping for all yards abutting a street, a planter or landscaped area of at least four (4) feet wide and comprised of live landscaping shall be provided adjacent to all street rights-of-way; however, up to 30% of the planter or

landscaped area may be covered with hard surfaces such as gravel, landscaping rock, concrete, or other impervious materials. The proposed development will include a 4-foot-wide landscaped area within the front setback along Yale Avenue, except where necessary to be kept clear for the driveway, which will satisfy this landscaping requirement under Chapter 3 (*Parking*) of the Zoning Regulations.

b. Waterfront Zoning District Performance Standards

Uses within the Waterfront District are subject to a series of performance standards. Staff has determined that the proposed uses on-site, a material manufacturing facility and storage, would meet the required applicable performance standards, as follows:

Noise

No use will be permitted which exceeds the following sound levels more than 30 minutes in any hour: 60 dBA from 7:00 a.m. to 10:00 p.m. or 55 dBA from 10:00 p.m. to 7:00 a.m. Given that the proposal is for a small-scale indoor low to moderate impact manufacturing facility, noise generation is anticipated to meet these provisions. A condition has been added to address temporary noise impacts as a result of construction.

Odor

No use will be permitted which emits an odor or air pollutant, detectable without instruments, beyond the boundaries of the “W” District. Given that the proposal is for an indoor low to moderate impact manufacturing facility, odor and/or air pollutant generation is anticipated to be nominal.

Lighting

All lighting, exterior and interior, must be designed and located so as to confine direct rays to the premises. External lighting proposed, located at each of the four (4) doors, is dark sky compliant, which are designed to direct light towards the ground and towards the premises. No internal lighting design has been proposed at this time, however, the building has minimal windows that would help to contain interior lighting. A condition has been added that a detailed lighting plan shall be submitted for review and approval under the building permit that clearly shows that all on-site lighting is down lit, non-intrusive and does not produce excessive spillover onto neighboring properties.

Vibration

No use will be permitted that causes vibration perceptible without instruments on adjoining property, except for a temporary construction operation. Given that the proposal is for a low to moderate impact manufacturing facility, long term vibration generation is anticipated to be nominal.

c. Airport Overlay (AO) District

The project parcel is located within the A-O District, which is intended to provide a margin of safety at the ends of the nearby Half Moon Bay Airport runways by limiting the concentration of people where hazards from aircraft are considered to be the greatest. The A-O District allows no more than three (3) persons to occupy a site at any one time and requires all uses permissible in the underlying zoning district to obtain a Use Permit. The applicant's proposed use is low to moderate impact manufacturing and indoor storage, which are a low intensity use and will not generate more than three (3) persons on the site at any one time. Staff has added a condition of approval for this intensity limitation. The subject application includes a Use Permit, as required by the "A-O" Zoning District for all uses permissible in the underlying zoning district.

Noise Insulation Requirements

The noise insulation requirements will not apply to this project as it does not propose any new development. The proposal is for a restoration of an existing warehouse to convert to a material manufacturing facility.

d. Use Permit

The applicant is seeking a Use Permit for an indoor low to moderate impact manufacturing facility and indoor storage, pursuant to Section 6288.2 of the A-O Overlay District. Pursuant to Section 6503 of the Zoning Regulations, the Zoning Hearing Officer must make the following finding in order to grant a Use Permit:

That the establishment, maintenance, and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.

The project is compatible with the type and appearance of other existing industrial development in the “W” Zoning District of Princeton. The project entails a low intensity land use that will conform with the runway safety standards of the Half Moon Bay Airport Land Use Compatibility Plan and will accommodate necessary parking on-site. Furthermore, the proposed use of indoor low to moderate impact manufacturing and indoor storage is not expected to generate a significant increase in noise, odors, or significant traffic in the area and no storage of extremely hazardous materials is proposed or permitted.

B. REVIEW BY CALIFORNIA COASTAL COMMISSION AND MIDCOAST COMMUNITY COUNCIL

The project was referred to the California Coastal Commission and the Midcoast Community Council. No comments were received from these agencies.

C. ENVIRONMENTAL REVIEW

The proposed conversion of an existing warehouse to a material manufacturing facility is categorically exempt from the California Environmental Quality Act (CEQA) under the provision of Section 15303, Class 3, for the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure.

D. REVIEWING AGENCIES

Building Inspection Section
Environmental Health Services
Department of Public Works
Coastside Fire Protection District
Midcoast Community Council
California Coastal Commission
Granada Community Services District

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Location Map
- C. Project Plans
- D. Project Narrative
- E. Site Photos

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County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN2023-00118 Hearing Date: February 1, 2024

Prepared By: Tiffany Gee, Project Planner For Adoption By: Zoning Hearing Officer

RECOMMENDED FINDINGS

For the Environmental Review, Find:

1. That the project is categorically exempt pursuant to Section 15303, Class 3, of the California Environmental Quality Act (CEQA) Guidelines for the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure.

For the Coastal Development Permit, Find:

2. That the project, as described in the application and accompanying materials required by Section 6328.7 and as conditioned in of the Zoning Regulations and as conditioned in accordance with Section 6328.14, conforms with the plans, policies, requirements, and standards of the San Mateo County Local Coastal Program. The project conforms to the applicable policies and has been conditioned to utilize natural colors and materials, provide an erosion and sediment control plan, and provide the minimum landscaping requirements.
3. That the project is not subject to public access and public recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Section 30200 of the Public Resources Code) since the project is not located between the nearest public road and the sea, or the shoreline of the Pescadero Marsh.
4. That the project conforms to the specific findings required by the policies of the San Mateo County LCP with regard to Locating and Planning New Development and Visual Resources, as the project serves to revitalize an existing warehouse building into a material manufacturing facility; and the building's design, materials and colors are compatible with surrounding development in the area.

For the Use Permit, Find:

5. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, since the project is located in a developed urban area where access and utility services are available, no sensitive habitats are nearby, and coastal views will not be affected. In addition, the proposed use will not be detrimental to the public welfare or injurious to property or improvements in the neighborhood since the existing structures comply with all zoning development standards and parking requirements and are similar in character to surrounding industrial development.

For the Design Review Permit, Find:

6. That the project complies with the design guidelines and criteria of the Community Design Manual and the LCP's Visual Resources Component as the existing building is compatible with surrounding development in the Princeton area and is appropriately scaled to the site. The proposed project will include building colors and materials that are compatible to the area and be designed to fit with the design of existing buildings in the Princeton-by-the-Sea community.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. This approval applies only to the proposal, documents, and plans described in this report, and submitted to and approved by the Zoning Hearing Officer on February 1, 2024. Modifications beyond those approved by the Zoning Hearing Officer will be subject to review and approval by the Director of Planning and Building and may require review at a public hearing. Minor modifications that are largely consistent with this approval may be approved at the discretion of the Director of Planning and Building.
2. The Coastal Development Permit, Design Review Permit, and Use Permit approvals shall be valid for five (5) years from the date of final approval in which time a building permit shall be issued and a completed building inspection (to the satisfaction of the Building Inspector) shall have occurred within one (1) year of its issuance. Any extension to these permits shall require submittal of a request for permit extension and payment of applicable extension fees, no less than sixty (60) days prior to expiration. An extension of these approvals will be considered upon written request and payment of the applicable fees sixty (60) days prior to the expiration of the approvals.
3. Any change in use or intensity not already approved shall require an amendment to the use permit. Amendment to this use permit requires an application for amendment, payment of applicable fees, and consideration at a public hearing.

4. No site disturbance or tenant improvement work shall occur until a valid building permit has been issued.
5. All interior and exterior lighting shall be designed and located so as to confine direct rays to the subject property and prevent glare in the surrounding area. All proposed interior and exterior lighting shall be reviewed and approved by the Planning Department (design manufacturer's "cut sheets") prior to the issuance of a building permit. Prior to Planning final of the building permit for this project, the applicant shall submit photos verifying the installation of any approved interior and exterior light fixtures.
6. Any new utilities shall be located underground from the nearest existing pole. No new poles are permitted to be installed.
7. The proposed exterior building color is approved. Any changes to the exterior color of the building shall require review and approval by the Planning and Building Department prior to implementing.
8. A 4-foot-wide landscape area consisting of native plant species shall be provided for any areas not developed along the street frontages of the parcel (i.e., Yale Avenue). Landscaping plans, including size, species, and location, for all proposed landscaping shall be submitted as part of the building permit for review and approval. No landscape species shall exceed 4 feet in height at full maturity. Prior to building inspection final and certificate of occupancy, the Planning Department shall verify that the approved landscaping has been installed.
9. All approved landscaping shall be maintained in a healthy condition for the life of the use. Any dead or dying landscape shall be removed and replaced with the same or similar species.
10. The applicant shall adhere to Best Management Practices for erosion and sediment control throughout the duration of project construction. Erosion control measure deficiencies, as they occur, shall be immediately corrected. The goal is to prevent sediment and other pollutants from leaving the project site and to protect all exposed earth surfaces from erosive forces. Said plan shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including:
 - a. Stabilizing any denuded areas and maintaining erosion control measures continuously between October 1 and April 30. Stabilizing shall include both proactive measures, such as the placement of hay bales or coir netting, and passive measures, such as revegetating disturbed areas with plants propagated from seed collected in the immediate area.

- b. Storing, handling, and disposing of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - c. Controlling and preventing the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
 - d. Using sediment controls or filtration to remove sediment when dewatering the site and obtaining all necessary permits.
 - e. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - f. Delineating with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees and drainage courses.
 - g. Protecting adjacent properties, buildings, and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - h. Performing earth-moving or ground disturbing activities only during dry weather.
 - i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
 - j. Limiting construction access routes and stabilizing designated access points.
 - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - l. The contractor shall train and provide instructions to all employees and subcontractors regarding the construction best management practices.
11. To reduce the impact of construction activities on neighboring properties and/or the public roadways, comply with the following:
- a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.

- b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
 - c. The applicant shall ensure that no construction-related vehicles will impede through traffic along any public right-of-way. All construction vehicles shall be parked on-site outside of any public right-of-way. There shall be no storage of construction vehicles, equipment, or materials in any public right of-way or shared driveway.
12. The applicant shall ensure that during construction, noise, light, dust, odor and other interference with persons and property off the development site is minimized. Furthermore, no hazardous materials shall be stored on-site.
 13. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving and Christmas (San Mateo County Ordinance Code Section 4.88.360).
 14. No extremely hazardous materials shall be stored in the onsite storage units.
 15. Above ground fuel storage is prohibited onsite.
 16. The manufacturing, processing or storage of toxic substances that exceed the planning threshold quantities for hazardous and extremely hazardous substances specified by the Environmental Protection Agency in Title 40, Code of Federal Regulations Part 355, Subpart D, Appendices A & B, shall be prohibited onsite.
 17. No more than three (3) persons may be on the site at any time.
 18. Any proposed external lighting fixtures shall be made of non-reflective materials.
 19. Parking spaces shall be a minimum of 9-foot wide by 19-foot long and shall be maintained available for parking at all times. No less than two (2) parking spaces shall be provided on site, with at least one (1) of them being a van accessible parking space.

Building Inspection Section

20. Prior to construction, apply and receive issuance of any required Building Permits.

Environmental Health Services

21. Delineate the well on plans.

22. At the Building phase, complete a pump test and water quality test meeting Title 22 Drinking Water Standards with permits through Environmental Health Services.

Department of Public Works

23. The project will comply with the County's drainage policy to prevent stormwater from development from flowing across property lines. For projects that trigger size and/or slope thresholds, prior to the issuance of the building permit (for Provision C3 Regulated Projects), the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Department of Public Works and Planning and Building Department for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works and Planning and Building Department for review and approval.
24. Prior to the issuance of the building permit (if applicable), the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20%) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
25. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. The applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
26. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance 3277.

Coastside Fire Protection District

27. Address Numbers: Building identification shall be conspicuously posted and visible from the street. (Temporary address numbers shall be posted prior to combustibles being placed on site). The letters/numerals for permanent address

numbers shall be of 6-inch height with a minimum 1/2-inch stroke and of a color, which is contrasting with the background. Such letter/numerals shall be illuminated and facing the direction of access.

<u>Distance from Road</u>	<u>Address No. Size</u>
0-50 feet	6-inch
50-100 feet	8-inch
100-150 feet	10-inch
150 + feet	12-inch

with a corresponding increase in stroke width.

28. Address numbers and directional signs may be required at the entrance to the driveway/access road, road forks, and intersections. When located on the street, the numbers shall be visible from each direction of travel. This remote signage shall consist of a 6-inch by 18-inch green reflective metal sign with 3-inch reflective Numbers/Letters similar to Hy-Ko 911 or equivalent.
29. Automatic Fire Sprinkler System: The proposed project must be equipped with an approved NFPA 13 Ordinary Group II sprinkler system. A building permit shall not be approved for issuance until fire sprinkler plans are received, reviewed, and approved by the fire district. Required plans shall be submitted to the San Mateo County Building Department. Plans must show the location of all required fire sprinkler hardware.
30. Unobstructed fire sprinkler coverage shall extend to all areas in the occupancy. Any areas creating compartmentalization due to new walls shall have additional sprinkler heads installed to provide unobstructed coverage. Any heat producing appliances that are hooked up to an electrical power source, natural or propane gas, and are operational shall not have sprinkler heads located within their respective heat zones.
31. Clearly identify the fire service line on plans and verify that the line meets minimum sizing for fire sprinkler hydraulic calculations.
32. Provide a complete General Information Sign, placed at the riser on plans (NFPA 13 section 25.6.2).
33. Fire Sprinkler Hardware: Along with the automatic fire sprinkler system, this project is required to install all related fire sprinkler hardware (Fire Department Connection and Exterior Bell). A building permit shall not be approved for issuance until plans have been submitted, reviewed, and approved by the fire district. Submit plans showing the location of all required fire sprinkler hardware to the San Mateo County Building Department.
34. Add Note to plans:

Fire Hydrant: There is a hydrant within the required 500 feet, but it is a dry barrel hydrant or non-compliant hydrant. The applicant shall change it to the required (Clow 2065) hydrant. As per 2022 CFC, Appendix B, the hydrant must produce a minimum fire flow of 1000 gallons per minute at 20-pounds-per-square-inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.

35. Exit Door Hardware: Exit door(s) shall be operable from the inside without the use of a key, special knowledge, or effort. Exception: Main exit doors may be equipped with a keyed-locking device if there is a readily visible sign on or adjacent to the door stating, "THIS DOOR TO REMAIN UNLOCKED WHENEVER THE BUILDING IS OCCUPIED". The letters in the sign shall not be less than 1-inch in height.

36. Exit Illumination: Signs shall be internally or externally illuminated by two electric lamps or shall be of an approved self-luminous type.

Power Supply: Current supply to one of the lamps for exit signs shall be provided by the premises wiring system. Power to the other lamp shall be from storage of batteries or an on-site generator set. Include exit illumination with electrical plans and submit to the San Mateo County Building Department for review and approval.

37. When exit signs are required by Section 1013.2/1013.7 of the CBC, additional approved low-level exit signs, which are internally or externally illuminated, photo luminescent or self-luminous, shall be provided in all interior rated exit corridors serving guest rooms of hotels in Group R, Division 1 Occupancies, and other occupancies as determined by the code.

38. Vegetation Management (LRA): A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees.

Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10-foot to adjacent trees when fully grown or at maturity.

Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5-foot of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.

39. Emergency Building Access: The proposed project will require the installation of "Knox Boxes." These emergency key boxes are required when access to or within a structure or an area is unduly difficult because of secured openings or

where immediate access is necessary for life saving or fire-fighting purposes. The Chief will determine the location for the key box and provide an authorized order form. All security gate systems controlling vehicular access shall be equipped with a "Knox" key operated emergency entry device. For application, instructions, and further assistance, email cfpdfiremarshal@fire.ca.gov.

40. Fire Alarm System: This project is required to have installed an approved NFPA 72 Fire Alarm System throughout. The system is to monitor any flow through the required automatic fire sprinkler system, any fire sprinkler valve tamper and all heat and smoke detectors. The system will also include an exterior bell and interior horn/strobes, which are required to be wired to the alarm system and the flow switch for the fire sprinkler system. The FACP shall be protected with a smoke detector as per NFPA 72, Section 1-5.6 and a manual pull station. A wiring inspection is required to be conducted by the Fire District prior to covering walls and ceiling areas. All systems and components must be tested per manufactures specifications and NFPA 72. Battery backup shall meet or exceed requirements for amp-hour rating and must be tested as per manufactures specification and NFPA 72.
41. Fire Extinguishers: There must be at least one 2A10BC fire extinguisher for each 1,500 sq. ft., travel distance not to exceed 75 feet with at least one extinguisher per floor per Title 19, California Code of Regulations. Show location of extinguishers on plans. Class D extinguisher may be required based on work being conducted.
42. Provide penetration protection in all membranes through fire rated assemblies (i.e., dampers, fire caulking).
43. NFPA 704 placard required on two exterior walls of building.
44. Hazardous Materials Inventory Statement required. This shall provide the following information: Product name, Component, chemical abstract service number, location where stored or used, container size, hazard classification, amount in storage, amount in use-closed systems, and amount in use-open systems.
45. Compressed gas containers, cylinders, tanks and systems shall be secured against accidental dislodgement and against access by unauthorized personnel in accordance with Sections 5303.5.1 through 5303.5.3 of the 2022 CFC.
46. Depending on quantities provided in the HMIS, extra storage requirements may be required.
47. A Certificate of Completion for Fire Sprinkler System is required at final.
48. A Certificate of Completion for Fire Alarm is required at final.

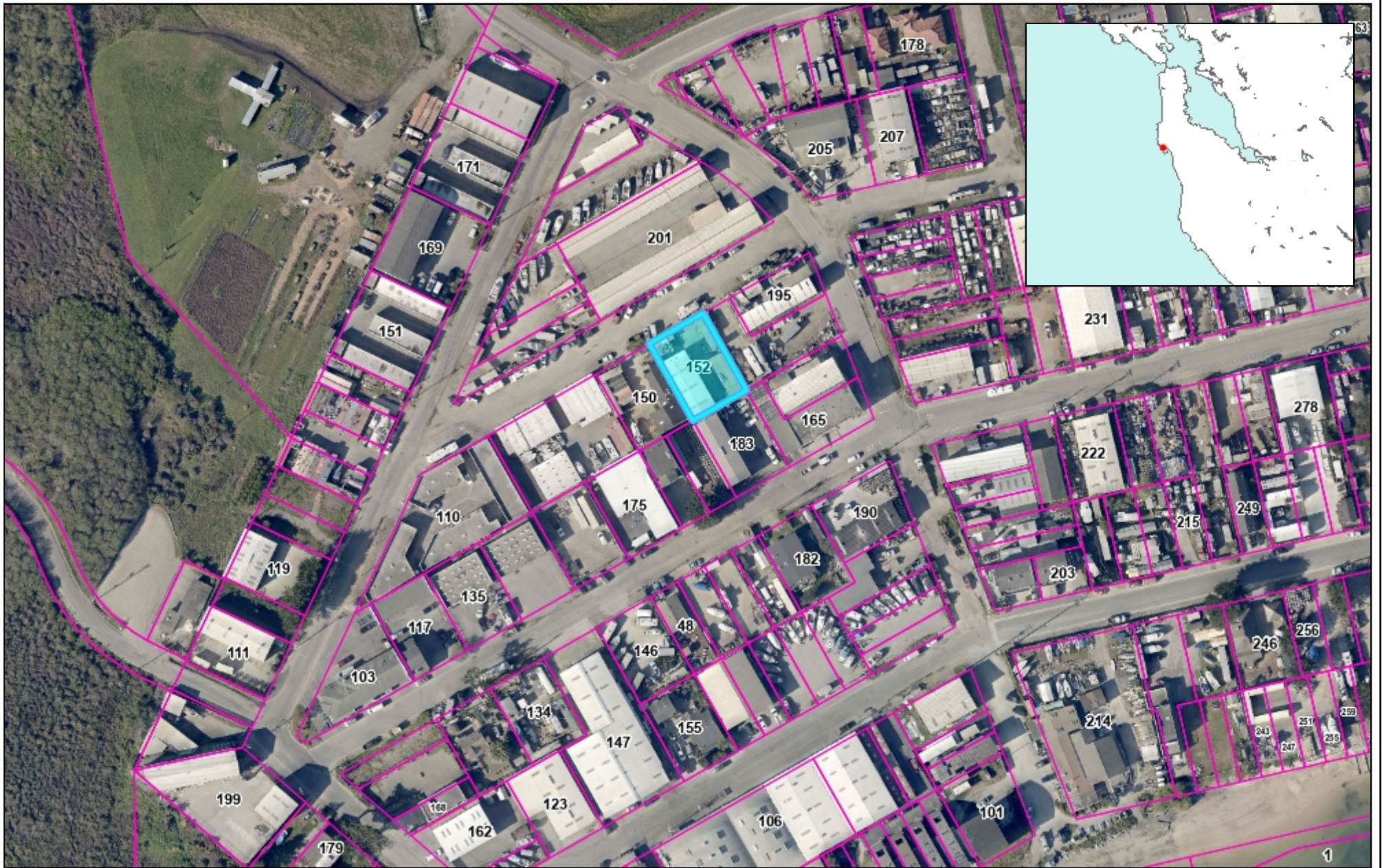
49. A Certificate of Completion for Underground is required at final.
50. A current 5-year Certification for the Fire Sprinklers and Fire Alarm is required at final.
51. All fire conditions and requirements must be incorporated into Building plans prior to Building permit issuance.
52. Final acceptance is subject to field inspection and necessary tests.
53. Pay any additional re-inspection fees charged for missed appointments, failure to comply, or not being ready.

20240201_PLN2023-00118_ZHOSR_WPC_FINAL



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B



0.07 0 0.04 0.07 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:2,257



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

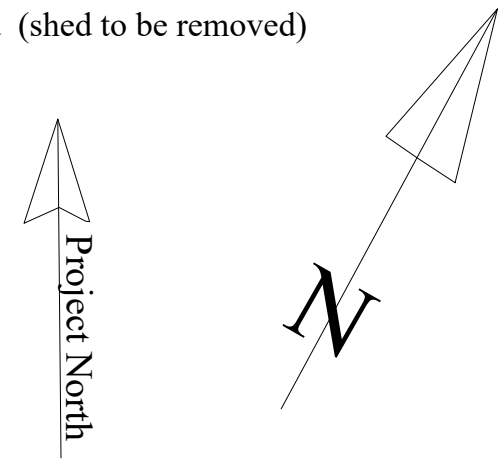


COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C

Sheet Key Notes

- 2 Existing Sewer Main
- 6 Existing 200 amp meter Panel with overhead service
- 7 Existing Gas Meter
- 8 Well and equipment in shed (shed to be removed)



Index to Sheets

- A1.0 Existing Site Plan, Title, Project Data, Index
- A1.1 Proposed Site Plan
- SMC BMP Sheet
- A2.1 Proposed Floor Plan
- A2.2 Existing Floor Plan
- A3.1 Proposed Elevations
- A3.2 Existing elevations

Project Description:
 Planning Submittal for Use Permit
 For Calchemist

Drainage

Existing structure with
 No Roof Area is replaced or new
 No new impervious coverage
 Shed for well is going to be
 removed and replaced with
 30 SF structure

Owner:
 Marc Schrier
 Calchemist
 PO Box 1654
 El Granada, CA 94018-1654
 schrier@calchemist.com
 650-766-2821

Project Location:
 APN: 047-031-420
 152 Yale Ave.
 Half Moon Bay, CA 94019

Designer: Tim Pond
 Tim Pond Design & Construction Inc.
 timpond@gmail.com
 Phone 650.576.7177

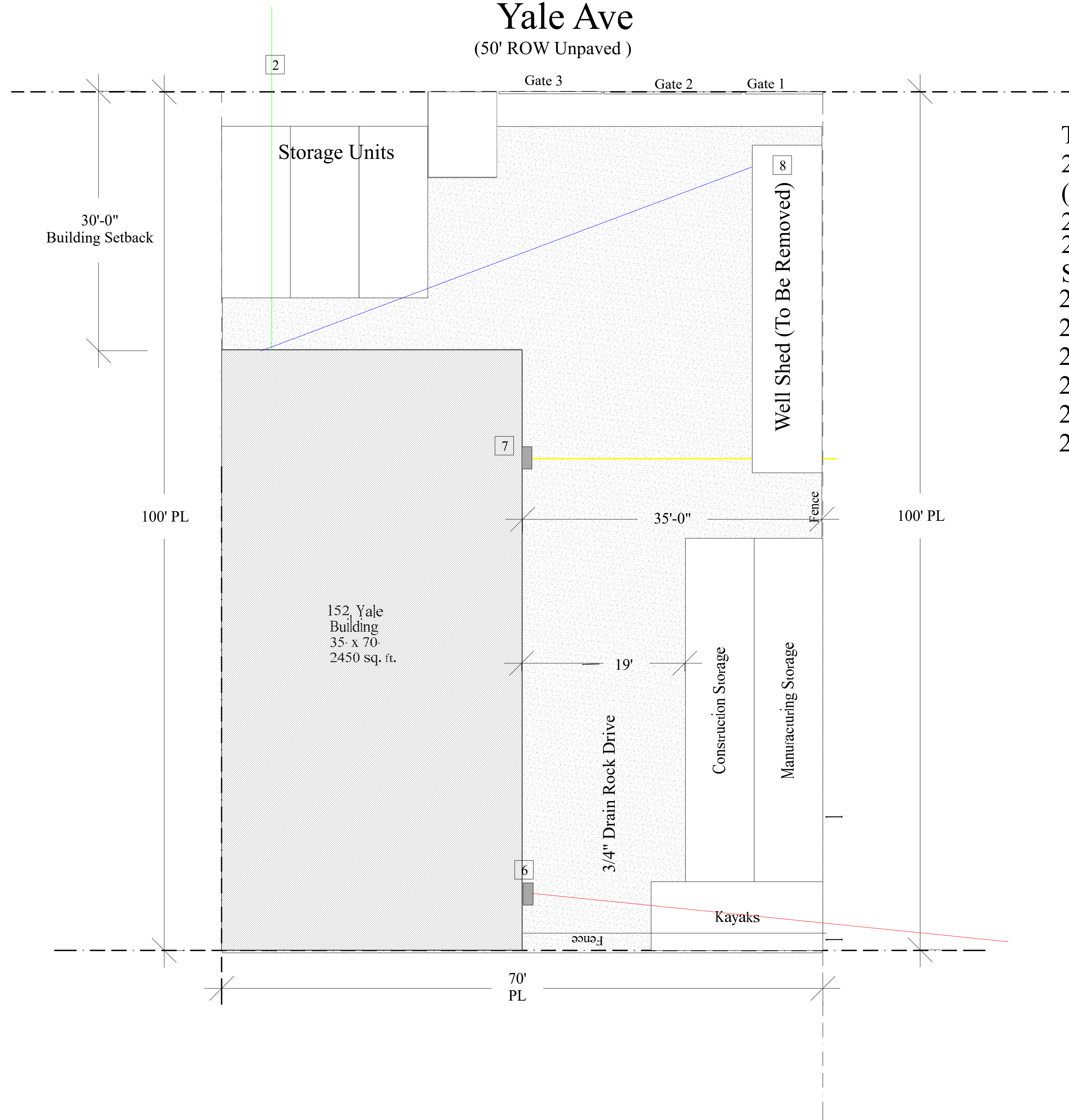
Drawn By TP Scale 1/8" = 1'

Planning Submittal 2.21.23
 Planning resubmittal 8.15.23

Plot and Title A1.0

Drawn By Tim Pond
 CA Contractor's License # 931840

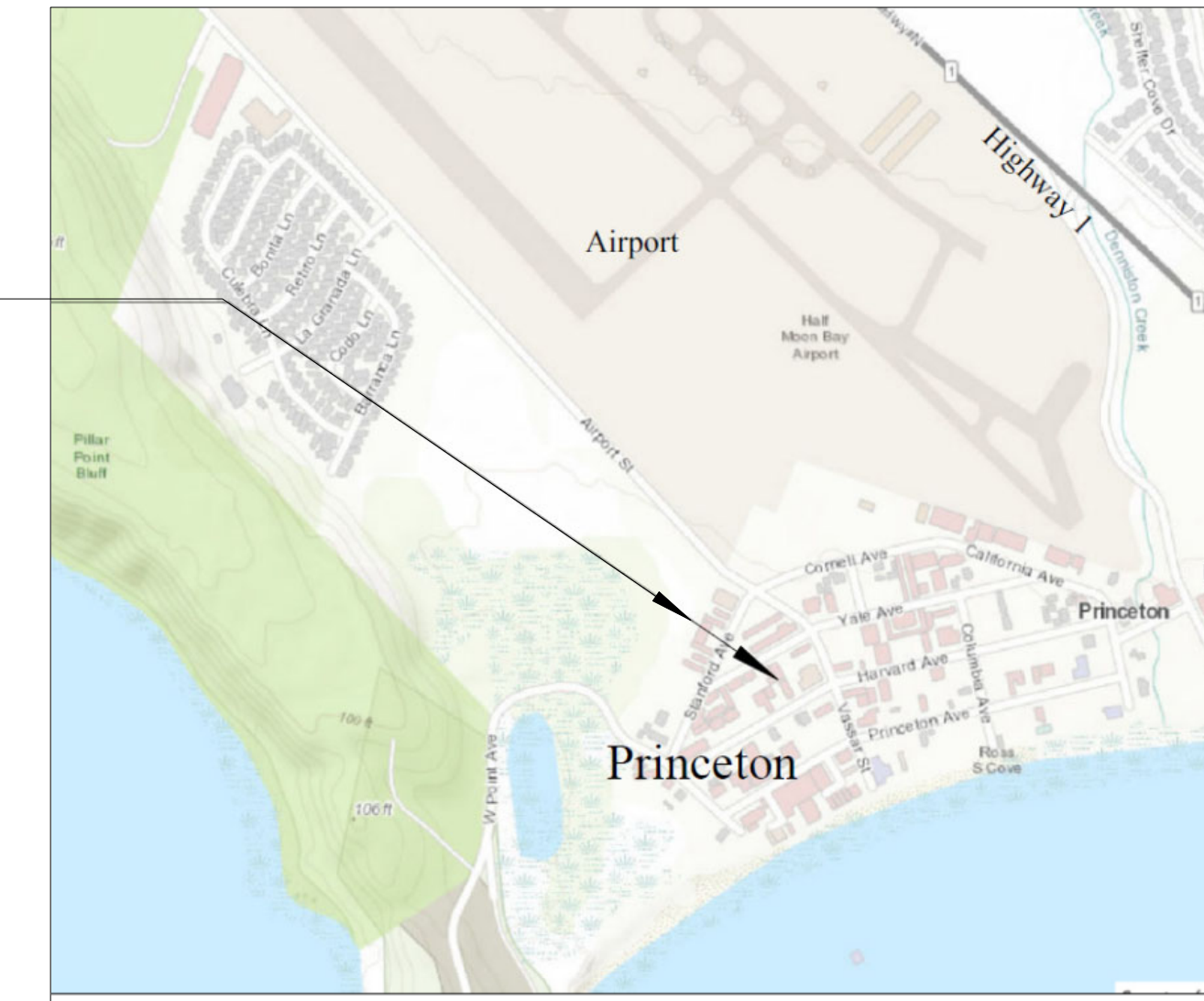
Yale Ave
 (50' ROW Unpaved)



Governing Codes:

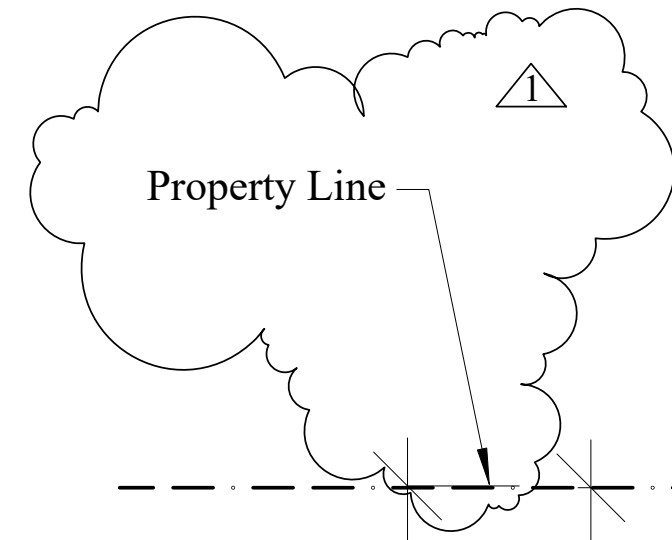
- Technical Building Codes
- 2022 California Building Code (Volumes 1 and 2)
- 2022 California Residential Code
- 2022 California Green Building Standards Code (CALGreen)
- 2022 California Electrical Code
- 2022 California Mechanical Code
- 2022 California Plumbing Code
- 2022 California Fire Code
- 2022 California Administrative Code
- 2022 California Energy Code

Project Location



Sheet Key Notes

- 2 Existing Sewer Main
- 6 Existing 200 amp meter Panel with overhead service
- 7 Existing Gas Meter
- 8 Well



BM Gossamer Blue 1/2 tone body color building
Full tone for doors and storage containers
BM2123-40

Yale Ave
(50' ROW Unpaved)

horizontal redwood 1X6 and 1X4

Plant Legend

Mark	Botanical Name	Common Name	Water Use	Type ¹	Quantity
1	Achillea 'Terra Cotta'	yarrow	Low .03	Ground Cover	18 total
2	Achillea borealis	island pink yarrow	Low .03	Ground Cover	
3	Achillea millefolium	yarrow	Low .03	Ground Cover	
4	Cneorum tricoccon	Olive	Moderate	Tree	3
5	Arctostaphylos uva-ursi	Wood's Compact'	Low .03	Shrub	2
6	Baccharis pilularis	coyote bush	Low .03	Shrub	2
7	Bouteloua curtipendula	sideoats gramma	Very Low .01	Oramental grass	10
8	Calandrinia spectabilis	rock purslane	Low .03	Schrub	10

Owner:
Marc Schrier
Calchemist
PO Box 1654
El Granada, CA 94018-1654
schrier@calchemist.com
650-766-2821

Project Location:
APN: 047-031-420
152 Yale Ave.
Half Moon Bay, CA 94019

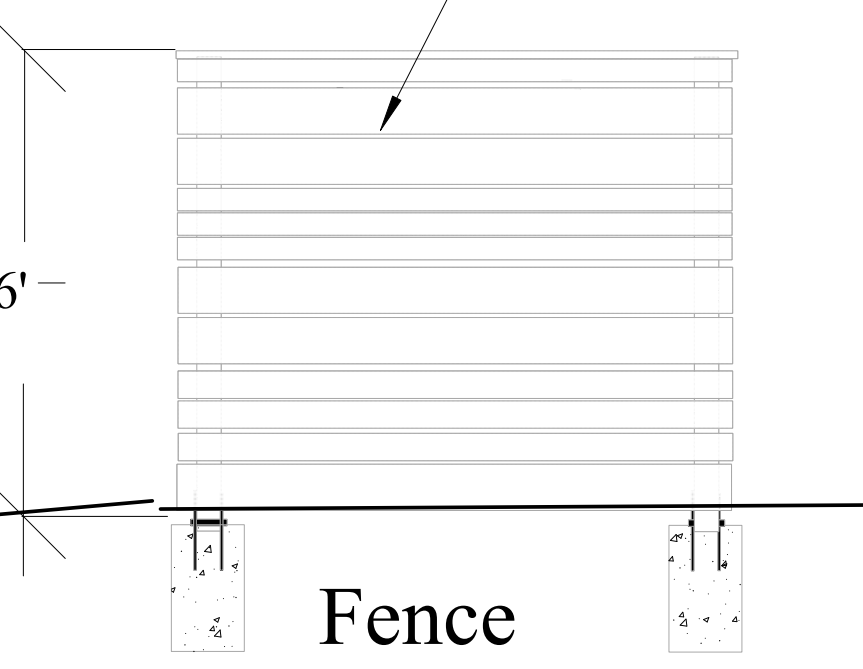
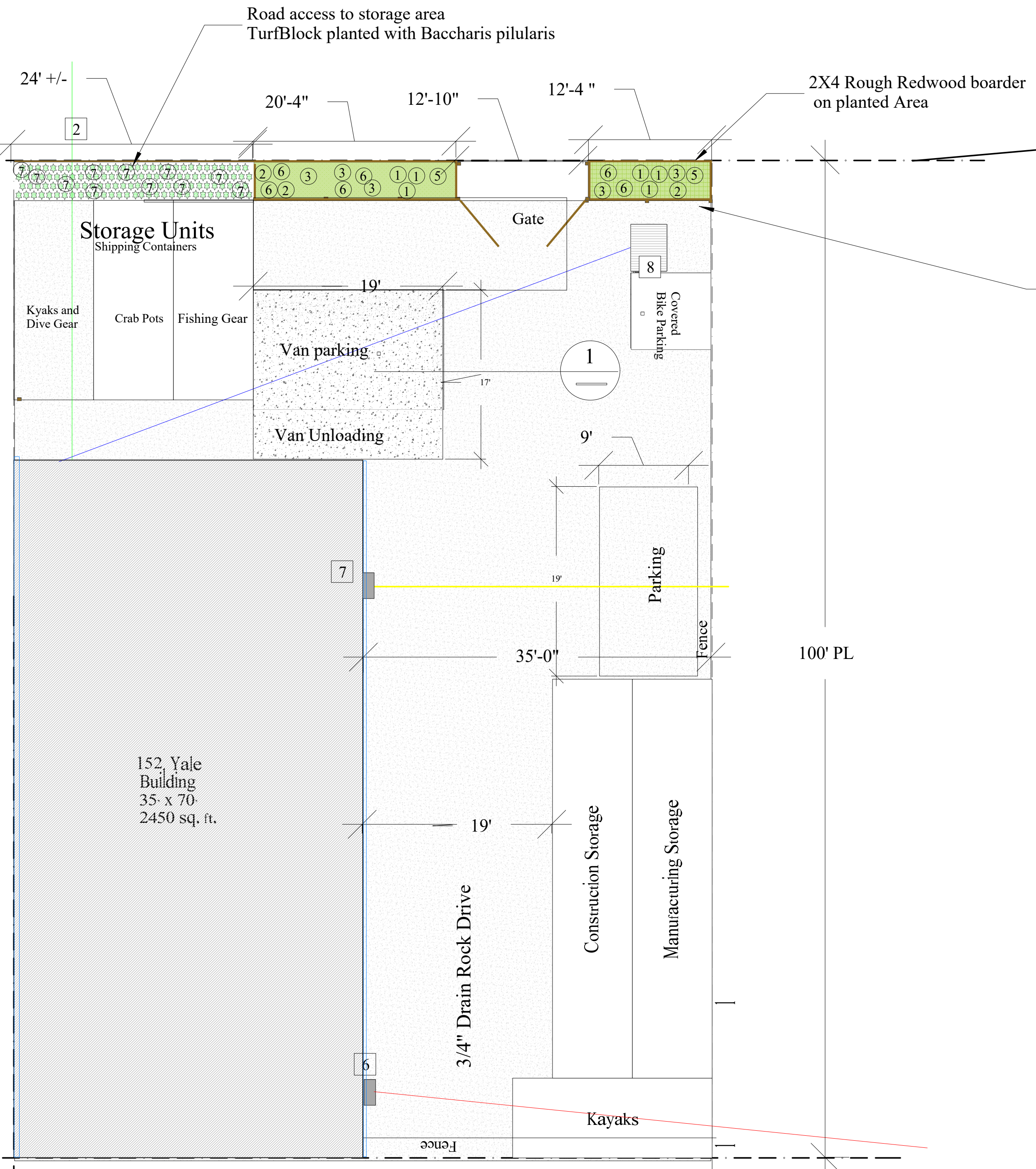
Designer: Tim Pond
Tim Pond Design &
Construction Inc.
timepond@gmail.com
Phone 650.576.7177

Drawn By TP Scale 1/8" = 1'

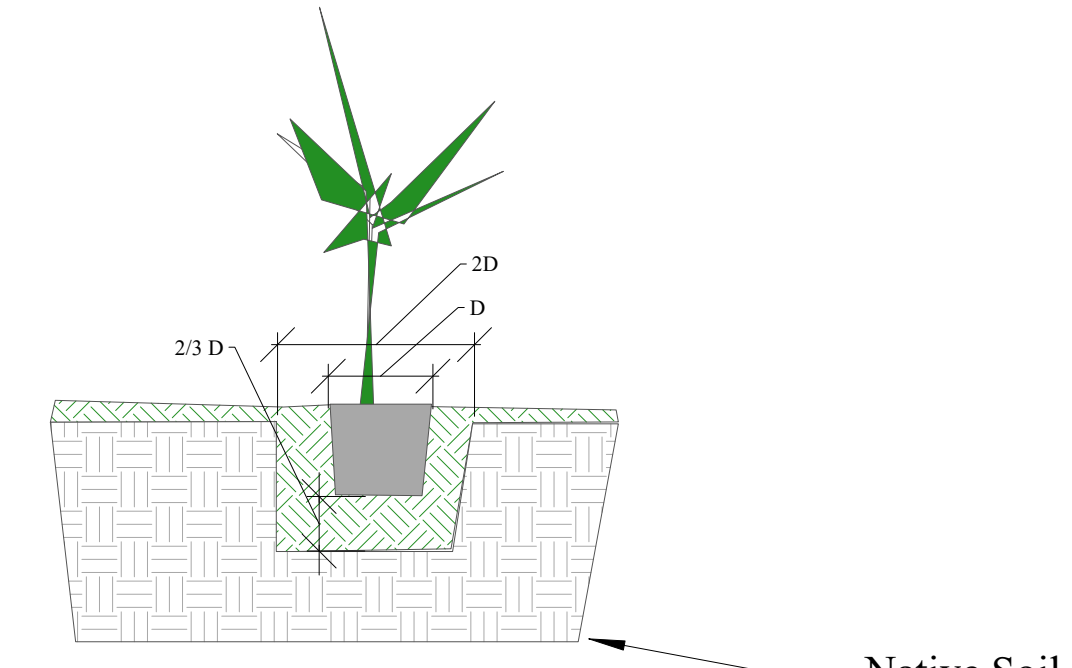
Planning Submittal 2.21.23
Planning resubmittal 8.15.23

Proposed Site Plan A1.1

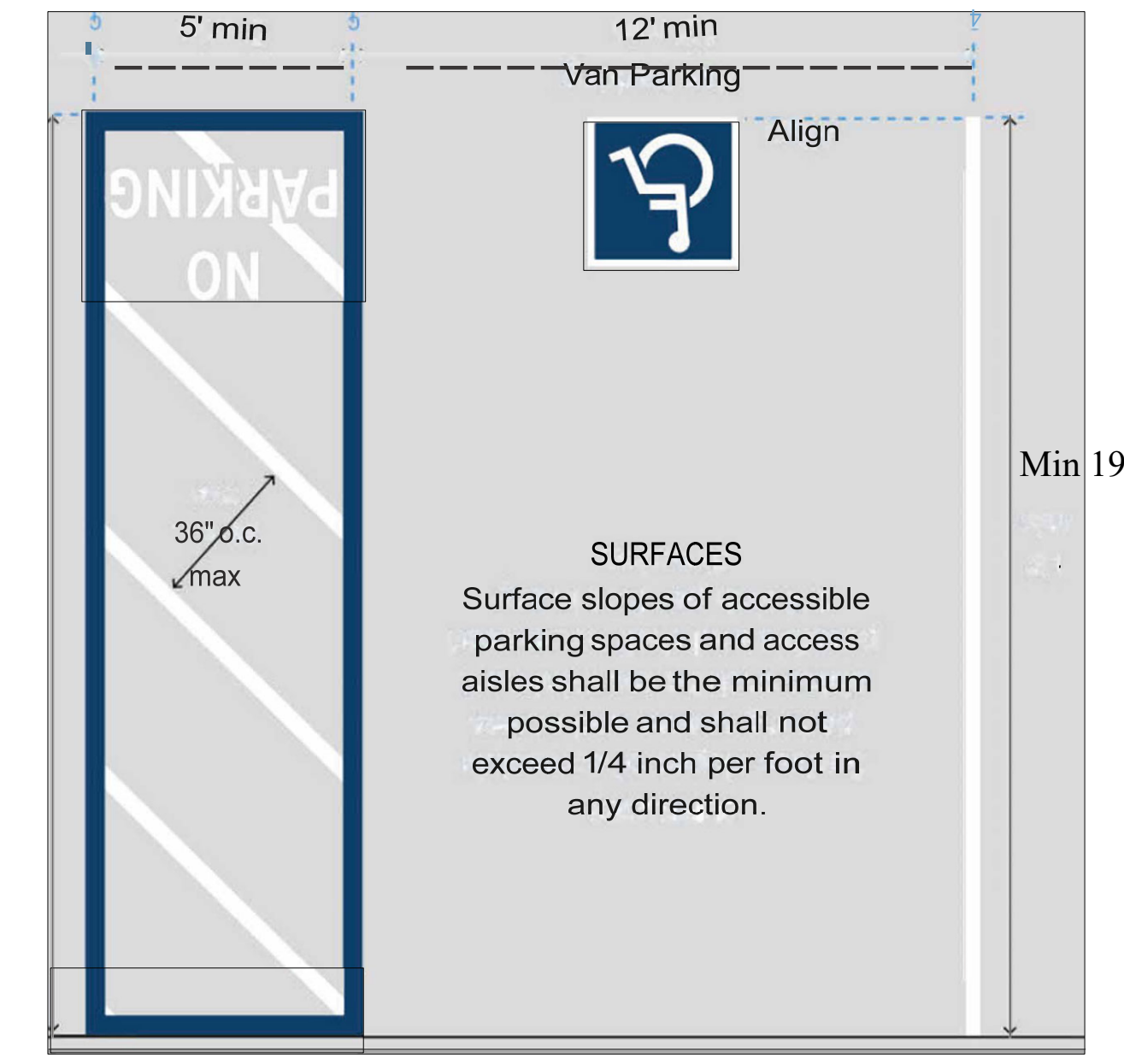
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CA Contractor's License # 931840



Wooden Fence and Gate



Typical Planting Detail



CA 2022 Building code Accessible Van Parking requirements:

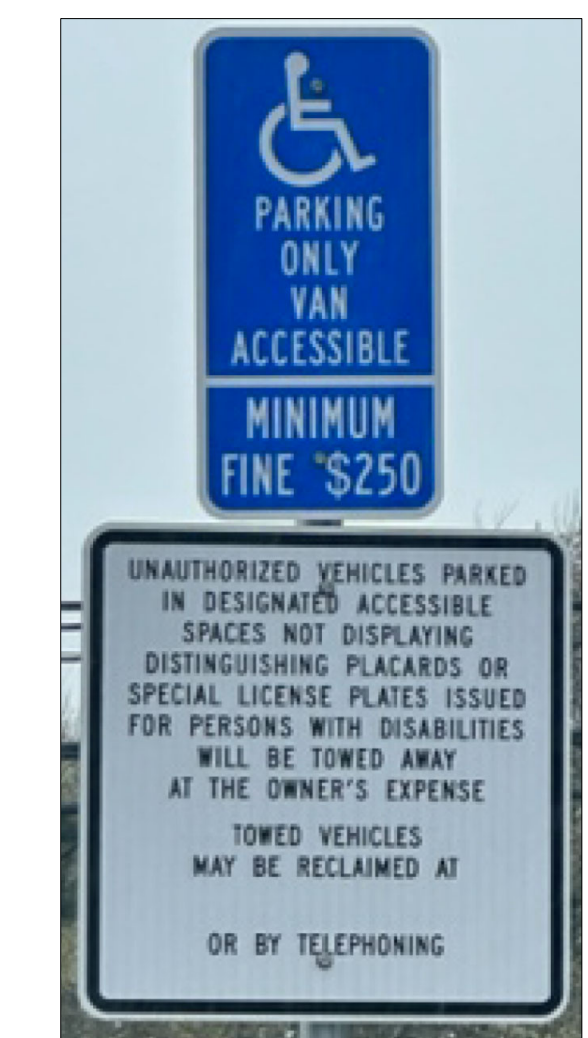
Each accessible parking space reserved for persons with disabilities shall be identified by a reflective sign consisting of the "International Symbol of Accessibility" complying with Section 1143A.8. The sign shall not be smaller than 70 square inches (4516 mm²) in area, and shall be posted 60 inches minimum above the finish floor or ground surface, measured to the bottom of the sign. Signs located on accessible routes shall be posted at a minimum height of 80 inches (2032 mm) above the finish floor or ground surface of the accessible route, measured to the bottom of the sign.

Signs identifying accessible parking spaces shall be visible from each parking space they serve, and shall be permanently posted immediately adjacent to the parking space or within the projected parking space width at the head end of the parking space. Signs may also be permanently posted on a wall at the interior end of the parking space.

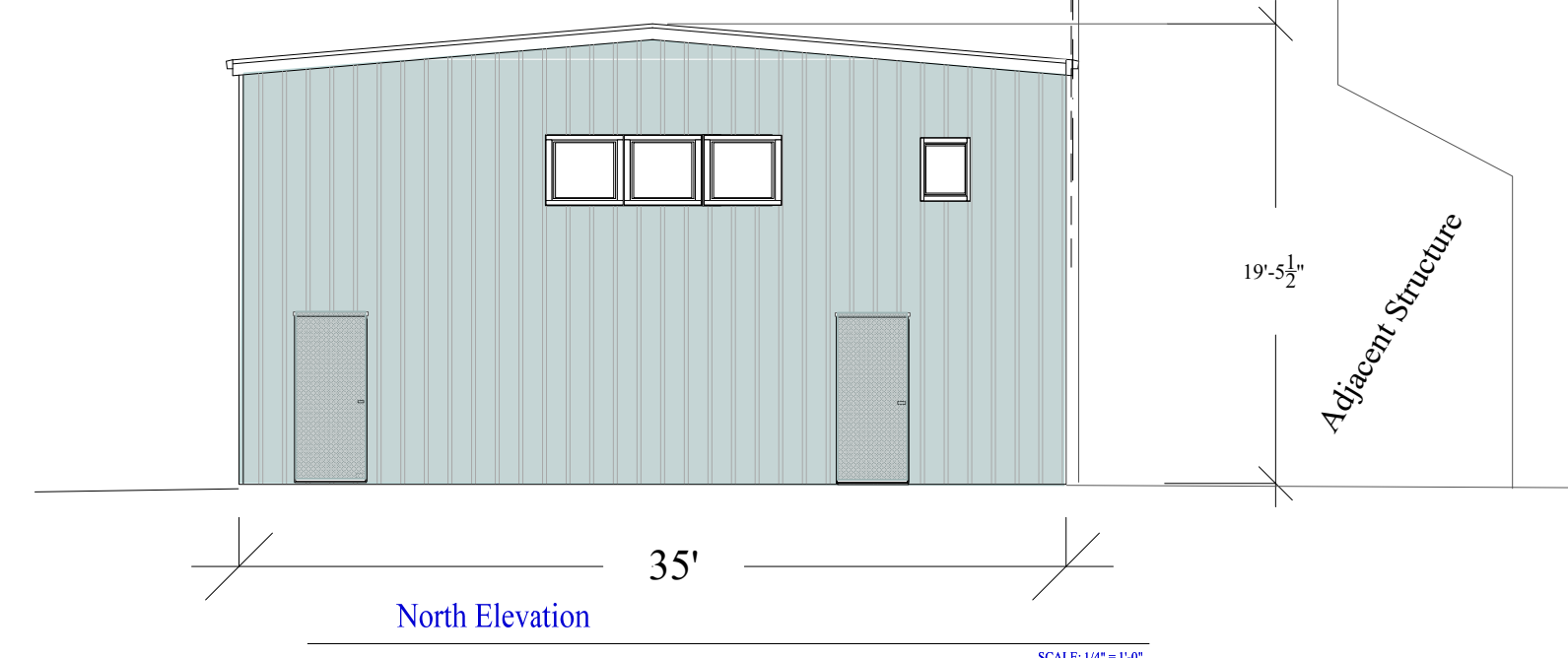
Van accessible spaces shall comply with Section 1109A.8.6 and shall have an additional sign or additional language stating "Van Accessible" below the symbol of accessibility. An additional sign shall also be posted in a conspicuous place at each entrance to off-street parking facilities or immediately adjacent to and visible from each accessible stall or space. The sign shall not be less than 17 inches (432 mm) by 22 inches (559 mm) in size with lettering not less than 1 inch (25.4 mm) in height, and shall clearly and conspicuously state the following: "Unauthorized vehicles parked in designated accessible spaces not displaying distinguishing placards or special license plates issued for persons with disabilities will be towed away at the owner's expense. Towed vehicles may be reclaimed at _____ or by telephoning _____." Blank spaces are to be filled in with appropriate information as a permanent part of the sign.

The parking space shall be outlined or painted blue, and shall be marked with the "International Symbol of Accessibility" in white or a suitable contrasting color. The "International Symbol of Accessibility" shall be 36 inches (914 mm) wide by 36 inches (914 mm) high minimum, with the centerline 6 inches (152 mm) maximum from the centerline of the parking space, its sides parallel to the length of the parking space, and its lower side aligned with the end of the parking space.

The parking space shall be marked with the "International Symbol of Accessibility", in white on a blue background, 36 inches (914 mm) wide by 36 inches (914 mm) high minimum in size. The centerline of the "International Symbol of Accessibility" shall be 6 inches (152 mm) maximum from the centerline of the parking space, its sides shall be parallel to the length of the parking space, and its lower side shall be aligned with the end of the parking space length.



Accessible Van parking and signage



Owner:
Marc Schrier
Calchemist LLC
PO Box 1654
El Granada, CA 94018-1654
schrier@calchemist.com
650-766-2821

Project Location:
APN: 047-031-420
152 Yale Ave.
Half Moon Bay, CA 94019

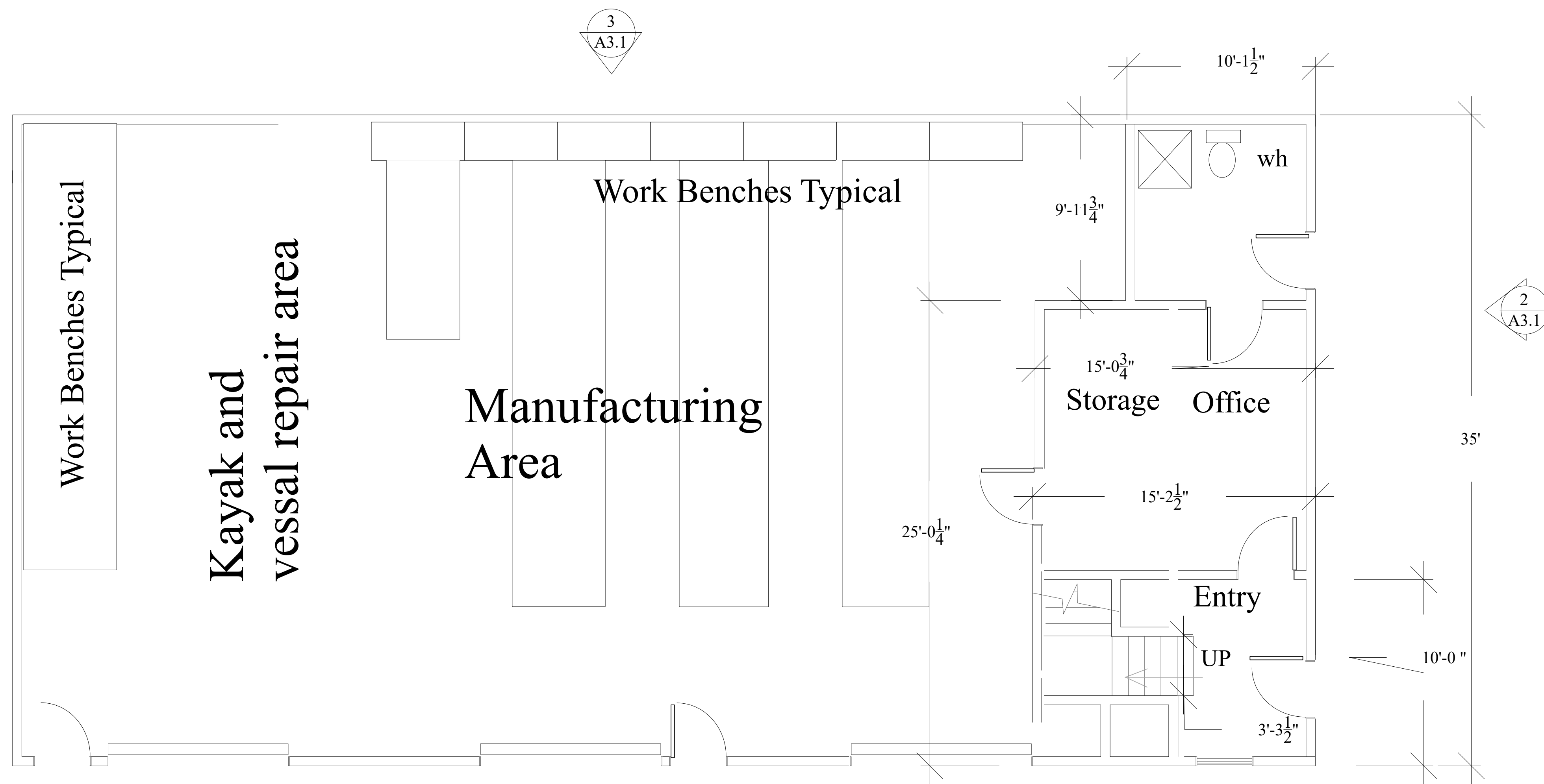
Designer: Tim Pond
Tim Pond Design & Construction Inc.
timepond@gmail.com
Phone 650.576.7177

Drawn By TA Scale 1/4" = 1'

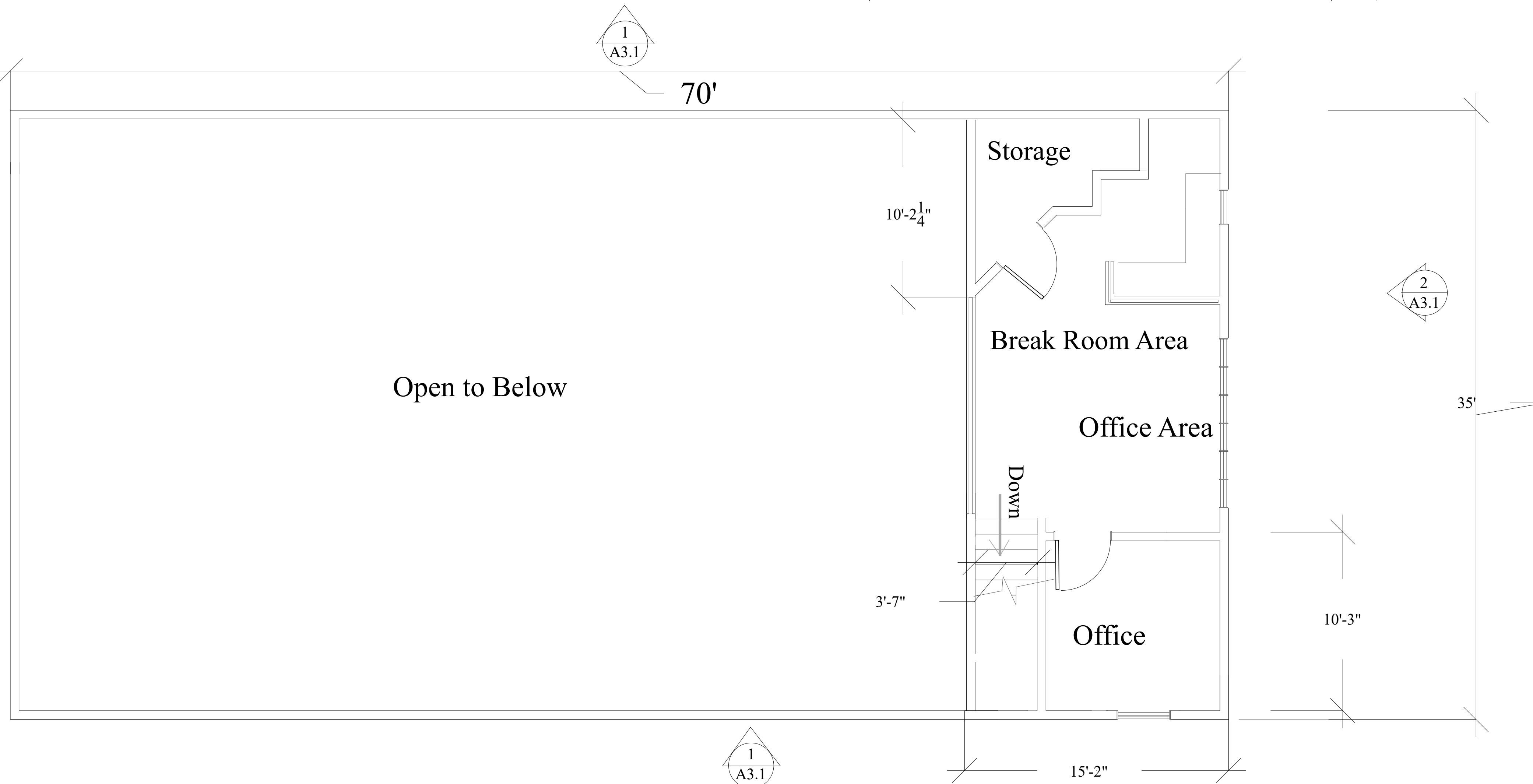
Planning Submittal 2.21.23

Proposed Floor Plans A2.1

Drawn By Tim Pond
CA Contractor's License # 931840



Proposed Main Level Floor Plan



Proposed Second Level Floor Plan

Owner:
Marc Schrier
Calchemist LLC
PO Box 1654
El Granada, CA 94018-1654
schrier@calchemist.com
650-766-2821

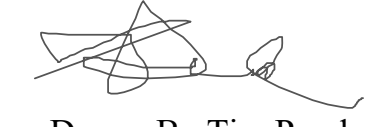
Project Location:
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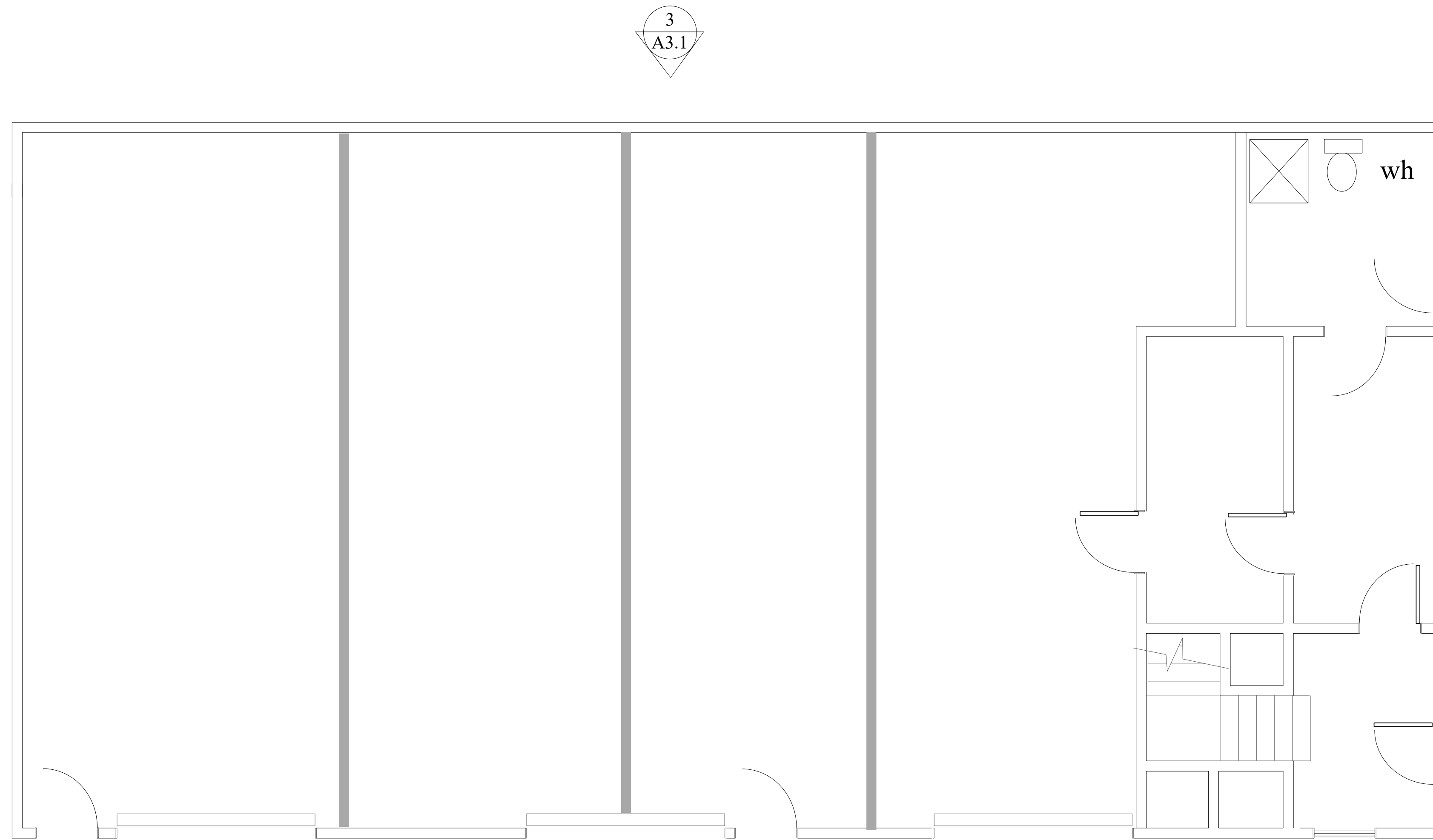
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Planning Submittal 2.21.23

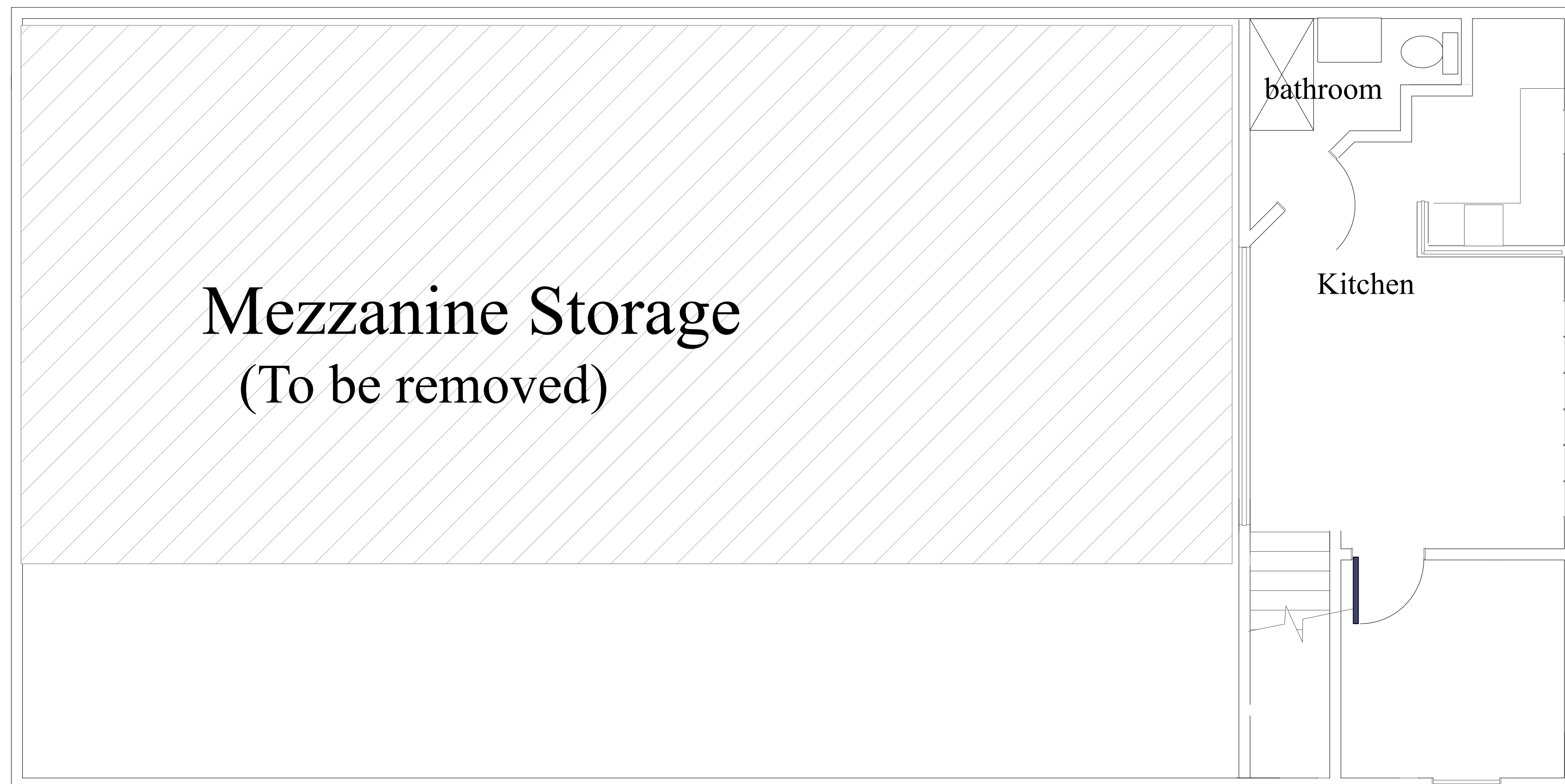
Existing Floor Plans A2.2



Drawn By Tim Pond
CA Contractor's License # 931840



Existing Main Level Floor Plan



Second Level Floor Plan

Owner:
 Marc Schrier
 Calchemist LLC
 PO Box 1654
 El Granada, CA 94018-1654
 schrier@calchemist.com
 650-766-2821

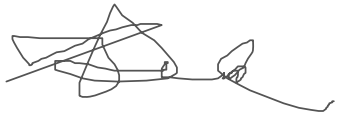
Project Location:
 APN: 047-031-420
 152 Yale Ave.
 Half Moon Bay, CA 94019

Designer: Tim Pond
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 timepond@gmail.com
 Phone 650.576.7177

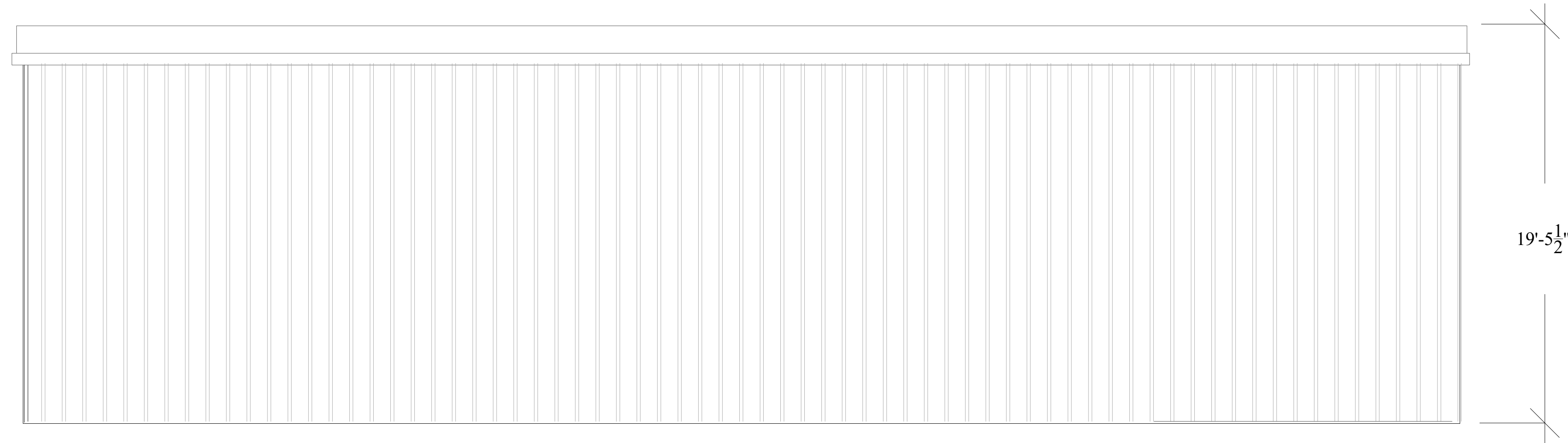
Drawn By TA Scale 1/4" = 1'

Planning Submittal 2.21.23

Proposed Elevations A3.1



Drawn By Tim Pond
 CA Contractor's License # 931840

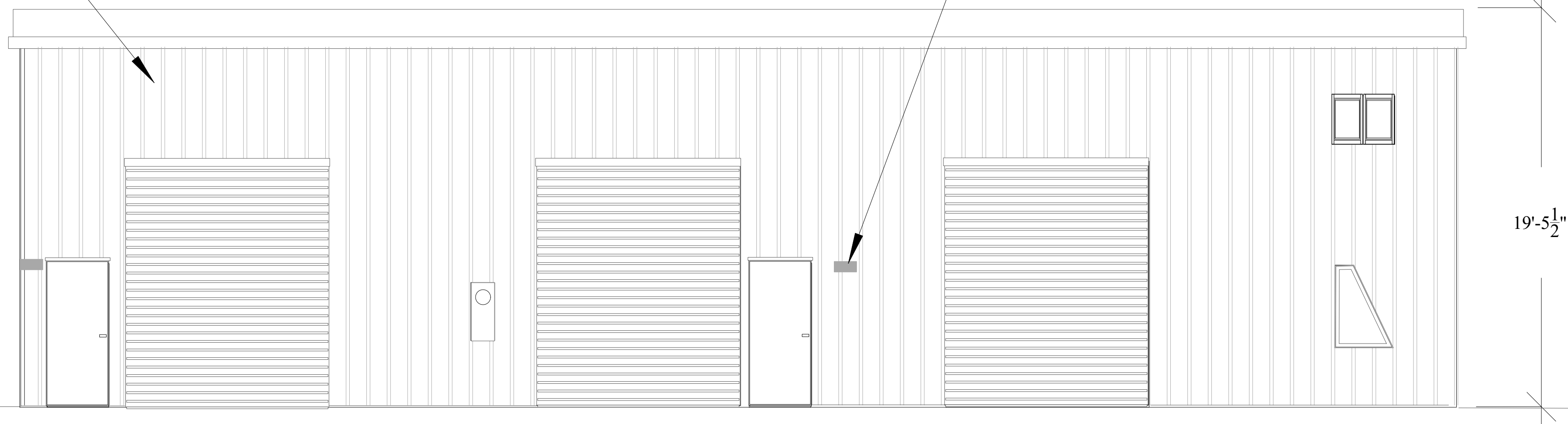


West Elevation

3
 A3.1 SCALE: 1/4" = 1'-0"

Atlantis 9" by Hinkley light fixture (dark sky compliant) Typical at all doors

BM Gossamer Blue 1/2 tone
 BM2123-40

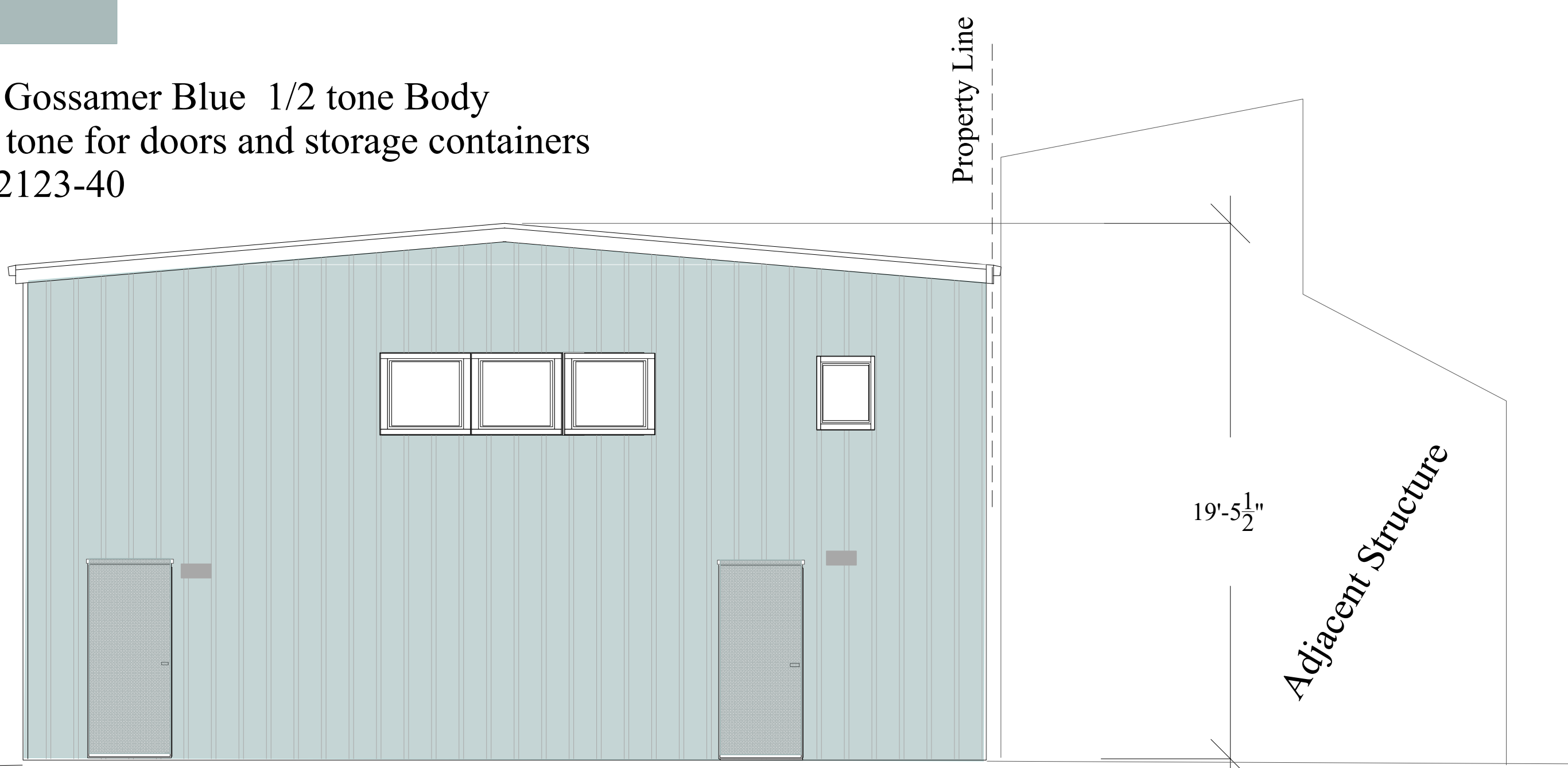


East Elevation

SCALE: 1/4" = 1'-0"



BM Gossamer Blue 1/2 tone Body
 Full tone for doors and storage containers
 BM2123-40



North Elevation

35'

SCALE: 1/4" = 1'-0"



South Elevation

35'

SCALE: 1/4" = 1'-0"

Owner:
Marc Schrier
Calchemist LLC
PO Box 1654
El Granada, CA 94018-1654
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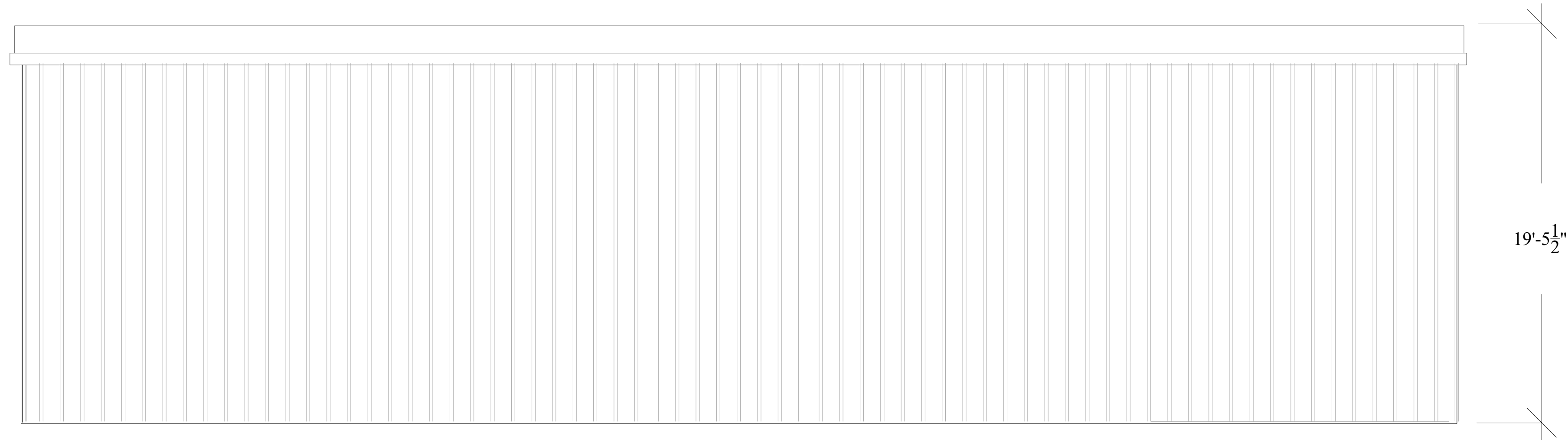
Designer: Tim Pond
Tim Pond Design & Construction Inc.
timpond@gmail.com
Phone 650.576.7177

Drawn By TA Scale 1/4" = 1'

Planning Submittal 2.21.23

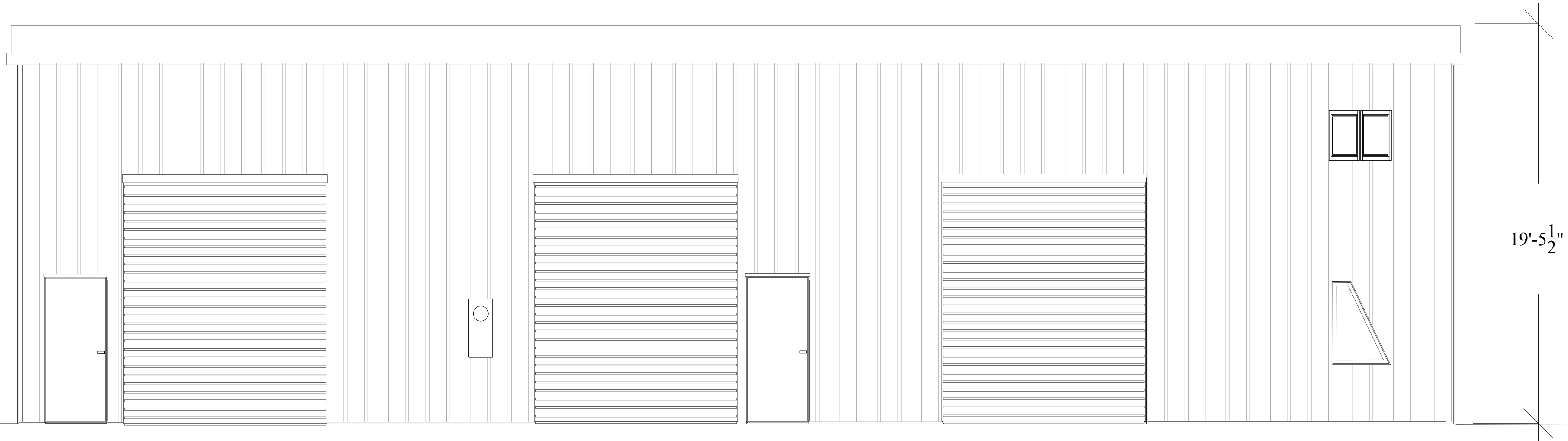
Existing Elevations A3.2

Drawn By Tim Pond
CA Contractor's License # 931840



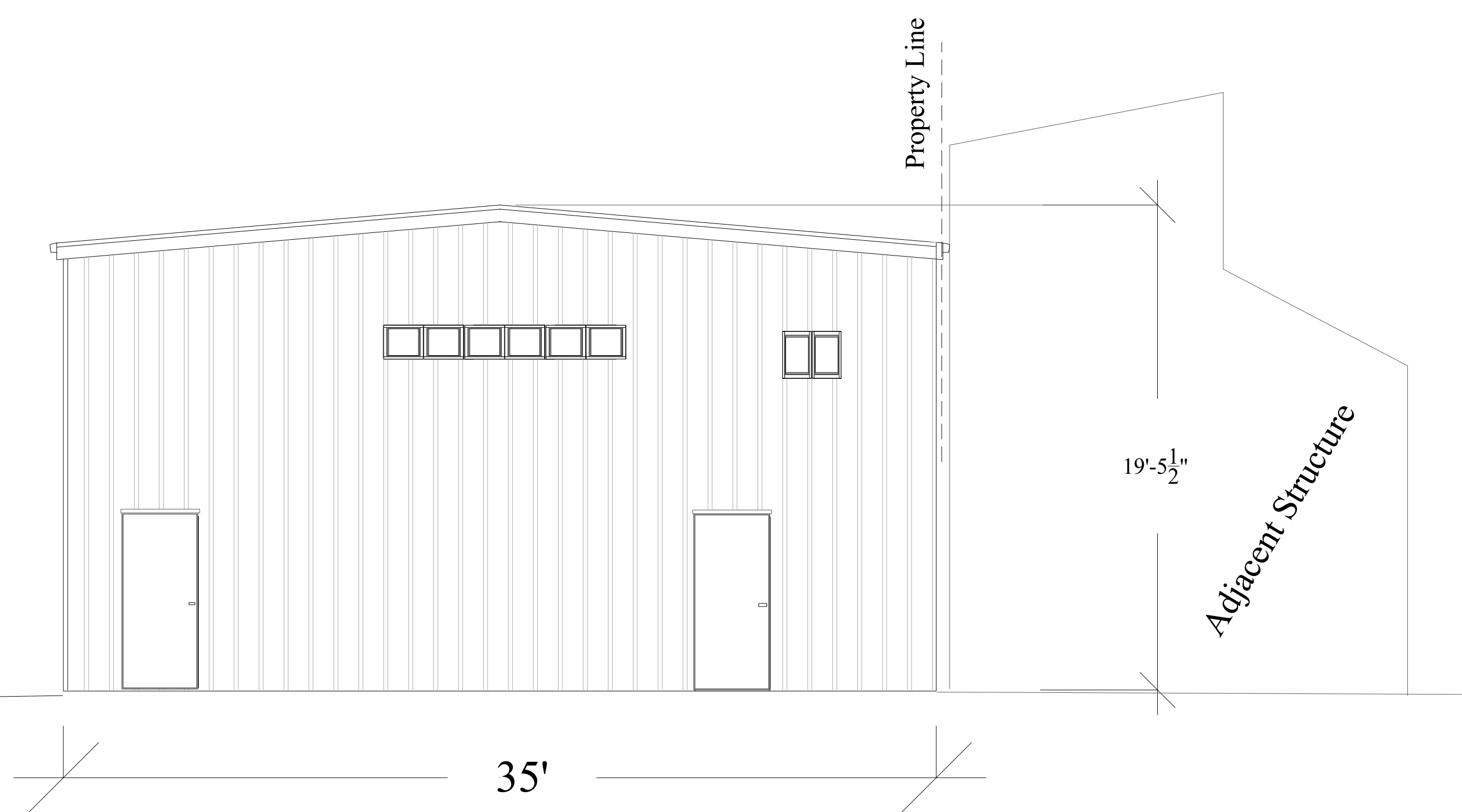
West Elevation

3
A3.1 SCALE: 1/4" = 1'-0"



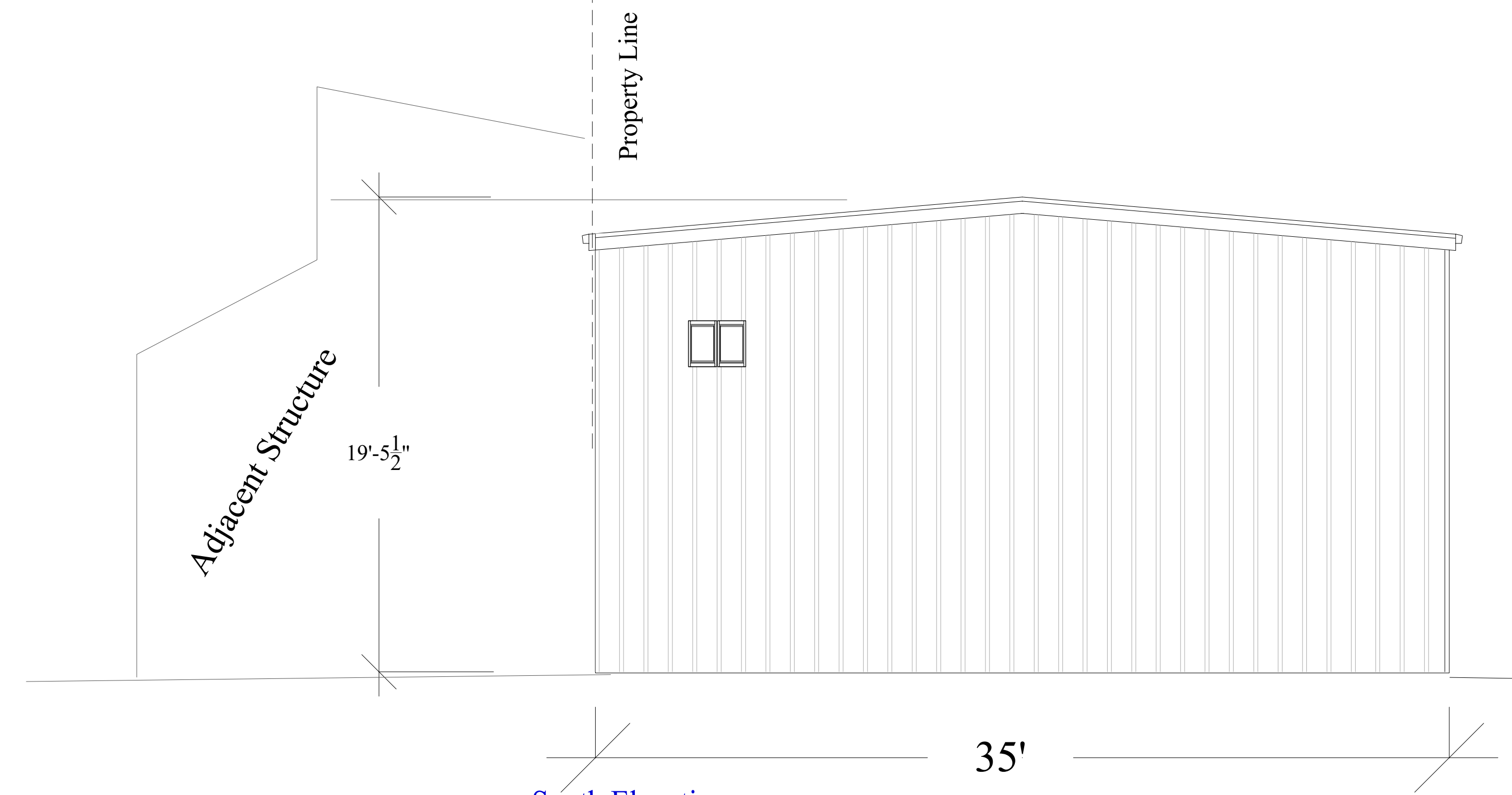
East Elevation

SCALE: 1/4" = 1'-0"



North Elevation

SCALE: 1/4" = 1'-0"



South Elevation

SCALE: 1/4" = 1'-0"



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT D

Addendum to Business Zoning Conformance Review Document for San Mateo County Planning and Building Department.

Description of Proposed Business:

Calchemist is a small contract manufacturing and research business with corporate, academic, and government clients. I am an inorganic solid state materials chemist by training, and all of the projects are materials chemistry or engineering in nature; I have a number of marine-related research and engineering projects. Since 2005 I have been working with Pleasanton Ridge Research Corporation on a Sandia National Labs funded desalinization project to explore the application of low density clathrate hydrates to extract potable water from sea or brackish water. Since 2011 I've been working with Covalent, a Redwood Shores company, and Aguavia, investigating the application of single atomic layer films for the low energy purification of sea, industrial discharge, or agriculturally challenged water sources. In 2016 I started to consult on two DOE projects to identify new materials for the isolation of cesium as well as iodide and iodate from ocean water to aid in the Fukushima cleanup. And in 2020 I started working with Aquanex on a novel media to clean water of PFAS and oily wastes. Aside from the aquatic projects, I am producing ultra high purity molybdenum metal targets for a venture capital and Department of Energy funded company that uses them to prepare technetium for medical imaging and diagnostics by a new route; they are the only US manufacturer of this critical material! References are available upon request.

In addition to manufacturing and research activities, I plan to utilize the site for recreational boating and fishing activities by building, storing, cleaning, and maintaining kayaks, boats, surf boards, scuba, fishing, and crabbing gear. The existing shipping containers are well placed so they don't extend into the public right of way when opened, but allow vehicles to stop in the parking strip on the edge of the public right of way to load and unload supplies.

The existing building had been used as residential living space and was a Ghost Ship warehouse disaster waiting to happen with ten guys living in one of the three units that was modified for dwelling without permits. I propose to restore the building to a large wide open expanse, but keeping the loft space on one end to serve as an office with a small kitchen (countertop, sink, refrigerator, and microwave). I propose to keep the downstairs bathroom, including the shower to freshen up after exercise or as a safety shower in case of an emergency. Renovating the building in the Princeton Harbor area will not only serve to revitalize the existing industrial area, but reduce my environmental footprint by eliminating my daily commute from El Granada to South San Francisco thus enabling me to bike to work, applying building insulation during the renovation, and generating most of the energy needs on site through the use of solar power and storage.

I would like to be accepted in the Waterfront District as "Low to Moderate Impact Manufacturing and Store Module (MFG-1), Indoor Low to Moderate Impact Manufacturing (3.01.10)".

Hazardous Materials:

I have been operating in South San Francisco for the last five years, and prior to that in San Carlos since 2005, and store and use a number of hazardous materials in small quantities. I have a Certified Unified Program Agency permit, and our Hazardous Materials Business Plan is on file with the San Mateo County Environmental Health Department. As of the 2022 filing, there are only four materials with sufficient quantity to be reported on the HMBP, and they are all compressed gasses in cylinders. As a small shop, we generate very little chemical waste, and have been operating as a Very Small Quantity Generator in San Mateo County.



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT E













MS The
Mobile
Storage
Group
RENTALS
SALES
INDICATIONS
(800) 662-8810
www.mobilestorage.com
America's On-site Storage Solution

913304-4



TRITON
www.tritoncontainer.com

TRHU 195980 6
22G1

MAXGROSS	30,480 KGS
	67,200 LBS
TARE WT.	2,180 KGS
	4,810 LBS
PAYLOAD	28,300 KGS
	62,390 LBS
CU.CAP.	33.2 CU.M.
	1,173 CU.FT.

6

TAL

www.tal-container.com

TCLU 316381
22G1

MAX. GROSS

30.480 KGS.
67.200 LBS.

TARE

2.200 KGS.
4.850 LBS.

NET

28.280 KGS.
62.350 LBS.

CU. CAP.

33.2 CU.M.
1.172 CU.FT.



CMC

512304-4



TRITON

TRHU 195980 6
2261

MAXGROSS 38 480 KGS
TARE WT. 2 040 KGS
PAYLOAD 28 320 KGS
CU.CAP. 33.2 CBM

TAL

TCLU 3163
2261

MAX. GROSS 38 480 KGS
67 200 LB.
TARE 2 200 KGS
4 850 LB.
NET 28 280 KGS
62 350 LB.
CU. CAP. 33.2 CBM
1 172 CUFT

513104-4



TRITON

TRHU 195980 6
2261

MAX GROSS 39,480 KGS
84,200 LBS
TARE WT. 2,200 KGS
4,850 LBS
PAYLOAD 37,280 KGS
82,350 LBS
CU CAP. 33.2 CU M
1,172 CU FT.

TAL

TCLU 3163
2261

MAX. GROSS 39,480 KGS
84,200 LBS
TARE 2,200 KGS
4,850 LBS
NET 37,280 KGS
82,350 LBS
CU CAP. 33.2 CU M
1,172 CU FT.





TRITON
www.tritoncontainer.com

TCNU 954565
45G1

MAX GROSS WEIGHT
TARE WEIGHT
MAX LOAD
C.CAP.

4400 KGS	2200 LBS
3000 KGS	1500 LBS
1470 LBS	
4400 KGS	
2200 LBS	
TL - DIM	
2.200 DPT	

CAUTION
9'6"
HIGH
CONTAINER