

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: November 30, 2022

TO: Planning Commission

FROM: Planning Staff

SUBJECT: Consideration of a Coastal Development Permit (CDP) and Design Review Permit, pursuant to Sections 6328.4, and 6565.3 of the Zoning Regulations, to allow the construction of a 418 sq. ft., single-story addition to an existing 1,978 sq. ft. single-family residence on a legal 5,488 sq. ft. parcel in the Moss Beach area of the unincorporated San Mateo County. The project involves only minor grading and no tree removal. The project is appealable to the California Coastal Commission.

County File Number: PLN 2022-00010 (Moldovan)

PROPOSAL

The applicant proposes to construct a 418 sq. ft., single-story addition to an existing 1,978 sq. ft. single-family residence on a legal 5,488 sq. ft. parcel. The project involves no tree removal and only minor grading. The subject parcel fronts Lancaster Boulevard, an improved, public roadway. The subject parcel is located in an established residential neighborhood and is surrounded by single-family residences. An unpermitted pergola that is attached to the rear of the house would be demolished. Although the residence is within the Cabrillo Highway Scenic Corridor, the residence is not visible from Cabrillo Highway.

RECOMMENDATION

That the Planning Commission approve the Coastal Development Permit and Design Review Permit County File Number PLN 2022-00010, by making the required findings and adopting the conditions of approval identified in Attachment A.

BACKGROUND

Report Prepared By: Glen Jia, Project Planner, Telephone 650/363-1803

Applicant: Renee Moldovan, Bodas Construction

Property Owners: Erik and Rebecca Taubman

Public Notification: Ten (10) day advanced notification for the hearing was mailed to residents within 100 feet and property owners within 300 feet of the project parcel and a notice for the hearing posted on newspapers for general public circulation.

Location: 450 Lancaster Boulevard, Moss Beach

APN: 037-171-770

Size: 5,488 sq. ft.

Existing Zoning: R-1/S-17/DR/CD (One Family Residential District/ Residential Density District 17/Design Review District/Coastal Development District)

General Plan Designation: Medium Density Residential

Local Coastal Plan Designation: Medium Density Residential

Existing Land Use: Single-family residential

Water Supply: Montara Water and Sanitary District

Sewage Disposal: Montara Water and Sanitary District

Flood Zone: Zone X (Areas of Minimal Flood Hazard), Community Panel No. 06081C0119F, Effective date August 2, 2017.

Environmental Evaluation: This project is exempt from environmental review, pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15301, Class 1(e), relating to the construction of additions to existing structures up to 50% of floor area. The project involves a 418 sq. ft. (approximately 21% of the existing floor area) addition to an existing single-family residence. For these reasons, the project is exempt from CEQA.

Setting: The subject parcel fronts Lancaster Boulevard, an improved, public roadway. The subject parcel is located in an established residential neighborhood and is surrounded by single-family residences.

Chronology:

| <u>Date</u> | <u>Action</u> |
|------------------|---|
| January 18, 2022 | - Initial application submitted |
| April 3, 2022 | - First resubmittal received to address comments provided by Planning and Environmental Health Services staff |
| May 3, 2022 | - Second resubmittal received to address Planning comments |

- June 10, 2022 - Application deemed complete
- July 14, 2022 - Coastside Design Review Committee (CDRC) recommended approval of the original proposal
- July 20, 2022 - Request for a major modification to the roof design received
- July 27, 2022 - Deemed complete; scheduled for a CDRC hearing
- September 8, 2022 - The CDRC recommended approval for the major modification based on project conformance with Design Review District Standards, subject to minor changes (see Condition 6 in Attachment A)
- November 30, 2022 - Planning Commission public hearing

DISCUSSION

A. KEY ISSUES

1. Conformance with the General Plan

Upon review of the applicable provisions of the General Plan, staff has determined that the project complies with the following General Plan Policies:

a. Visual Resources Policies

Policy 4.15 (*Appearance of New Development*) regulates development to promote and enhance good design, site relationships, and other aesthetic considerations. The proposed addition to a single-family residence is on a parcel located within a design review district. The project was reviewed under and found to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast by the Coastside Design Review Committee at the regular meeting on September 8, 2022. The project's compliance with the applicable design review standards will be discussed further in Section A.5 of this report below.

2. Conformance with the Local Coastal Program

A CDP is required, pursuant to Section 6328.4 (*Requirement for Coastal Development Permit*) of the County zoning regulations. As the project would result in an increase of over 10% of internal floor area, the project requires a CDP that is appealable to the California Coastal Commission.

The property is located within the California Coastal Commission Appeals Jurisdiction, on a parcel located on the west side of Cabrillo Highway.

Staff has determined that the project is in compliance with applicable Local Coastal Program (LCP) Policies, elaborated as follows:

a. Locating and Planning New Development

Policy 1.19 (*Ensure Adequate Public Services and Infrastructure for New Development in Urban Areas*) requires that no permit for development in the urban area shall be approved unless it can be demonstrated that it will be served with adequate water supplies and wastewater treatment facilities. The project proposes to increase the number of bedrooms and plumbing fixtures. Montara Water and Sanitary District has confirmed adequate supply and treatment capacity to serve the project.

b. Visual Resources

Policies 8.9(a) and 8.9(b) (*Trees*) require new development to minimize tree removal and to protect significant size (12-inch diameter or greater) trees per the Significant Tree ordinance. The project involves no tree removal or trimming.

Policy 8.13 (*Special Design Guidelines for Coastal Communities*) establishes design guidelines for Montara, Moss Beach, El Granada, and Miramar. The proposed addition complies with these guidelines as follows:

- (1) On-site grading is not extensive as the site is relatively flat. The project proposes only minor grading, which is necessary to carry out the construction of the proposed 418 sq. ft. addition.
- (2) The proposed materials for the addition, such as cedar siding, would match the residence and have a natural appearance. On September 8, 2022, the CDRC reviewed the proposed exterior materials and found that the project complies with this guideline.
- (3) The proposed design of the addition uses gable roofs, including non-reflective, black composition shingle as the primary roof material. On September 8, 2022, the CDRC reviewed the proposed roof design and found that the project complies with this guideline.
- (4) The resulting house is designed to be compatible with other houses in the area which are similar in size. The CDRC

reviewed the project and found that the house is designed to be compatible with other residences in the area.

Policy 8.18.b. (*Development Design*) require screening to minimize the visibility of development from scenic roads and other public viewpoints. Screening shall be by vegetation or other materials which are native to the area or blend with the natural environment and character of the site. Although the residence is within the Cabrillo Highway Scenic Corridor, the residence is not visible from Cabrillo Highway. The project will not increase the building height of the existing, one-story single-family residence, which is only 15 feet 7 inches in height. For these reasons, staff concludes that no screening is required for the project.

3. Conformance with the Half Moon Bay Airport Land Use Compatibility Plan (ALUCP)

Upon review of the provisions of the ALUCP for the Environs of Half Moon Bay Airport, as adopted by the City/County Association of Governments (C/CAG) on October 9, 2014, staff has determined that the project's site location complies with the safety, noise, and height limit criteria for airport compatibility. The project site is located in the Half Moon Bay Airport Zone 2, Inner Approach/Departure Zone (IADZ), where the accident risk level is considered to be high. Residential development is generally prohibited in the IADZ, except for very low residential and infill in developed areas. The site is developed, and no additional dwelling units are being added. The proposed project complies with all IADZ development conditions in the Safety Criteria Matrix of the ALUCP, such as preventing hazards to flights, as the proposed addition does not penetrate the established airspace threshold. For these reasons, the project conforms to the ALUCP.

4. Conformance with S-17 District Development Standards

A summary of the proposal's compliance with the property's S-17 Zoning Designation is provided in the following table.

| | S-17 Development Standards | Existing | Proposed |
|--------------------------------|-----------------------------------|--------------------|-----------------------|
| Building Site Area | 5,000 sq. ft. | 5,488 sq. ft. | <i>No Change</i> |
| Building Site Width | 50 ft. | 50 ft. | <i>No Change</i> |
| Maximum Building Site Coverage | (50%) 2,744 sq. ft. | (36%)1,978 sq. ft. | (43.6%) 2,396 sq. ft. |
| Maximum Floor Area | (53%) 2,908.64 sq. ft. | (36%)1,978 sq. ft. | (43.6%) 2,396 sq. ft. |
| Minimum Front Setback | 20 ft. | 21'-11 1/8" | 20 ft. |
| Minimum Rear Setback | 20 ft. | Approx. 13 ft. | 29'-4 7/16" |
| Minimum Right Side Setback | 5 ft. | 4'-3 1/8" | No Change |
| Minimum Left Side Setback | 5 ft. | 5'-3 1/4" | No Change |
| Maximum Building Height | 28 ft. | 15'-7" | No Change |
| Minimum Parking Spaces | 2 | 2 | No Change |
| Facade Articulation | Finding by CDRC | N/A | Complies |

The project complies with applicable development standards, including but not limited to setbacks, maximum building height, maximum lot coverage, and maximum floor area of the S-17 Zoning District, as shown in the table above. The right side of the residence has a non-conforming setback of 4 feet 3 1/8 inches where 5 feet is required. The project will not enlarge the non-conforming portion of the residence.

An unpermitted 220 sq. ft. pergola is attached to the rear portion of the residence and does not meet the rear setback requirement. The applicant proposes to demolish the pergola to comply with the 20-foot rear setback requirement. Furthermore, staff has included Condition No. 5 which requires the applicant to demolish the pergola prior to final of the building permit.

5. Conformance with Design Review District Standards

The Coastside Design Review Committee (CDRC) considered the project at their regularly scheduled meeting on September 8, 2022. At that meeting, the CDRC adopted the findings to recommend project approval (Attachment D), pursuant to the Design Review Standards for One-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:

- a. Section 6565.20 (D) ELEMENTS OF DESIGN; 1b. Neighborhood Scale: The design aligns well with the other houses of the same vintage layout and size.

- b. Section 6565.20 (D) ELEMENTS OF DESIGN; 2. Architectural Styles and Features: The style (California mini ranch), size, and shape of the residence is consistent with the predominant style of nearby homes. Additionally, the proposed gable roof (with double front and single sides) complements other homes in the neighborhood.
- c. Section 6565.20 (D) ELEMENT OF DESIGN; 1d. Façade Articulation; and 4. Exterior Materials and Colors: The design is consistent with neighboring houses, as the project proposes muted exterior colors and repeating siding (simulated shingles) at gables.

B. ENVIRONMENTAL REVIEW

This project is exempt from environmental review, pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15301, Class 1(e), relating to the construction of additions to existing structures up to 50% of floor area. The project involves a 418 sq. ft. (approximately 21% of the existing floor area) addition to an existing single-family residence. For these reasons, the project is exempt from CEQA.

C. COMMENTS FROM MIDCOAST COMMUNITY COUNCIL

The Midcoast Community Council (MCC) reviewed the project and provided no comments.

D. COMMENTS FROM THE CALIFORNIA COASTAL COMMISSION

Staff provided project materials to the California Coastal Commission (CCC) for review and comments on February 17, 2022. No comments from CCC staff have been received.

E. REVIEWING AGENCIES

Building Inspection Section
Drainage Section
Geotechnical Section
Coastside Fire Protection District
Montara Water and Sanitary District
California Coastal Commission
Midcoast Community Council
Department of Public Works

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map
- C. Project Plans
- D. Coastside Design Review Committee Recommendation Letter

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County of San Mateo - Planning and Building Department

ATTACHMENT A

County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2022-00010 Hearing Date: November 30, 2022

Prepared By: Glen Jia, Project Planner For Adoption By: Planning Commission

RECOMMENDED FINDINGS

Regarding the Environmental Review, Find:

1. This project is exempt from environmental review, pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15301, Class 1(e), relating to the construction of additions to existing structures up to 50% of floor area. The project involves a 418 sq. ft. (approximately 21% of the existing floor area) addition to an existing single-family residence. For these reasons, the project is exempt from CEQA.

For the Coastal Development Permit, Find:

2. That the project, as described in the application and accompanying materials required by Section 6328.7 and as conditioned in accordance with Section 6328.14, conforms to the plans, policies, requirements, and standards of the San Mateo County Local Coastal Program. Specifically, the project complies with policies regarding minimization of tree removal, design review standards, and utility connection.
3. That where the project is located between the nearest public road and the sea, or the shoreline of Pescadero Marsh is subject to the public access and public recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Section 30200 of the Public Resources Code). The proposed addition would not lead to any significant impacts to public access and recreation and complies with the policies.
4. That the project conforms to the specific findings required by policies of the San Mateo County Local Coastal Program as discussed in Section A.2 of the staff report.

Regarding the Design Review, Find:

5. That the project, as proposed and conditioned, has been reviewed and found to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:
 - a. Section 6565.20 (D) ELEMENTS OF DESIGN; 1b. Neighborhood Scale: The design aligns well with the other houses of the same vintage layout and size.
 - b. Section 6565.20 (D) ELEMENTS OF DESIGN; 2. Architectural Styles and Features: The style (California mini ranch), size, and shape of the residence is consistent with the predominant style of nearby homes. Additionally, the proposed gable roof (with double front and single sides) complements other homes in the neighborhood.
 - c. Section 6565.20 (D) ELEMENT OF DESIGN; 1d. Façade Articulation; and 4. Exterior Materials and Colors: The design is consistent with neighboring houses, as the project proposes muted exterior colors and repeating siding (simulated shingles) at gables.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. The project shall be constructed in compliance with the plans as approved by the Planning Commission on November 30, 2022 and as reviewed by the Coastsides Design Review Committee on September 8, 2022. Any changes or revisions to the approved plans are subject to review and approval by the Community Development Director. Minor adjustments to project design may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Design Review Officer may refer consideration of the revisions to the Coastsides Design Review Committee, with applicable fees to be paid.
2. The Coastal Development Permit and Design Review approvals shall be valid for five (5) years from the date of final approval in which time a building permit shall be issued, and a completed inspection (to the satisfaction of the building inspector) shall have occurred within 180 days of its issuance. An extension of these approvals will be considered upon written request and payment of the applicable fees sixty (60) days prior to the permits' expiration.
3. The applicant shall provide "finished floor elevation verification" to certify that the structure is actually constructed at the height shown on the submitted plans. The

applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point in the vicinity of the construction site:

- a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
 - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
 - c. Prior to the Planning Department approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
 - d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
 - e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
 - f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
4. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including, but not limited to, the following:
- a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.

- b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
- c. Performing clearing and earth-moving activities only during dry weather.
- d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
- e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
- f. Removing spoils promptly, and avoiding stockpiling of fill materials, when rain is forecast. If rain threatens, stockpiled soils and other materials shall be covered with a tarp or other waterproof material.
- g. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- h. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
- i. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- j. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
- k. Limiting construction access routes and stabilization of designated access points.
- l. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
- m. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and Construction Best Management Practices.
- n. Additional Best Management Practices, in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
- o. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.

5. Prior to final of the building permit, the unpermitted pergola shall be demolished. A demolition permit is required.
6. The applicant shall indicate the following on plans submitted for a building permit, as stipulated by the Coastside Design Review Committee:
 - a. Add “Bay Window” to the front of proposed addition, which shall be the same size as the originally proposed window. Remove eyebrow roof gable at new addition only.
 - b. Optional: change the exterior color of the garage door to a darker color to break up the appearance of mass.
7. The applicant shall include an erosion and sediment control plan to comply with the County’s Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
8. All new power and telephone utility lines from the street or nearest existing utility pole to the dwelling and/or any other structure on the property shall be placed underground.
9. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Drainage Section, the Montara Water and Sanitary District, and the Coastside Fire Protection District.
10. No site disturbance shall occur, including any vegetation removal, until a building permit has been issued.
11. To reduce the impact of construction activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
 - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on Lancaster Blvd. All construction vehicles shall be parked on-site outside the public right-of-way

or in locations which do not impede safe access on either street. There shall be no storage of construction vehicles in the public right-of-way.

12. The project site is located within the Fitzgerald Area of Special Biological Significance (ASBS) watershed. Runoff and other polluted discharges from the site are prohibited. Development shall minimize erosion, treat stormwater from new/replaced impervious surfaces, and prevent polluted discharges into the ASBS or a County storm drain (e.g., car washing in a driveway or street, pesticide application on lawn).
13. The exterior color samples submitted to the CDRC are conditionally approved. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.
14. All exterior lighting shall be downward directed, shielded, and be maintained to prevent glare in the surrounding area. All proposed exterior lighting shall be reviewed and approved by the Planning Department (design manufacturer's "cut sheets") prior to the issuance of a building permit.
15. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving and Christmas (San Mateo County Ordinance Code Section 4.88.360).

Building Inspection Section

16. A building permit shall be obtained for the proposed construction.

Drainage Section

17. At the time of building permit application, the project will be required to comply with the County's "basic" drainage review requirements, including showing splash blocks at roof gutter downspouts to disperse rainwater to landscaping where feasible and removing hardscape such that there is no net increase in impervious surface onsite. In addition, site-specific erosion control measures will need to be shown on the plans as the project is located within the Fitzgerald Area of Special Biological Significance (ASBS) watershed.

Department of Public Works

18. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.

19. Prior to the issuance of building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No.3277.
20. Prior to the issuance of the building permit, the applicant shall be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No.3277.

Montara Water and Sanitary District (MWSD or District)

21. Applicant required to obtain a Sewer Remodel Permit from MWSD prior to issuance of building permit. Fixture Unit Upgrade and other Fees must be paid prior to issuance of connection permit.
22. Applicant may be required to upgrade water meter and service line in accordance with District regulations. Fees for domestic water meter upgrade must be paid prior to issuance of connection permit.
23. If a connection to the District's fire protection system is required then: Certified Fire Protection Contractor must certify adequate fire flow calculations. Connection fee for fire protection system is required. Connection charge must be paid prior to issuance of Private Fire Protection permit.
24. The owner/applicant, rather than his contractor, shall apply directly to District for permits.

Coastside Fire Protection District

25. Smoke Alarms which are hard wired: As per the California Building Code, and State Fire Marshal regulations, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and recondition sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final. Date of installation must be added to exterior of the smoke alarm and will be checked at final.
26. Smoke alarms/detectors are to be hardwired, interconnected, or with battery back-up. Smoke alarms to be installed per manufactures instruction and NFPA 72.
27. As per Coastside Fire Protection District Standard CI-013, building identification shall be conspicuously posted and visible from the street. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). The letters/numerals for permanent address signs shall be 4

inches in height with a minimum 1/2-inch stroke. Such letters/numerals shall be internally illuminated and facing the direction of access. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire Protection District. This remote signage shall consist of a 6 inch by 18-inch green reflective metal sign with 3-inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent shall be placed at the entrance from the nearest public roadway.

28. As per Coastside Fire Protection District Ordinance 2019-03, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
29. The installation of an approved spark arrester is required on all (WOOD BURNING) chimneys. Spark arresters shall be made of 12-gage woven or welded wire screening having openings not exceeding 1/2-inch. If not, wood burning disregard this note.
30. Vegetation Management (LRA) The Coastside Fire Protection District Ordinance 2019-03, the 2019 California Fire Code 304.1.2 A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity. Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood. All fire conditions and requirements must be incorporated into your building plans, (see attached conditions) prior to building permit issuance. It is your responsibility to notify your contractor, architect and engineer of these requirements.

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County of San Mateo - Planning and Building Department


ATTACHMENT B



**SUBJECT
PROPERTY**



WGS_1984_Web_Mercator_Auxiliary_Sphere
 © Latitude Geographics Group Ltd.

1:2,257 

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

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County of San Mateo - Planning and Building Department

ATTACHMENT C

APPLICABLE CODES AND REGULATIONS

- A. 2019 CALIFORNIA BUILDING CODE (CBC)
- B. 2019 CALIFORNIA ELECTRICAL CODE
- C. 2019 CALIFORNIA MECHANICAL CODE
- D. 2019 CALIFORNIA PLUMBING CODE
- E. 2019 CALIFORNIA ENERGY CODE
- F. 2019 CALIFORNIA FIRE CODE
- G. 2019 CALIFORNIA RESIDENTIAL CODE
- H. 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
- I. ALL OTHER STATE AND LOCAL ORDINANCES AND REGULATIONS

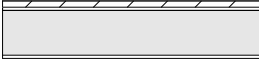
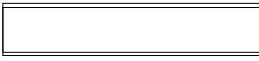


SUMMARY OF CHANGES

1. ADD ADDITION ON FRONT OF HOME AND MOVE WALLS AS SHOWN
2. INSTALL NEW WINDOWS AND DOORS
3. INSTALL NEW CABINETS, FIXTURES, APPLIANCES, TILE, LIGHTING AND FLOORING
4. INSTALL NEW GAS FIREPLACE

INDEX

- A1-2 COVER SHEETS
- A3-5 SITE PLANS
- A6-7 PLANS
- A8 ROOF PLAN
- A9-14 EXTERIOR VIEWS AND ELEVATIONS
- A15-16 ELECTRICAL
- A17 -27 INTERIOR ELEVATIONS
- A28 - WINDOW AND DOOR SCHEDULES
- A29 - FABRICATION DETAILS

WALL LEGEND

| | |
|-------------------|---|
| EXISTING EXTERIOR |  |
| EXISTING INTERIOR |  |
| DEMO |  |
| NEW |  |

PROJECT DATA

STORIES: 1
 OCCUPANCY GROUP: R-1/S-17/DR/CD
 CONSTRUCTION TYPE: 5B
 NO FIRE SPRINKLERS
 PROJECT IS NOT NEAR A WUI
 LIVING AREA BEFORE: 1510 SQ FT
 LIVING AREA AFTER ADDITION: 1928 SQ FT





FIXTURES

ALL FIXTURES WILL COMPLY WITH THESE FLOW RATES

KITCHEN FAUCET - 1.8 GPM
 WATER CLOSET - 1.28 GAL/FLUSH
 SHOWER FAUCET - 1.8 GPM
 LAVATORY FAUCET - 1.2 GPM

| | LOT SIZE | PARCEL COVERAGE | FLOOR AREA RATIO |
|-------------------|------------|---|--|
| CURRENT | 5488 SQ FT | 1978 SQ FT TOTAL (36%) | 1978 SQ FT (.36) INCLUDES GARAGE |
| PROPOSED ADDITION | 5488 SQ FT | 1978 + 418 SQ FT ADDITION = 2396 SQ FT (43.6%) LIMIT IS 50% FOR 16' HIGH OR LESS | 1978 (CURRENT HOME + GARAGE) + 418 (ADDITION) 2396 SQ FT (.44) LIMIT IS .53 |

REVISIONS

-  4/26/22
-  8/25/22
-  9/9/22
-  11/7/22

PER PLANNING COMMENTS

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Kate Handel

Rebecca Mendonca
 450 Lancaster Blvd
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COVER SHEET

SCALE

DATE 1/12/22

KATE HANDEL DESIGN

A1

ENGINEER OF RECORD





KEVIN O'KEEFE
UNIVERSAL STRUCTURAL ENGINEERS
1660 S. Amphlett Blvd., Suite 335
San Mateo, CA 94402
Phone (650) 312-9233

DESIGN STATEMENT

This 418 square foot addition on this single-family home will create more functional and enjoyable living space for this young family. This home is similar to a few other homes on Lancaster Blvd. Some of these neighboring homes have also been expanded from their original footprint as well.

The addition was designed to provide open and light interior space that flows well from the outside in. The left side of the home will be brought out to match the garage, to balance out the overall structure and make the garage feel less prominent than it is today. Shingle siding will be installed on the home's front exterior to create more coastal character. The exterior paint colors are neutral and timeless, and harmonious with the natural environment and surrounding homes.

REVISIONS

-  4/26/22
-  8/25/22
-  9/9/22
-  11/7/22

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COVER
SHEET

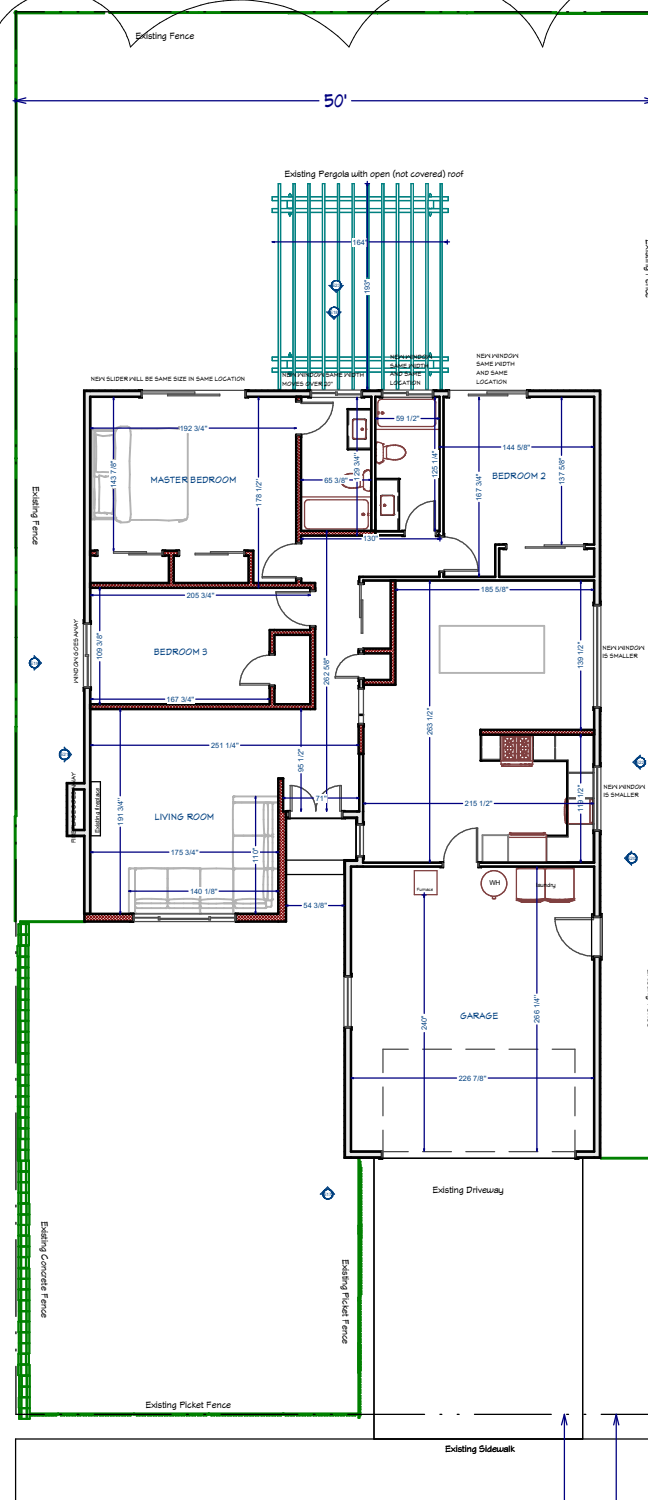
SCALE

DATE 1/12/22

**KATE
HANDEL
DESIGN**

A2

CURRENT SITE OVERVIEW



REVISIONS

- 2 4/26/22
- 3 8/25/22
- 4 9/9/22
- 5 11/7/22

PER PLANNING COMMENTS

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SITE OVERVIEW

SCALE
 1/15" = 1' 0"

DATE 1/12/22

KATE HANDEL DESIGN

A3

CURRENT SITE PLAN

REVISIONS

- 2 4/26/22
- 3 8/25/22
- 4 9/9/22
- 5 11/7/22

PER PLANNING COMMENTS

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SITE PLAN

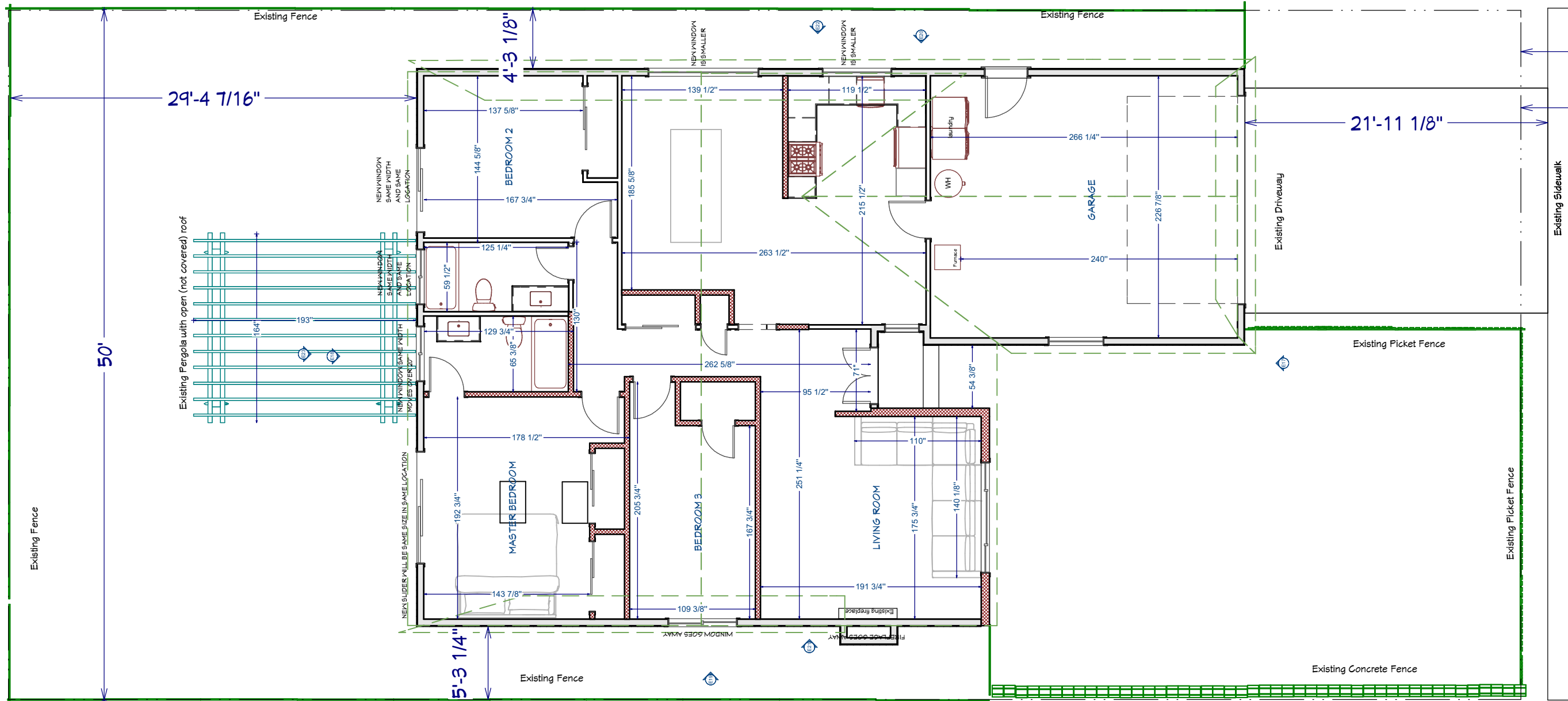
SCALE

1/8" = 1' 0"

DATE 1/12/22

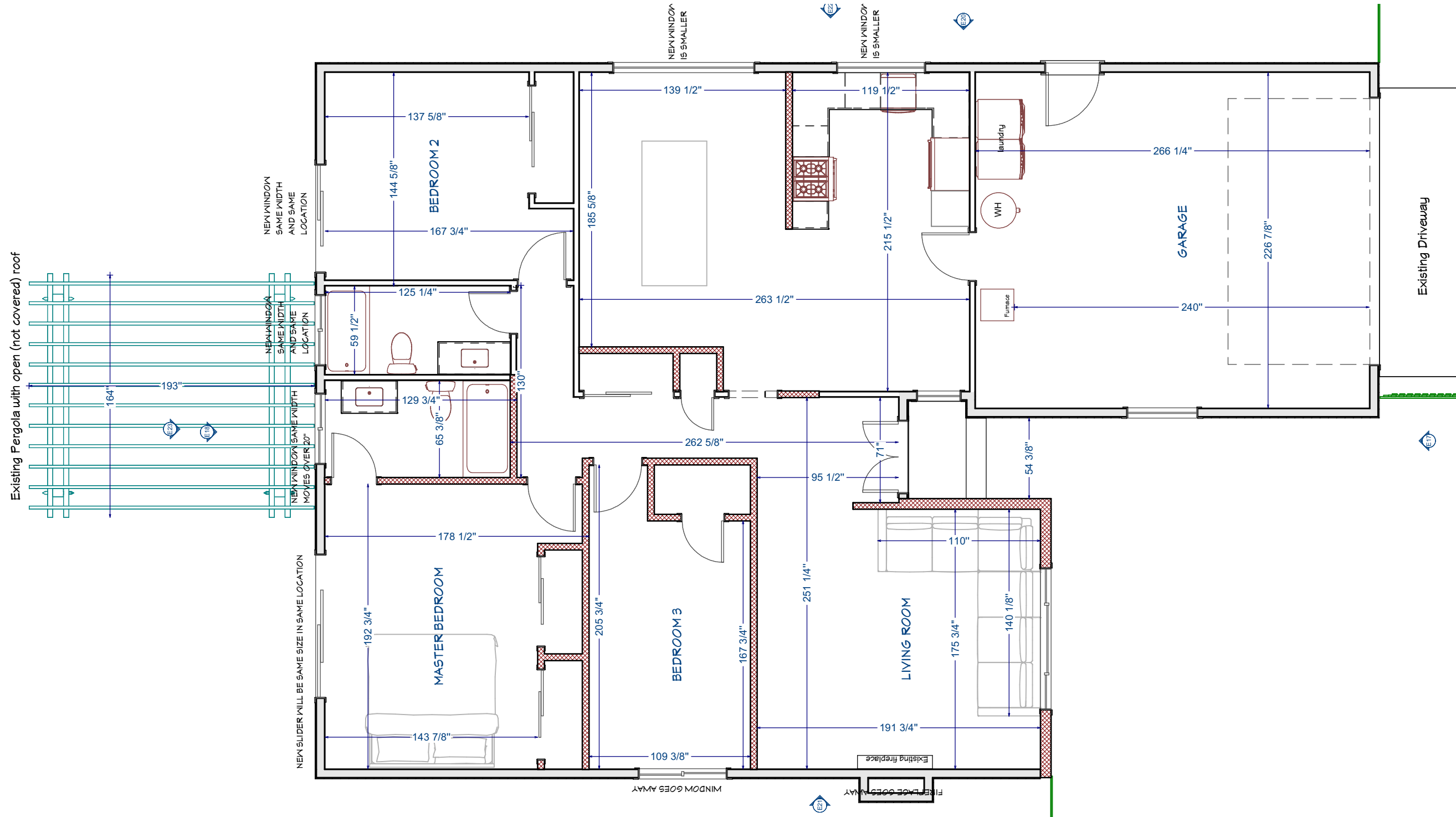
**KATE
 HANDEL
 DESIGN**

A4



1st Floor

CURRENT PLAN



1st Floor

REVISIONS

- 2 4/26/22
- 3 8/25/22
- 4 9/9/22
- 5 11/7/22

PER PLANNING COMMENTS

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FLOOR PLAN

SCALE
 1/6" = 1' 0"

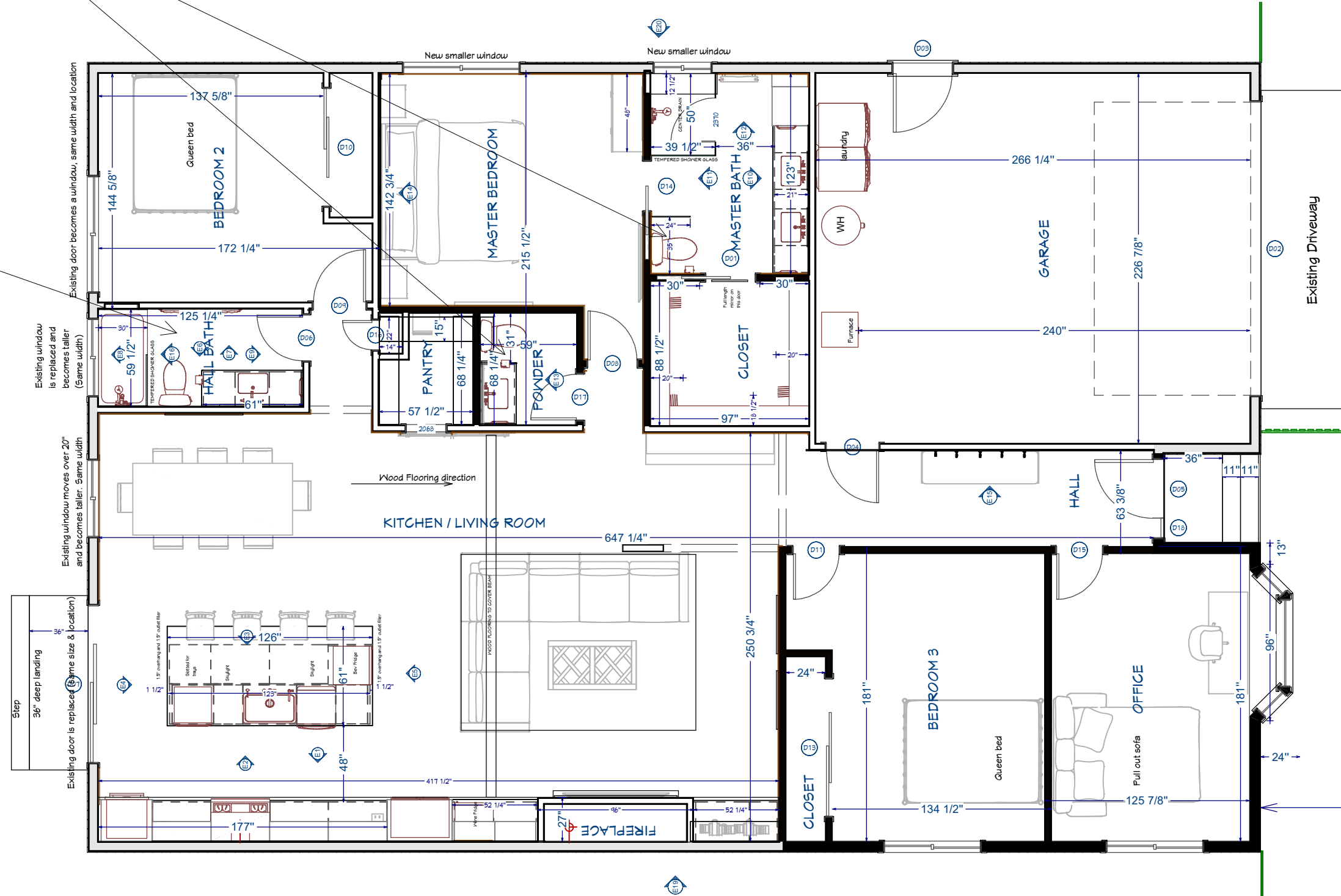
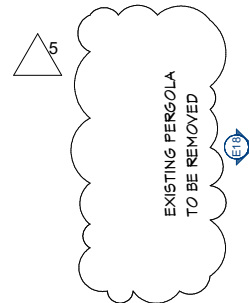
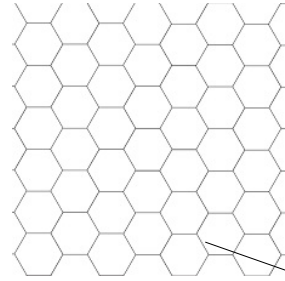
DATE 1/12/22

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A6

PROPOSED PLAN

Floor tile pattern and direction



1st Floor

REVISIONS

- 2 4/26/22
- 3 8/25/22
- 4 9/9/22
- 5 11/7/22

PER PLANNING COMMENTS

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FLOOR PLAN

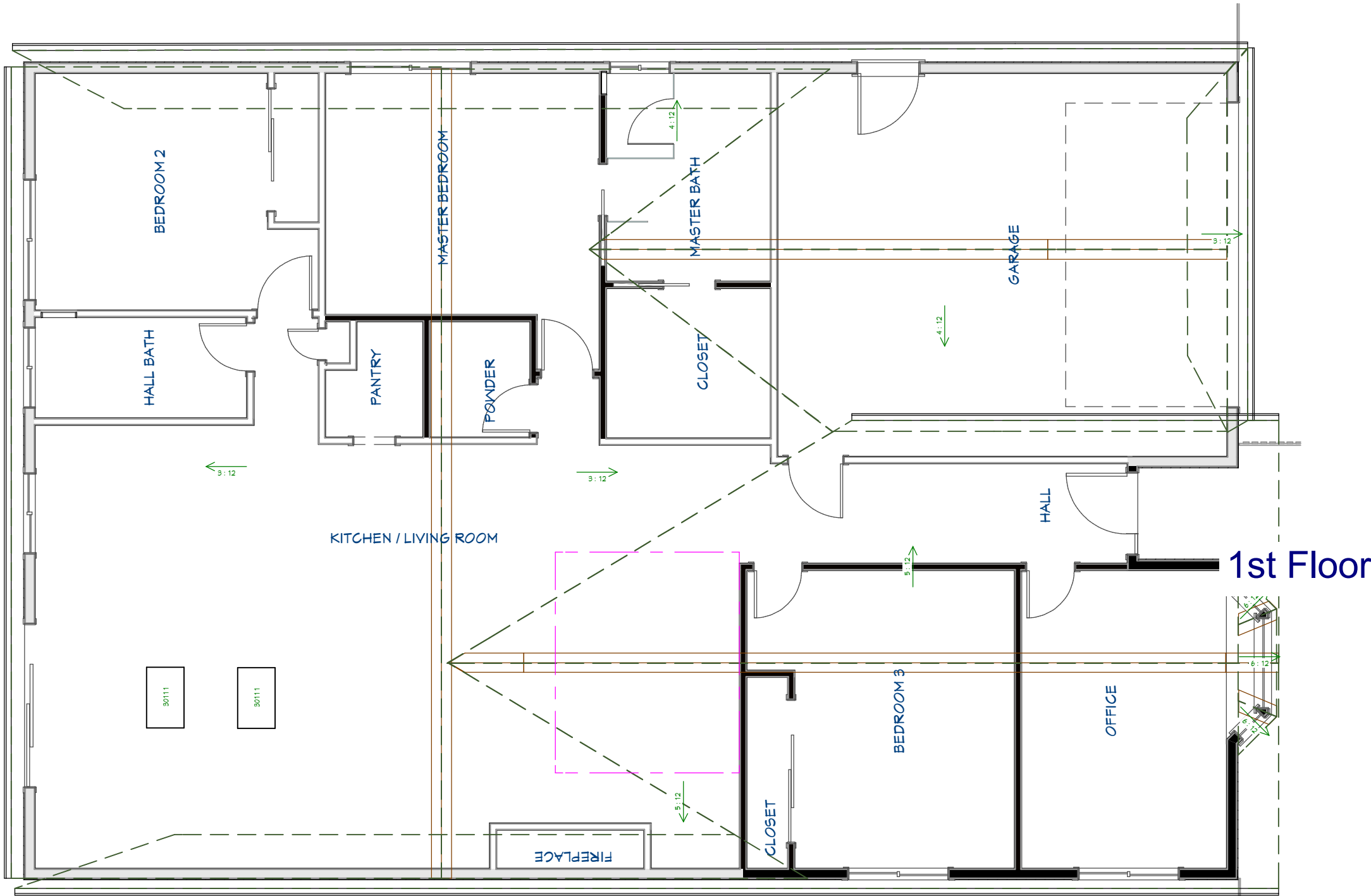
SCALE
 1/6" = 1' 0"

DATE 1/12/22

KATE HANDEL DESIGN

A7

PROPOSED ROOF PLAN



REVISIONS

- △² 4/26/22
- △³ 8/25/22
- △⁴ 9/9/22
- △⁵ 11/7/22

PER PLANNING COMMENTS

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ROOF PLAN

SCALE
 1/6" = 1' 0"
 DATE 1/12/22

KATE HANDEL DESIGN

A8

EXTERIOR VIEWS

REVISIONS

- △² 4/26/22
- △³ 8/25/22
- △⁴ 9/9/22
- △⁵ 11/7/22

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**EXTERIOR
 VIEWS**

SCALE
 1/8" = 1' 0"

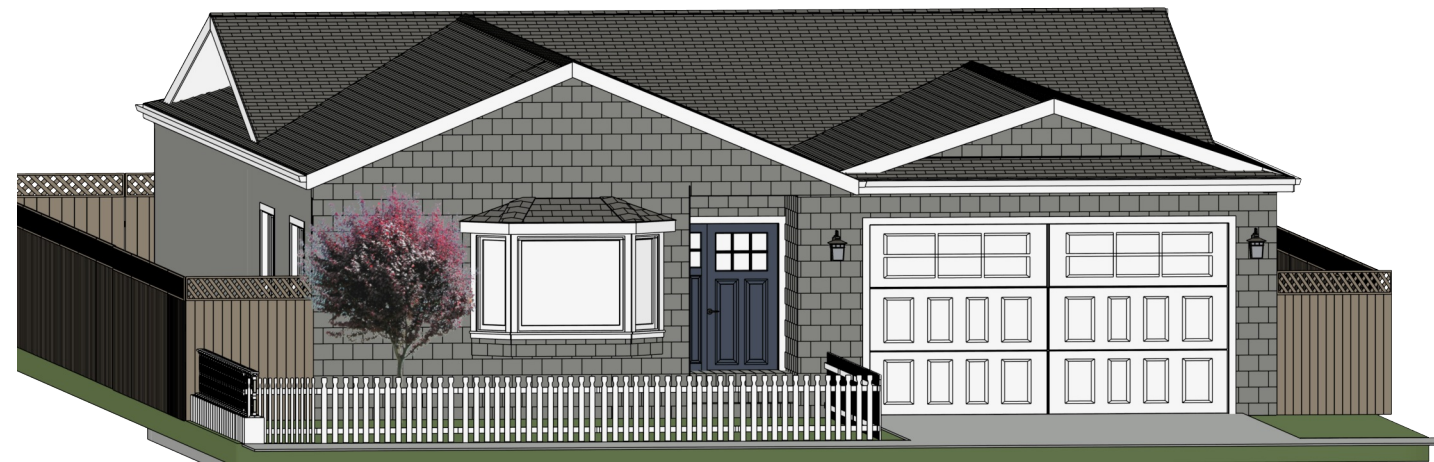
DATE 1/12/22

**KATE
 HANDEL
 DESIGN**

A9



CURRENT



PROPOSED

△³ Raise roof pitch on left side to 5 in 1 (still within height limit) while garage roof is 4 in 1
 Keep shake siding consistently on front to keep the facade less busy

△⁴ Removed shed roof on left and added bay window

EXTERIOR VIEWS

Proposed Street View

450 Lancaster Blvd Moss Beach, CA 94038



REVISIONS

- 2 4/26/22
- 3 8/25/22
- 4 9/9/22
- 5 11/7/22

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EXTERIOR
VIEWS

SCALE

DATE 1/12/22

**KATE
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DESIGN**

A10



Adjusted pitch of left front roof to 5 in while right side is 4 in one to reduce massing
Updated exterior lights to dark sky compliant







Removed shed roof on left and added bay window

Proposed Street View

450 Lancaster Blvd Moss Beach, CA 94038

Roofing: Landmark Slate
Match existing roofing shingles from
Certaineed Landmark

REVISIONS

-  2 4/26/22
-  3 8/25/22
-  4 9/9/22
-  5 11/7/22

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EXTERIOR VIEWS

SCALE

DATE 1/12/22

KATE HANDEL DESIGN

A11

Siding: Hardie Shingle
Paint: Benjamin Moore Secret AF-710

Front door & side lite
Paint: Benjamin Moore Navy Masterpiece 1652

Exterior Trim
Paint: Benjamin Moore Oxford White CC-30

Decking
Azek Coastline

Outdoor sconces
Richland 1-Light Powder-Coated Black
Outdoor Lantern Sconce (DARK SKY)



Removed shed roof on left and added bay window

This wall light works in several aesthetic environments, including rustic, coastal, traditional and transitional. Great for Front Porch, House, Garage, Rentals, Playhouse.

- Dark Sky Compliant
- 7-3/8 in. high overall, 6-3/8 in. W, extends 6-5/8 in., round 4-7/8 in. Dia back plate
- E26 medium base socket, 2 x 60-Watt maximum, A19 LED bulb suggested (bulb not included), hard-wired
- Weather resistant and suitable for wet locations
- 1-light outdoor wall light is perfect at an entryway, patio, porch, playhouse or on either sides of a garage door
- Provides outdoor ambient lighting, which provides overall illumination to the area
- Offers a classic design that works well with rustic, coastal, traditional and transitional decor



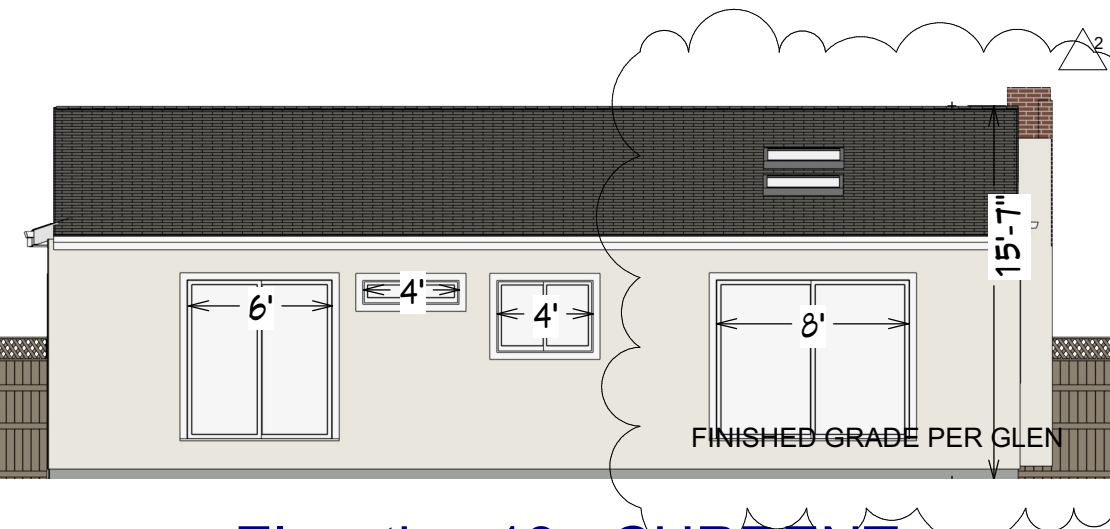
EXTERIOR ELEVATIONS



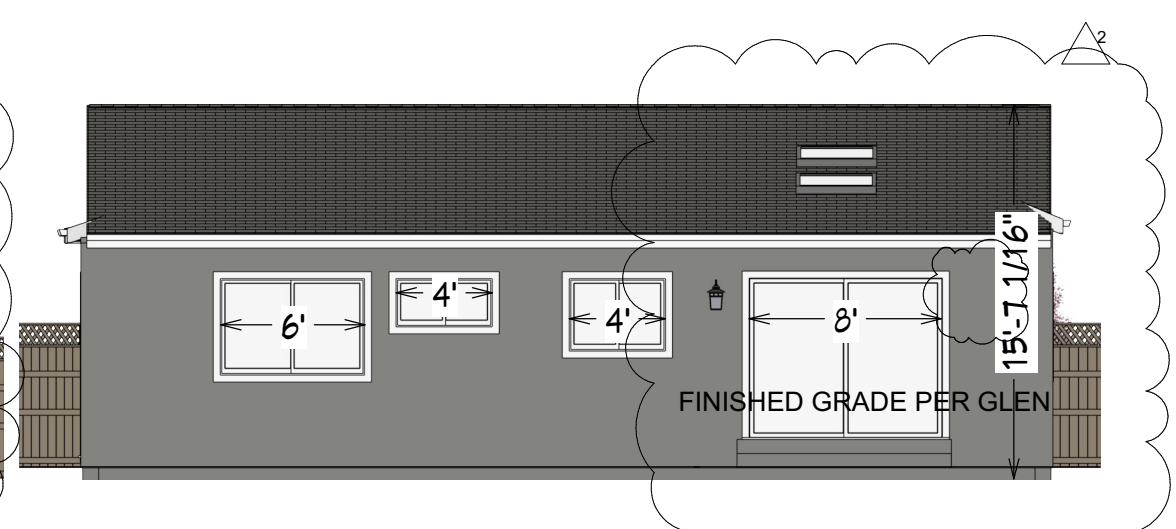
Elevation 17 - CURRENT



Elevation 17 - PROPOSED



Elevation 18 - CURRENT



Elevation 18 - PROPOSED

Side and Back Walls
 Stucco siding
 Paint: Benjamin Moore Secret AF-710

 Exterior Trim
 Paint: Benjamin Moore Oxford White CC-30

Exterior covering material in the addition area will be stucco.

- a. Plastering with cement plaster shall be in accordance with ASTM C926. Plaster shall not be less than three coats where applied over metal lath or wire lath and shall be not less than two coats where applied over masonry, concrete, pressure-preservative-treated wood or decay resistant wood or gypsum backing. [R703.7.2]
- b. Water-resistive barriers shall be installed as required in Section R703.2 and, where applied over wood-based sheathing, shall include a water-resistive vapor-permeable barrier with a performance at least equivalent to two layers of Grade D paper. [R703.7.3]
- c. Where the water-resistive barrier that is applied over wood-based sheathing has a water resistance equal to or greater than that of 60-minute Grade D paper and is separated from the stucco by an intervening, substantially nonwater-absorbing layer or designed drainage space. [R703.7.3, Exception]
- d. A minimum 0.019-inch (No. 26 galvanized sheet gage), corrosion-resistant weep screed or plastic weep screed, with a minimum vertical attachment flange of 3 1/2" shall be provided at or below the foundation plate line on exterior stud walls. The weep screed shall be placed a minimum of 4 inches above the earth or 2 inches above paved areas and shall be of a type that will allow trapped water to drain to the exterior of the building. The weather-resistant barrier shall lap the attachment flange. The exterior lath shall cover and terminate on the attachment flange of the weep screed. [R703.7.2.1]

Wall fasteners complying with Table R703.3(1) and underlayment of No. 15 asphalt felt per R703.2 at siding.

| REVISIONS | |
|-----------|---------|
| 2 | 4/26/22 |
| 3 | 8/25/22 |
| 4 | 9/9/22 |
| 5 | 11/7/22 |

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EXTERIOR ELEVATIONS

SCALE
1/8" = 1' 0"

DATE 1/12/22

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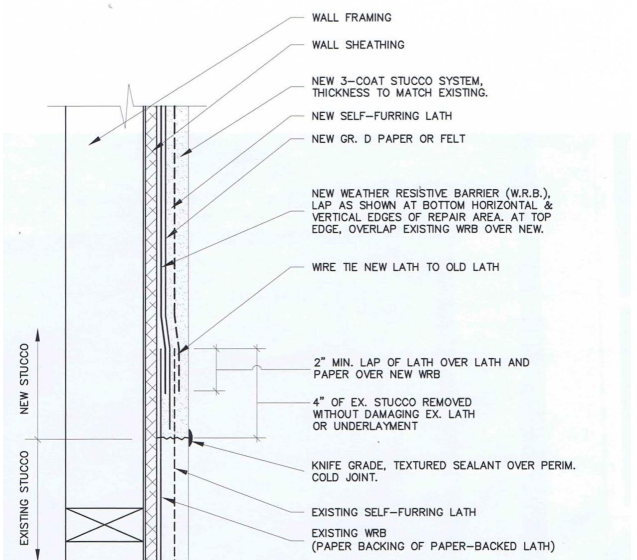
A12

Wall insulation will be R13
 Floor insulation will be R19
 Roof and ceiling insulation is R19
 [CEnC 150.0(a) to (d)]

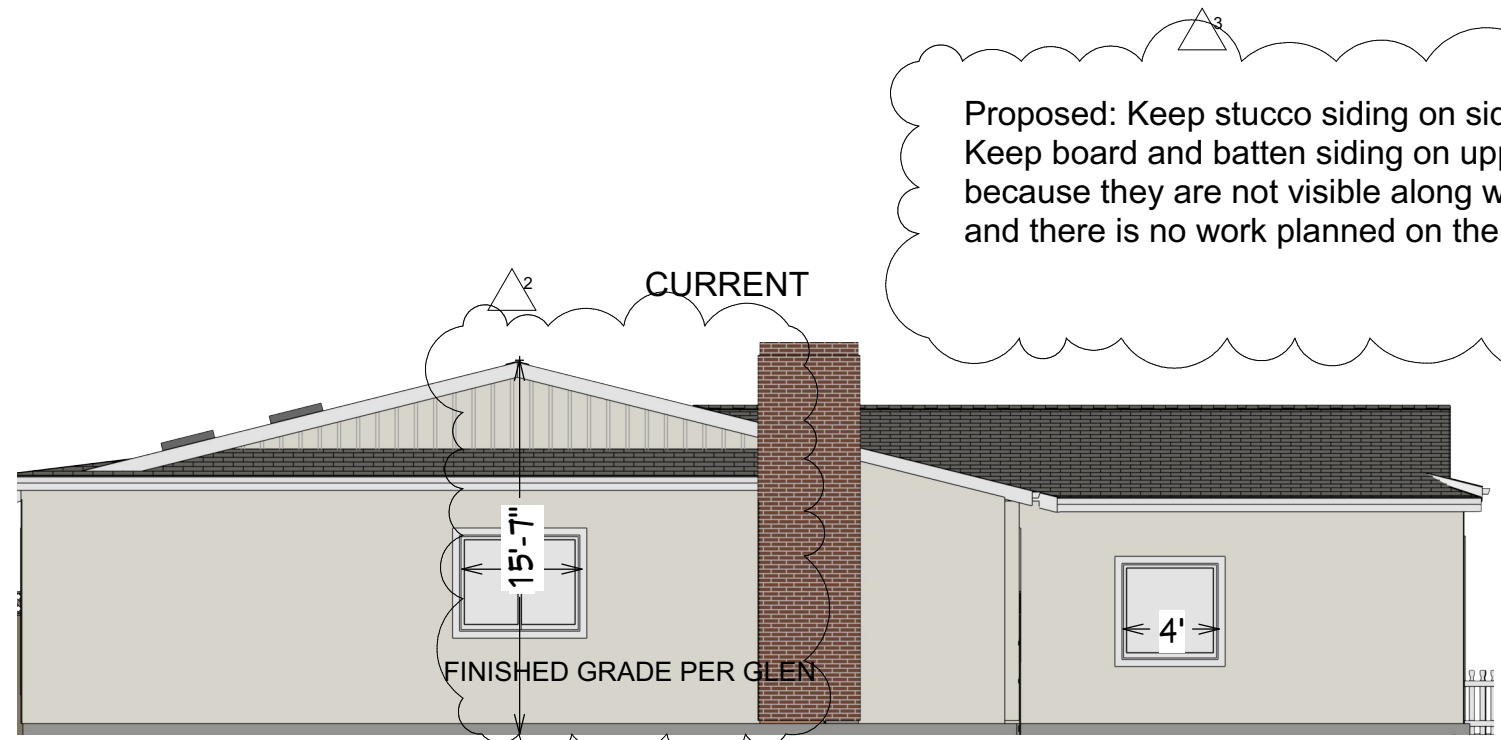
Approved corrosion-resistant flashings shall be installed at all of the following locations [R703.4]:

1. New exterior window openings
2. At wall and roof intersections at the addition.

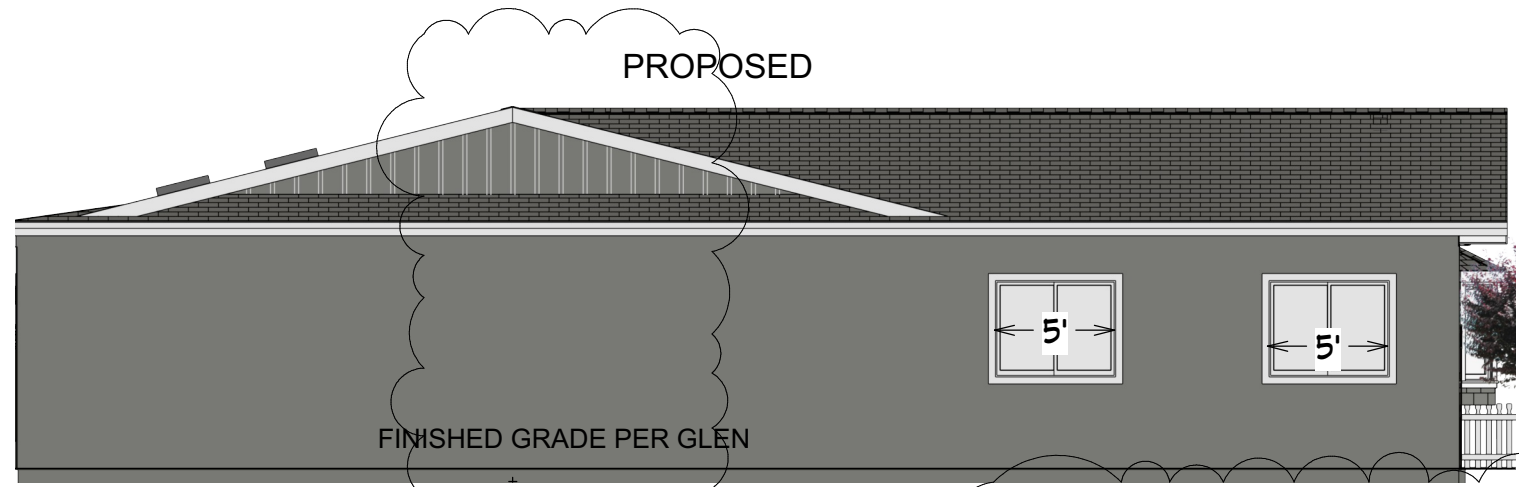
STUCCO DETAIL



EXTERIOR ELEVATIONS



Elevation 19



Elevation 19

- Side and Back Walls
Stucco siding
Paint: Benjamin Moore Secret AF-710
- Exterior Trim
Paint: Benjamin Moore Oxford White CC-30

REVISIONS

- 2 4/26/22
- 3 8/25/22
- 4 9/9/22
- 5 11/7/22

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EXTERIOR ELEVATIONS

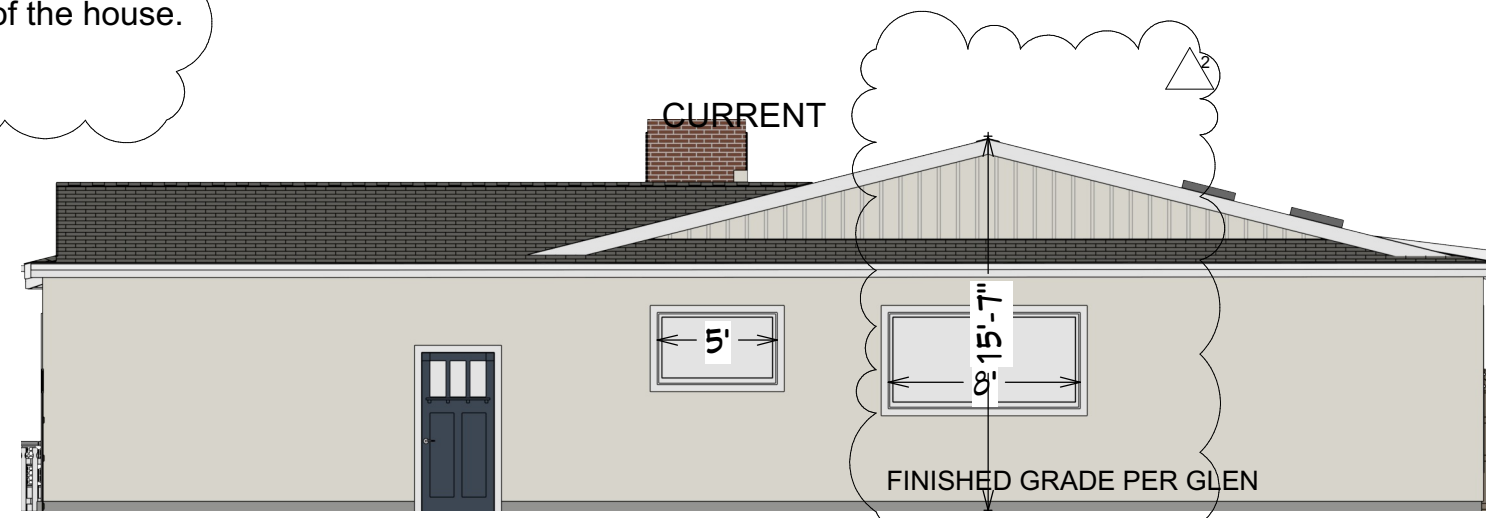
SCALE
 1/8" = 1' 0"
 DATE 1/12/22

KATE HANDEL DESIGN

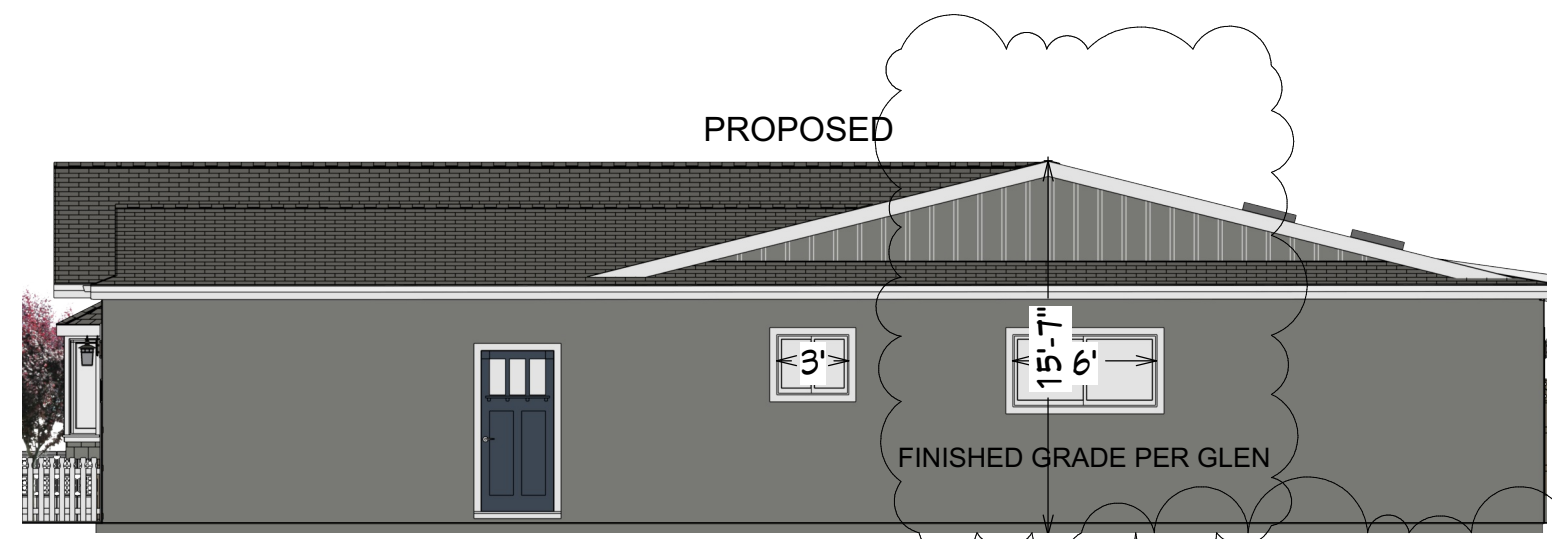
A13

EXTERIOR ELEVATIONS

Proposed: Keep stucco siding on sides of house. Keep board and batten siding on upper gable walls because they are not visible along with the front upper gable walls and there is no work planned on the upper sides of the house.



Elevation 20



Elevation 20

- Side and Back Walls
Stucco siding
Paint: Benjamin Moore Secret AF-710
- Exterior Trim
Paint: Benjamin Moore Oxford White CC-30

REVISIONS

| | |
|----------------|---------|
| △ ² | 4/26/22 |
| △ ³ | 8/25/22 |
| △ ⁴ | 9/9/22 |
| △ ⁵ | 11/7/22 |

PER PLANNING COMMENTS

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EXTERIOR ELEVATIONS

SCALE
 1/8" = 1' 0"























DATE 1/12/22

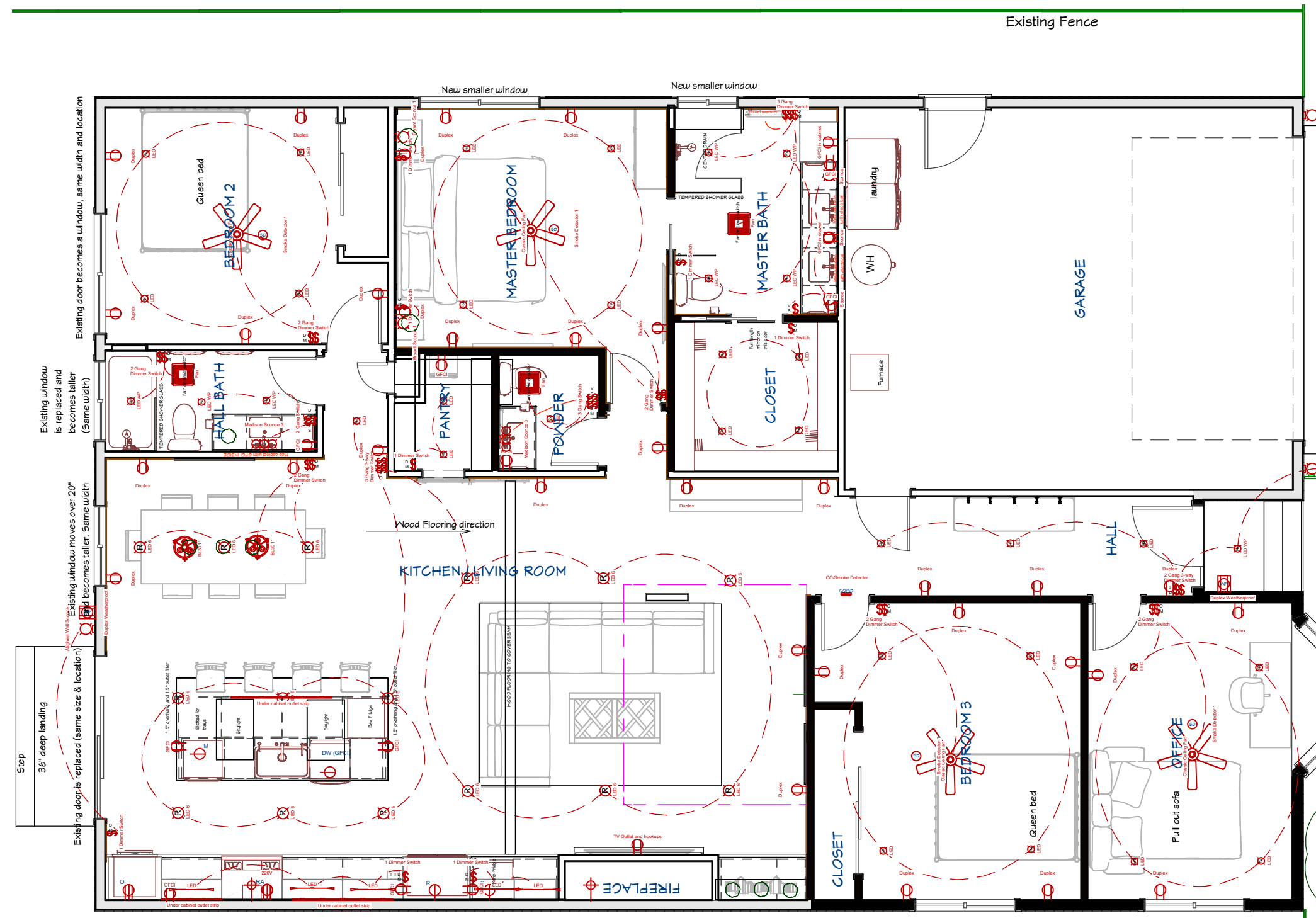
KATE HANDEL DESIGN

A14





ELECTRICAL PLAN

ELECTRICAL LEGEND

-  GFCI
-  DUPLEX OUTLET
-  FOURPLEX OUTLET
-  REFRIGERATOR
-  MICROWAVE
-  TRASH COMPACTOR
-  DISHWASHER
-  WATER STUB
-  GAS STUB
-  ELECTRIC OVEN
-  LED STRIP LIGHT
-  SINGLE POLE SWITCH
-  DIMMER SWITCH
-  THREE WAY DIMMER SWITCH
-  VACANCY SENSOR
-  EXHAUST
-  4" RECESSED LED 3000K
-  4" RECESSED LED WATER PROOF 3000K
-  EXHAUST FAN
-  SCONCE
-  CARBON MONOXIDE / SMOKE DETECTOR
-  SMOKE DETECTOR



1st Floor

| REVISIONS | |
|---|---------|
|  | 4/26/22 |
|  | 8/25/22 |
|  | 9/9/22 |
|  | 11/7/22 |

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ELECTRICAL PLAN

SCALE
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DATE 1/12/22





KATE HANDEL DESIGN

A15

ELECTRICAL NOTES

| PLUMBING NOTES | MECHANICAL NOTES | ELECTRICAL NOTES - LIGHTING | ELECTRICAL NOTES - RECEPTACLES |
|---|--|---|---|
| <p>1. FLOW RATES Maximum flow rate for all new plumbing fixtures shall be as required by CGBSC 4.303: - shower heads - 1.8 gpm at 80 psi - faucets - 1.2 gpm - water closets - 1.28 gal/flush - kitchen faucets - 1.8 gpm</p> <p>2. TOILET CLEARANCE Toilet shall be located in a space not less than 30" in width (15' on each side) and 24" minimum clearance in front. (CPC 402.5)</p> <p>3. MULTIPLE SHOWER HEADS Multiple shower heads serving a single shower shall have a combined flow rate of 1.8 gpm or the shower shall be designed to allow only one shower head or handshower to be in operation at a time (CGBSC 4 .303.1.3.2)</p> <p>4. GARDEN HOSE Provide hose connection with backflow preventer device. CPC 603.5.7.</p> <p>5. SHOWER DOOR CLEARANCE Shower doors to open at least a minimum of 22" for an unobstructed egress opening. CPC Section 408.5.</p> <p>6. TUB/SHOWER COMBINATIONS Shower and tub-shower combinations shall be provided with individual control valves of the pressure balance or the thermostatic mixing valve type. CPC Section 408.3.</p> <p>7. WATER HEATER ANCHORAGE Seismic anchorage of water heater to include anchors or straps at points within the upper and lower one-third of its vertical dimension, the lower anchor/strap located to maintain a minimum distance of 4 inches above the controls. CPC Section 507.2.</p> <p>8. WATER HEATER PRESSURE AND TEMP RELIEF Provide pressure and temperature relief valve at water heater. Relief valve located inside the building, shall be provided with a drain to outside of the building. Sheet/ Detail. CPC Section 608.4.</p> <p>9. WATER HAMMER ARRESTER Provide a note specifying water hammer arrester on water lines to absorb high pressures resulting from the quick closing of quick-acting valves. Water hammer arresters shall be approved mechanical devices in accordance with ASSE 1010 or PDIWH 201 and shall be located as close as possible to quick acting valves (i.e. clothes and dishwasher). CPC Section 609.10. Sheet.</p> <p>10. NON COMPLIANT PLUMBING FIXTURES ALL NON -COMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH APPROPRIATE WATER CONSERVING FIXTURES. Any toilet manufactured to use more than 1.6 gallons of water per flush. Any urinal manufactured to use more than one gallon of water per flush. Any showerhead manufactured to have a flow capacity of more than 2.5 gallons of water per minute. Any interior faucet that emits more than 2.2 gallons of water per minute.</p> <p>11. WALL SURFACES Tub and shower nonabsorbent wall surfaces shall extend to a height of not less than 6 feet above the floor. [R307.2] Materials used as backers for wall tile in tub and shower areas and wall panels in shower areas shall be glass mat gypsum panel, fiber-reinforced gypsum panels, non-asbestos fiber-cement backer board, or non-asbestos fiber-cement reinforced cementitious backer unites installed in accordance with manufacturer's recommendations. [R702.4.2]</p> | <p>1. GARAGE DOOR OPENERS Automatic garage door openers if provided shall be listed and labeled in accordance with UL 325. R309.4</p> <p>2. VENTILATION - TERMINATION termination of all environmental air ducts exhaust shall be a minimum of 3 feet from property line and any openings into the building (i.e., dryers, bath and utility fans, etc., must be 3 feet away from doors, windows, opening skylights or attic vents). Sheet. CMC Section 502.2.1.</p> <p>Kitchen range hood must be HVI rated, limited to 3 sone, and with a minimum airflow a specified in ASHRAE 62.2. Per RCM 4.6.4.7, vented range hoods including appliance-range hoods must be 100 cfm, while all other hood types including downdraft must be 300 cfm. [CEnC 150.0(o)2B]</p> <p>3. DRYER EXHAUST DUCTS Domestic dryer moisture exhaust ducts shall not exceed a total combined horizontal and vertical length 14 feet, including two 90-degree elbows and must be 4 inches in diameter. A length of 2 feet shall be deducted for each 90-degree elbow in excess of two. Sheet. CMC Section 504.4.2.1.</p> <p>4. MAKEUP AIR FOR CLOTHES DRYER Makeup air shall be provided in accordance with the following: Makeup air shall be provided for Type 1 clothes dryers in accordance with the manufacturer's instructions. [NFPA 54:10.4.3.1]. Where a closet is designed for the installation of a clothes dryer, an opening of not less than 100 square inches for makeup air shall be provided in the door or by other approved means.</p> <p>Provisions for makeup air shall be provided for Type 2 clothes dryers, with a free area of not less than 1 square for each 1000 British thermal units per hour (Btu/h) total input rating of the dryer(s) installed. [NFPA 54:10.4.3.2]. CMC Section 504.4. 1.</p> <p>5. BATHROOM VENTILATION Bathrooms without operable glazing to have mechanical ventilation of 50 cfm intermittent per CEC R303.3. All bath fans shall have backdraft dampers per CGBSC 4.506.1. Bathroom exhaust fans must be controlled by a humidistat control capable of adjustment between a relative humidity range of 50% to 80% per CGBSC 4.506.</p> <p>6. FIREPLACE INSTALLED GAS FIREPLACE SHALL BE A DIRECT VENTED SEALED-COMBUSTION TYPE [CALGREEN 4.503.1]</p> | <p>All work shall comply with the 2019 California Electrical Code (CEC), National Electric Code (NEC), California Building Energy Efficiency Standards, and all applicable federal, state and local codes and ordinances.</p> <p>1. HIGH EFFICACY: All lighting must be high efficacy luminaires. All lighting must be either controlled by a dimmer or a manual on, auto off vacancy sensor, except for closets < 70 sf. At least one luminaire in each bathroom, laundry, utility room or garage must be controlled by a vacancy sensor.</p> <p>2. Under cabinet lighting: Shall be switched separately.</p> <p>3. Exterior Lighting: Shall be high efficacy, be controlled by a manual on/off switch and have one of the following controls (the manual switch shall not override the automatic control device): (California Energy Code 150.0(k)3A) a) Photo-control and motion sensor b) Photo-control and automatic time switch control c) Astronomical time clock control turning lights off during the day</p> <p>4. RECESSED LIGHTING: Luminaires recessed in insulated ceilings must meet three requirements (California Energy Code 150.0(k)C): a) They must be rated for direct insulation contact (IC). b) They must be certified as airtight (AT) construction. c) They must have a sealed gasket or caulking between the housing and ceiling to prevent flow of heated or cooled air out of living areas and into the ceiling cavity. d) They may not contain a screw base sockets e) They shall contain a JAB compliant light source</p> <p>5. STAIRWAY LIGHTING: Interior stairway shall be provided with an artificial light source to illuminate the landings and treads. The light source shall be capable of illuminating treads and landings to levels of not less than 1 foot-candle (11 lux) as measured at the center of treads and landings. There shall be a wall switch at each floor level to control the light source where the stairway has six or more risers. Sheet CRC R303.7.</p> <p>6. SHOWER LIGHTING Light fixtures located in the shower enclosure area are to be labeled "suitable for wet locations." [CEC 410.10(A)]</p> <p>ELECTRICAL NOTES - SMOKE & CARBON MONOXIDE ALARMS</p> <p>1. SMOKE ALARMS Smoke alarms are required in all sleeping rooms, and outside each sleeping area in the immediate vicinity of the bedrooms.</p> <p>2. CARBON MONOXIDE ALARMS For existing buildings and new construction, carbon monoxide alarms shall be provided in dwelling units containing a fuel-fired appliance, fireplace or has an attached garage with an opening that communicates with the dwelling unit. Carbon monoxide alarms shall be installed outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s) and on every occupiable level of a dwelling unit including basement. Carbon monoxide alarms in existing buildings are permitted to be solely battery operated or plug-in type with battery back-up in areas where no construction is taking place. Carbon monoxide alarms in existing buildings are permitted to be solely battery operated or plug-in type with battery back-up in areas where no construction is taking place. CRC, R315.</p> <p>When alterations, repairs or additions requiring a permit occur, the individual dwelling unit shall be equipped with smoke alarms located as required for new dwellings. [R314.2.2] Where more than one smoke alarm is required to be installed within an individual dwelling or sleeping unit, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed. [R314.4] Carbon monoxide alarms must also be interconnected. [R315.5]</p> | <p>THERE MUST BE GFCI PROTECTION AT ALL 125 VOLT, SINGLE PHASE, 15 AND 20-AMPERE RECEPTACLES INSTALLED IN: (1) BATHROOMS; (2) GARAGES AND ACCESSORY BUILDINGS; (3) ALL OUTDOOR RECEPTACLES; (4) CRAWL SPACES; (5) UNFINISHED BASEMENT; (6) ALL RECEPTACLES SERVING KITCHEN COUNTER TOPS; (7) LAUNDRY, UTILITIES AND WET BAR SINK WITHIN 6 FEET OF EDGE OF THE SINK; (8) BOATHOUSES; (9) BATHTUBS OR SHOWER STALLS; (10) LAUNDRY AREAS. CEC ARTICLE 210.8.</p> <p>THERE MUST BE A DEDICATED 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET. CEC ARTICLES 210.11(C)(2).</p> <p>THERE MUST BE A DEDICATED 120-VOLT, 20-AMP CIRCUIT ARE REQUIRED TO SERVE BATHROOM RECEPTACLE OUTLET(S). IT SHALL BE INSTALLED ON A WALL/PARTITION WITHIN 3 FEET OF THE OUTSIDE EDGE OF EACH BASIN OR INSTALLED ON THE SIDE/FACE 12 IN MAX BELOW THE COUNTERTOP. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION-WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED.) CEC ARTICLES 210.11(C)(3).</p> <p>ALL 120-VOLT, SINGLE PHASE, 15 AND 20 AMPERE BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOM/AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER. CEC ARTICLE 210.12(A).</p> <p>RECEPTACLES SHALL NOT BE INSTALLED WITHIN OR DIRECTLY OVER A BATHTUB OR SHOWER STALL. (CEC 406.9(C) LIGHT PENDANTS, CEILING FANS, LIGHTING TRACKS, ETC SHALL NOT BE LOCATED WITHIN 3FT HORIZONTALLY AND 8FT VERTICALLY ABOVE A SHOWER AND/OR BATHTUB THRESHOLD. (CEC 410.10(0))</p> <p>THE MINIMUM DISCONNECTING MEANS FOR A SINGLE-FAMILY DWELLING IS 100 AMPERES, 3 WIRE. SHEET. CEC ARTICLE 230.79(C).</p> <p>ALL 15- AND 20- AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. CEC 406.12.</p> <p>OTHER NOTES</p> <p>SAFETY GLAZING TO BE APPLIED TO ALL FIXED AND OPERABLE GLASS PANELS OF SWINGING, SLIDING AND BIFOLD DOORS IN ALL HAZARDOUS LOCATIONS.</p> <p>8. Receptacles shall be installed such that no point measured horizontally along the floor line of any wall space is more than 1.8 m (6 ft) from a receptacle outlet. Section 210.52(1)</p> <p>9. Any wall space 2 feet or more feet wide. Sheet...CEC Article 210.52(A)(2)(1).</p> <p>10. At each kitchen, pantries, breakfast rooms, dining rooms and similar areas counter top spaces wider than 12-inches. Located so that no point along the counter wall is over 24" from a receptacle. Each countertop space that is 12-inches or wider shall require a receptacle. CEC Article 210.52.(C)(1)</p> <p>11. An exterior receptacles at the front and rear of the home. Specify they must be within 6 feet 6 inches of grade and waterproof. CEC Article 210.52(E).</p> <p>12. At least one receptacle in a garage (attached or detached with electric power), accessory building with electric power, or basement in addition to other required receptacles. CEC Article 210.52(G).</p> <p>13. At least one receptacle for the laundry. CEC Article 210.52(F).</p> <p>14. In any hallway 10 feet or more in length. CEC Article 210.52(H)</p> <p>15. At least one receptacle outlet shall be located between 6 feet and 10 ft. from the de wall of the spa/hot tub. Sheet. CEC Article 680.43(A).</p> <p>16. Provide two 20 amp dedicated circuits for the kitchen receptacles</p> <p>17. Provide a dedicated circuit for each appliance and disposal</p> <p>18. Kitchen countertop receptacle outlets shall be installed so that no point along the wall line is more than 24-inches measured horizontally from a receptacle outlet in that space. Each countertop space that is 12-inches or wider shall require a receptacle. [CEC 210.52(C)(1)] Receptacle outlets shall be located on or above, but not more than 20-inches above the countertop. [CEC 210.52(C)(5)]</p> <p>19. Laundry areas are now included in AFCI required locations. [CEC 210.12(A)]</p> <p>20. GFCI protection shall be provided for outlets that supply dishwashers located in dwelling units. [CEC 210.8(D)]</p> |

REVISIONS

-  **4/26/22**
-  **8/25/22**
-  **9/9/22**
-  **11/7/22**

PER PLANNING COMMENTS

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Rebecca Mendonca
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ELECTRICAL NOTES

SCALE

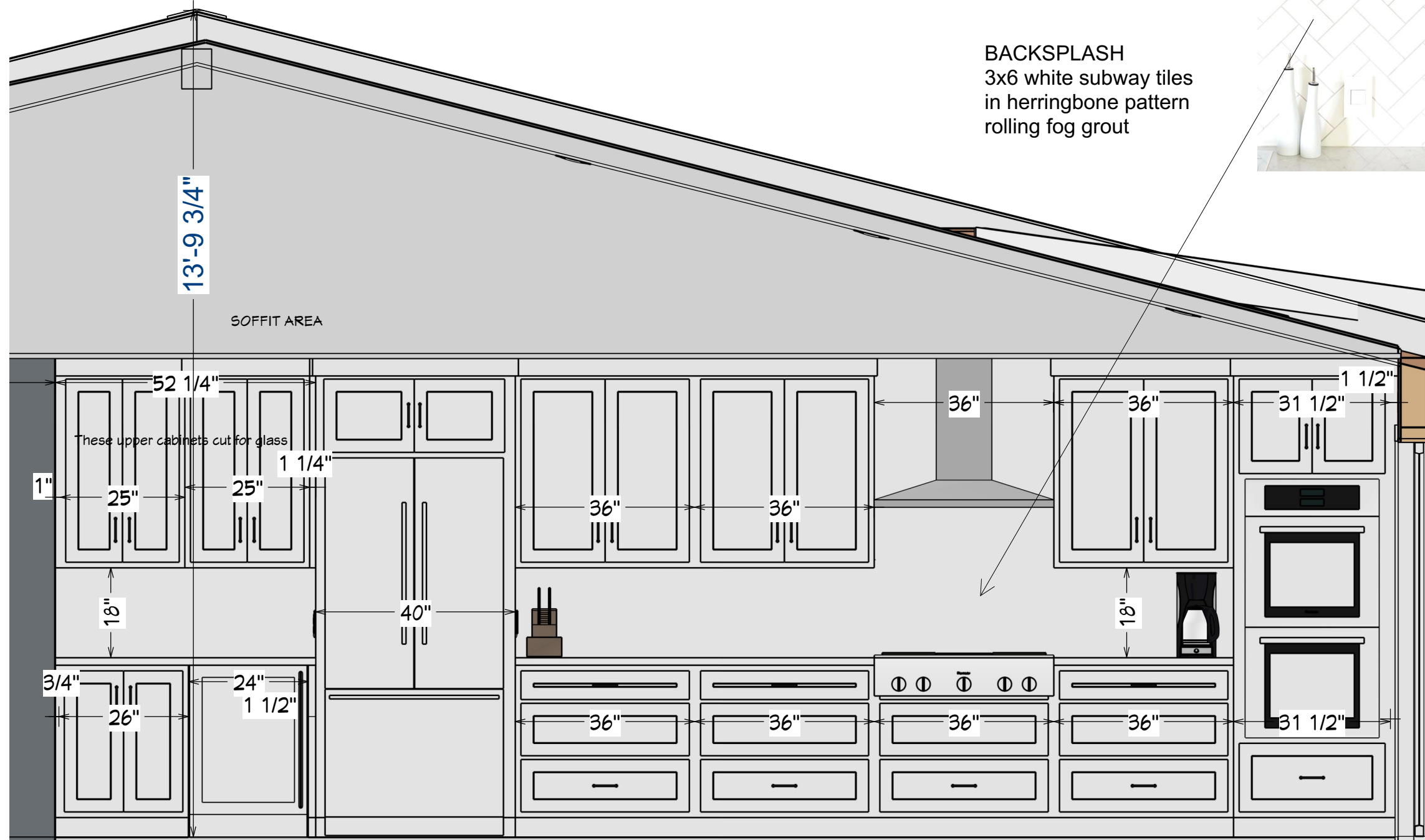
DATE 1/12/22

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A16

ELEVATIONS

WOOD FLOORING TO COVER BEAM



- REVISIONS
- 2 4/26/22
 - 3 8/25/22
 - 4 9/9/22
 - 5 11/7/22

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ELEVATIONS

SCALE
 1/2" = 1' 0"

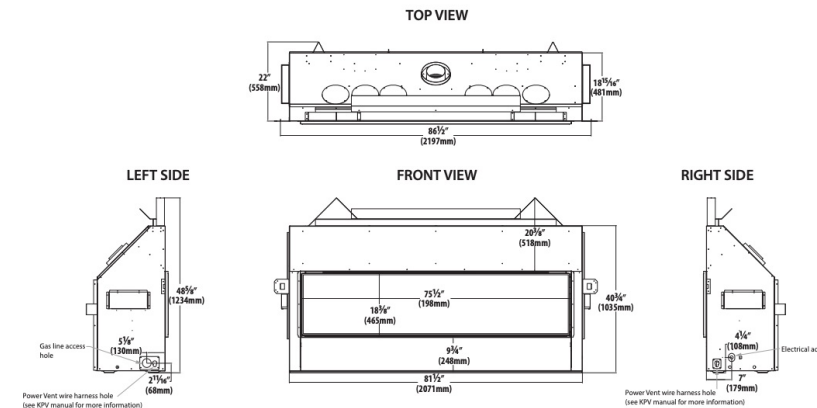
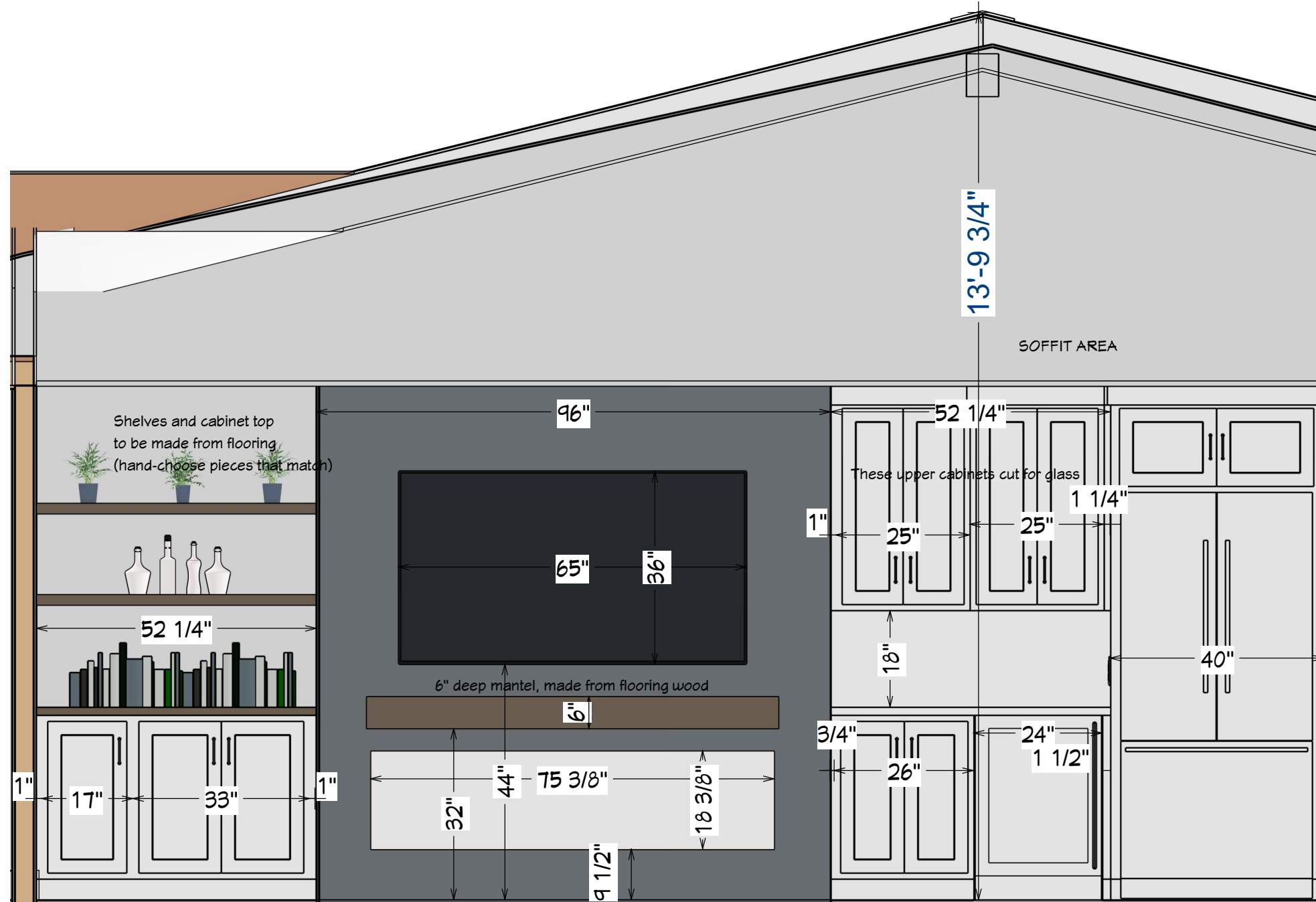
DATE 1/12/22

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A17

Elevation 1

ELEVATIONS



Fireplace is KozyHeat Calloway 72 sealed gas fireplace with front Komfort Zone Kit

NEW GAS FIREPLACE WILL BE A DIRECT VENTED SEALED-COMBUSTION TYPE [CALGREEN 4.503.1] (KOZYHEAT CALLOWAY)

Elevation 1

- REVISIONS
- 2 4/26/22
 - 3 8/25/22
 - 4 9/9/22
 - 5 11/7/22

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ELEVATIONS

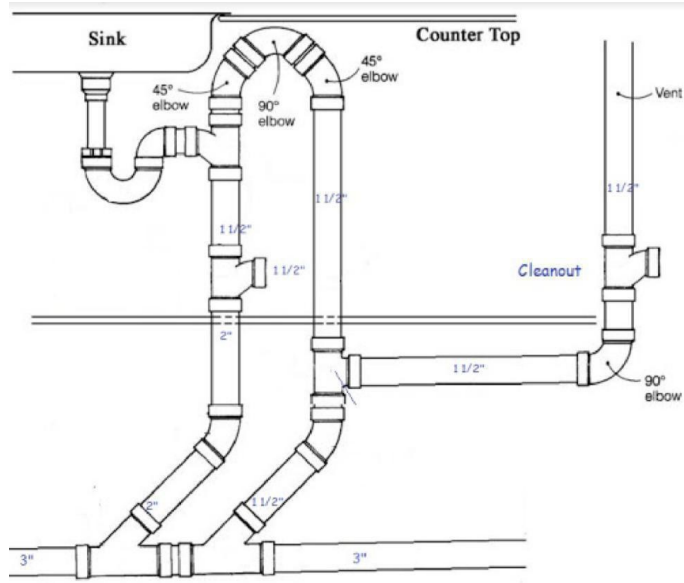
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DATE 1/12/22

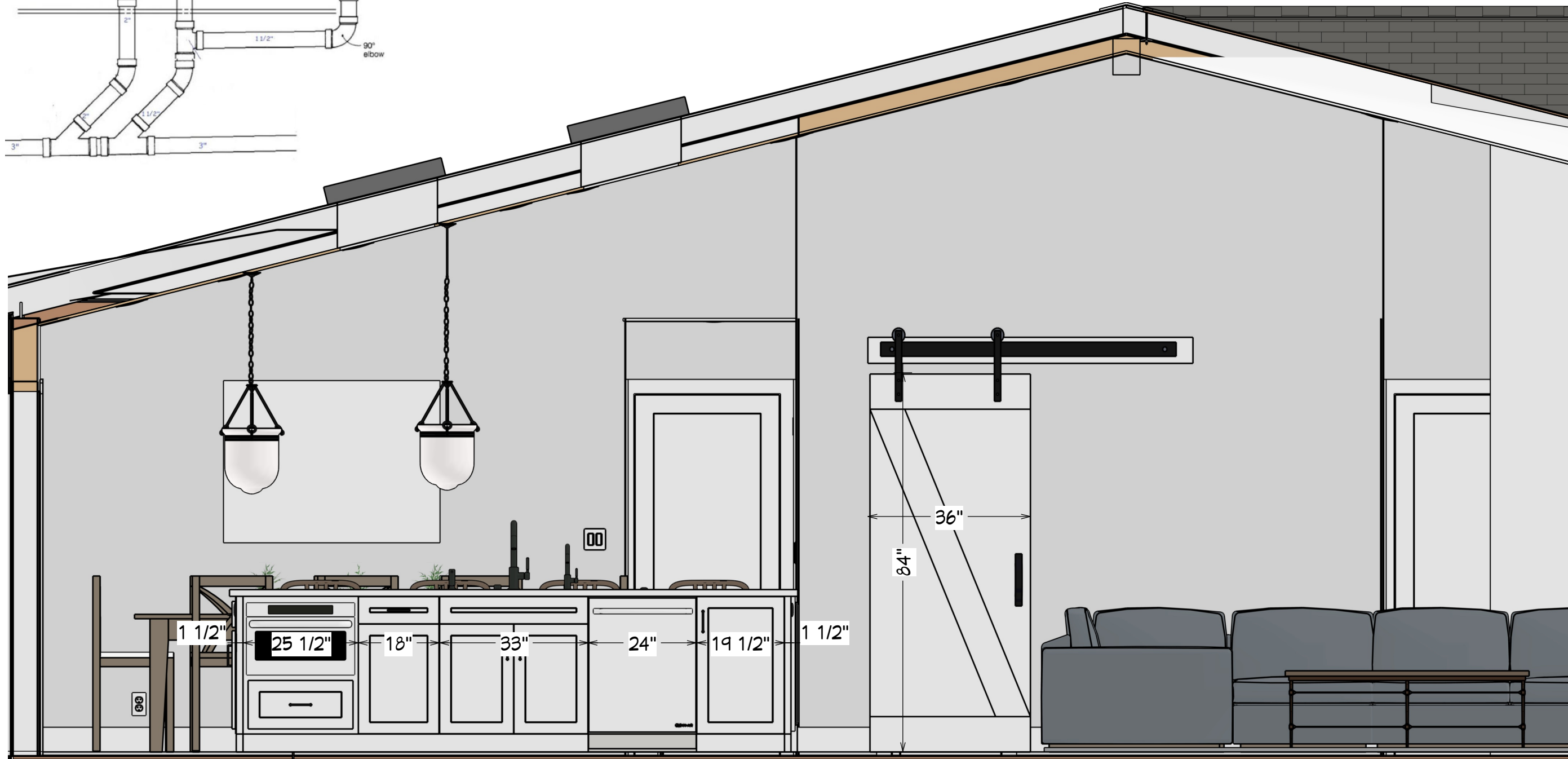
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A18

Island venting detail for new kitchen sink:



ELEVATIONS



Elevation 2

REVISIONS

- 2 4/26/22
- 3 8/25/22
- 4 9/9/22
- 5 11/7/22

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ELEVATIONS

SCALE

1/2" = 1' 0"

DATE 1/12/22

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A19

ELEVATIONS

REVISIONS

- △² 4/26/22
- △³ 8/25/22
- △⁴ 9/9/22
- △⁵ 11/7/22

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ELEVATIONS

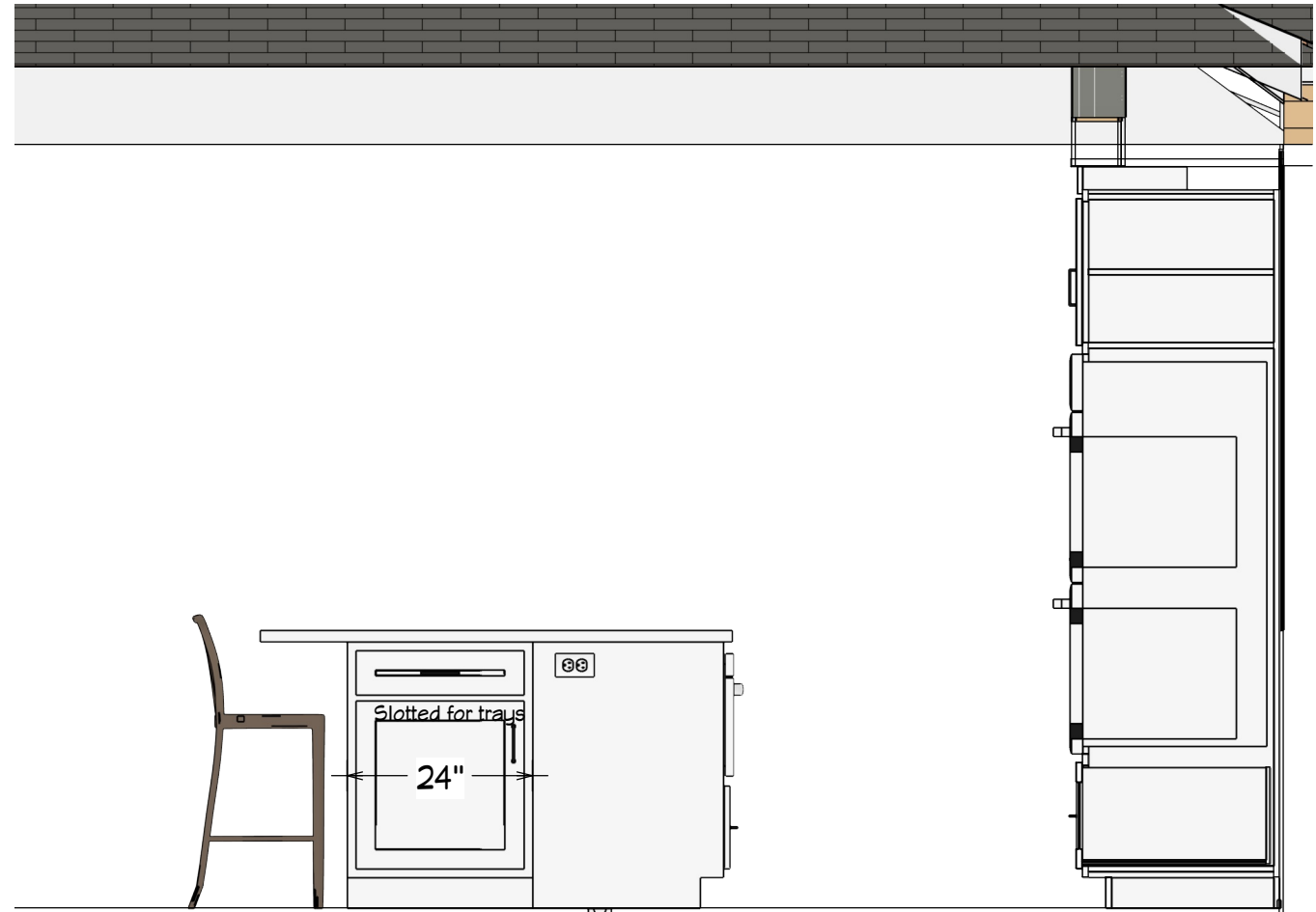
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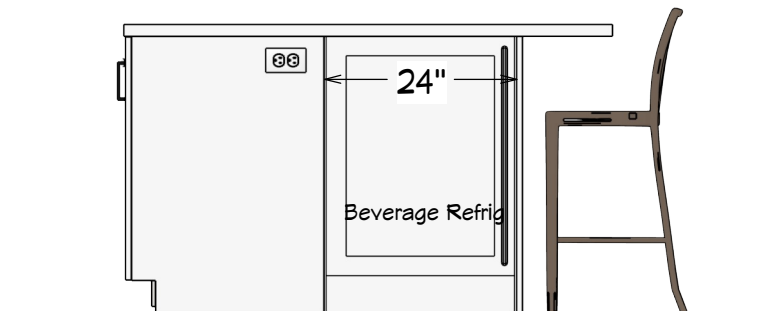
DATE 1/12/22

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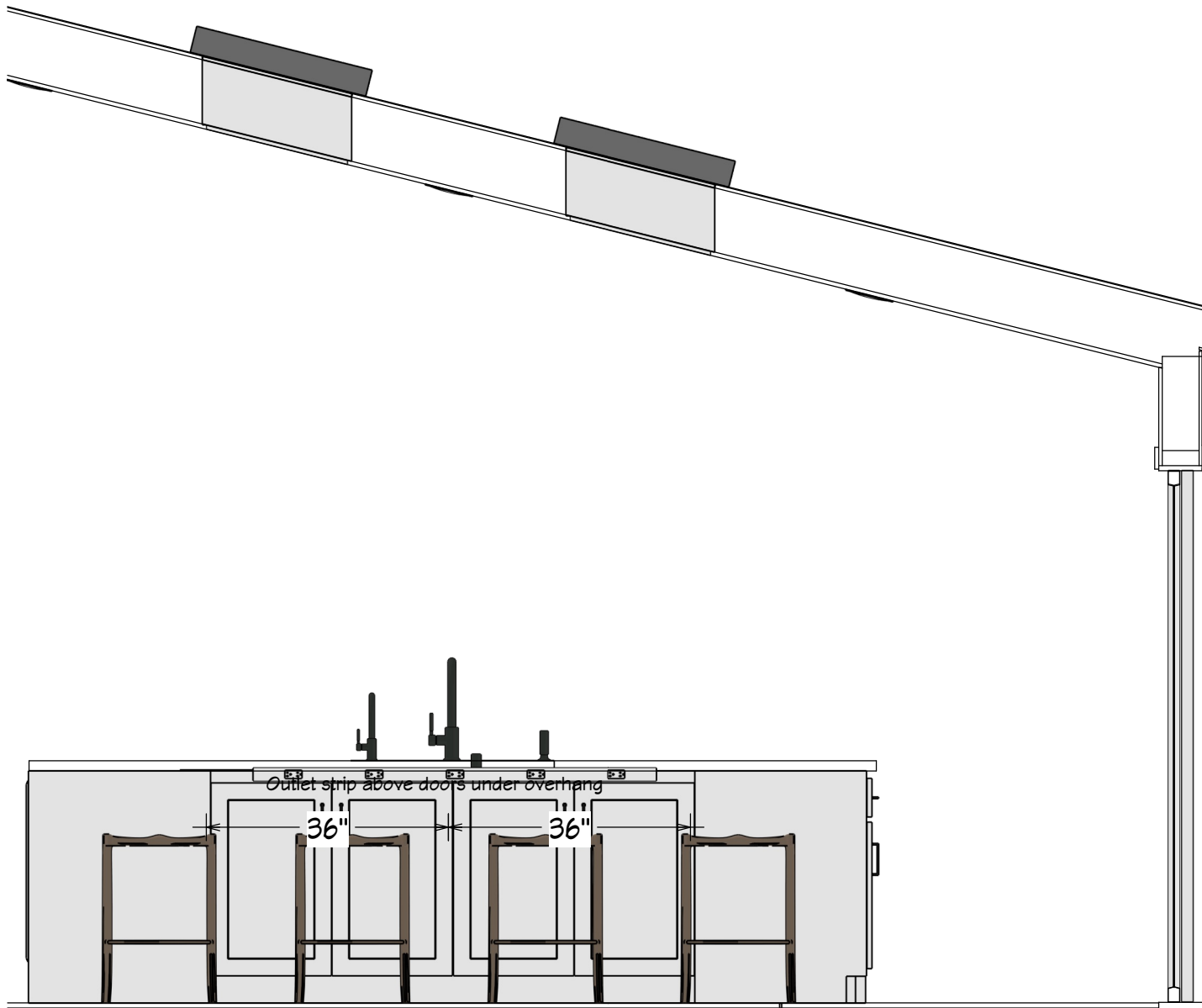
A20



Elevation 4



Elevation 5



Elevation 3

ELEVATIONS - HALL BATH

REVISIONS

- 2 4/26/22
- 3 8/25/22
- 4 9/9/22
- 5 11/7/22

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ELEVATIONS

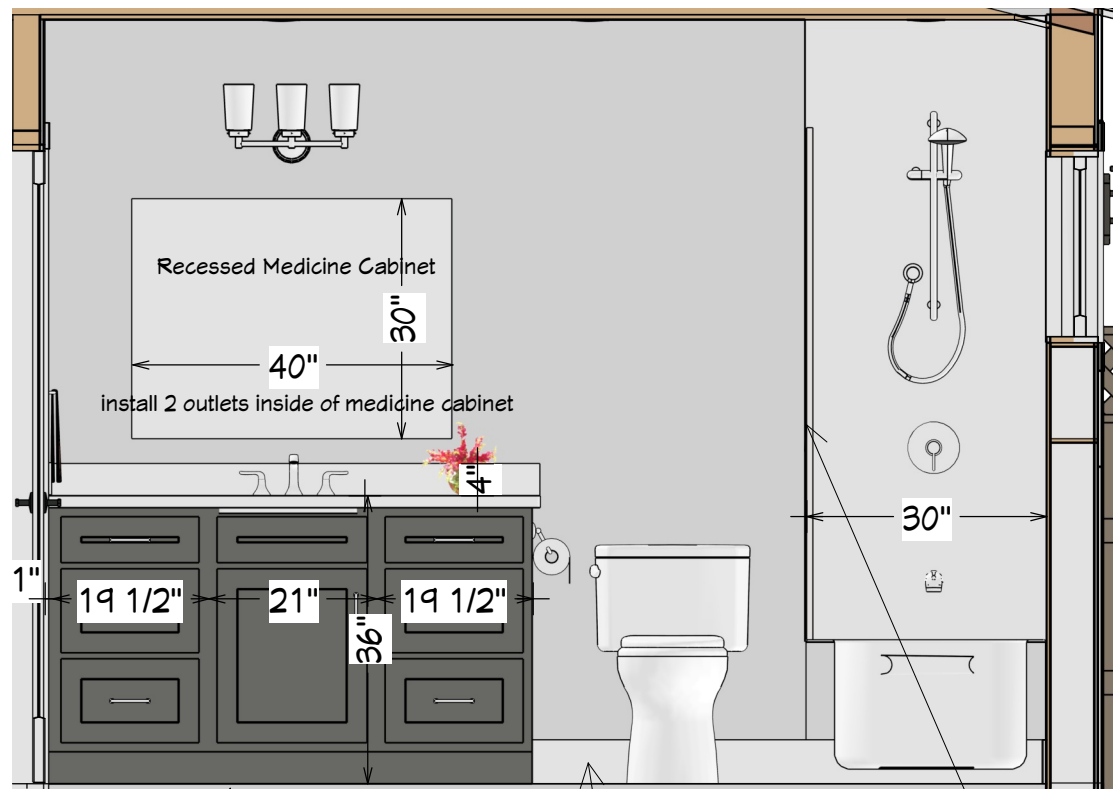
SCALE

1/2" = 1' 0"

DATE 1/12/22

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 DESIGN**

A21



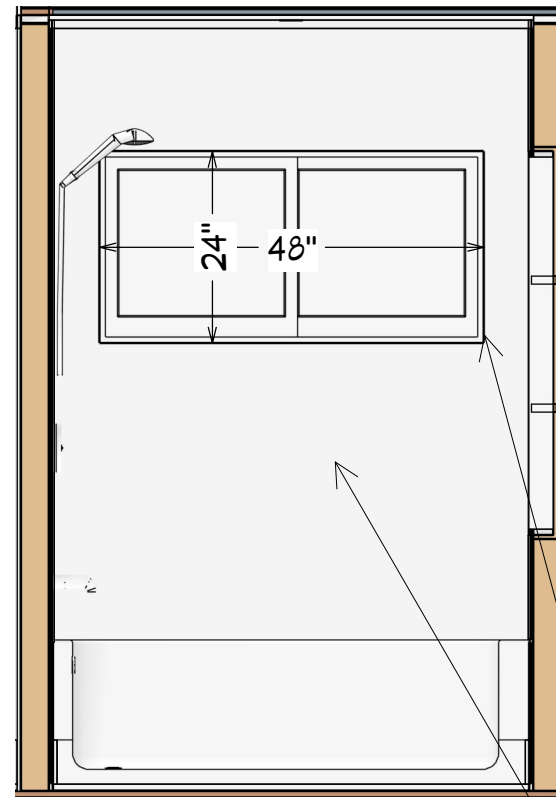
Elevation 6



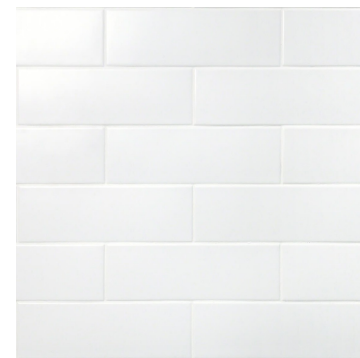
FLOOR TILE
 EPC Niza White Hex 8x8
 Cape Gray nonsanded grout
 1/16" grout joints

BASE TILE
 4 X 16 Subway tiles
 Arctic white grout
 White gloss Jolly Schluter on edge

SHOWER GLASS CHANNEL

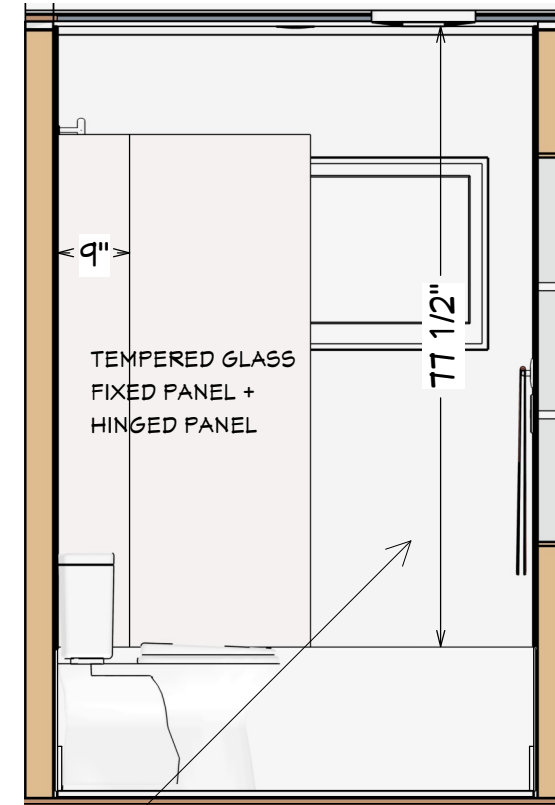


Elevation 8



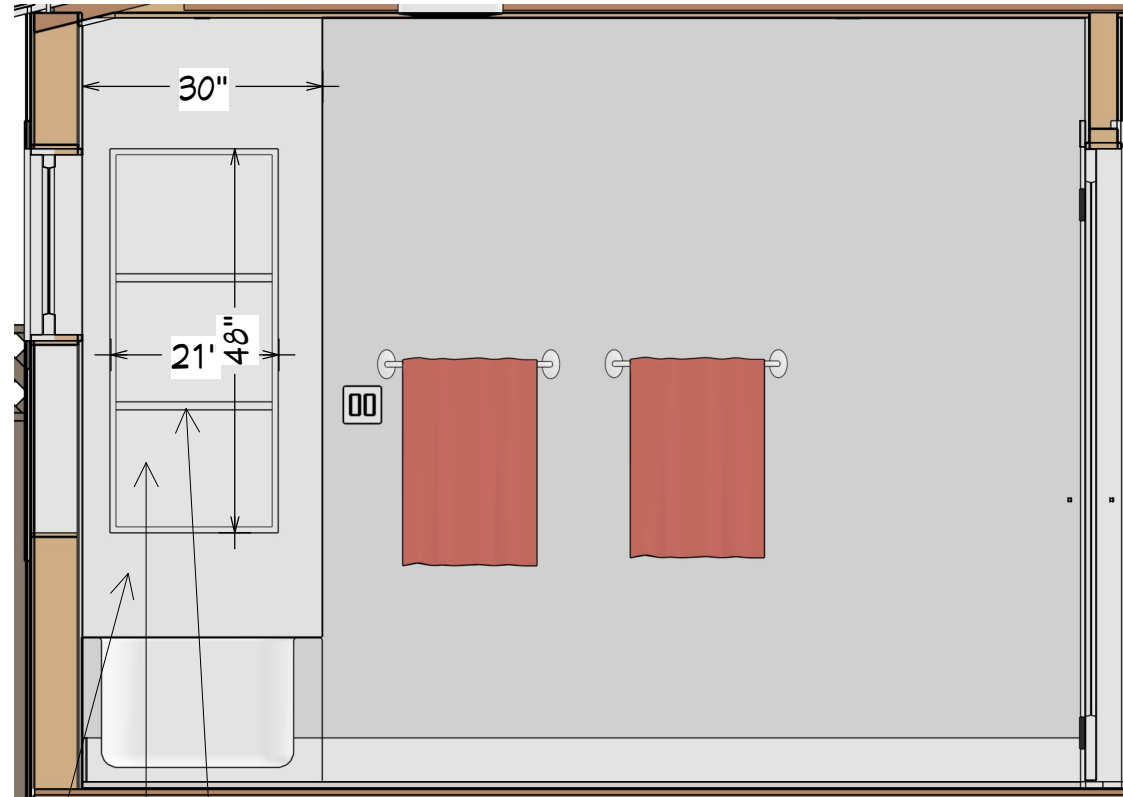
WALL TILE + WINDOW SIDES + NICHE SIDES/BACK
 4 X 16 Subway tiles
 50/50 Brick pattern
 Arctic white grout
 White gloss Jolly Schluter on all edges

NICHE SHELVES TO BE QUARTZ



Elevation 16

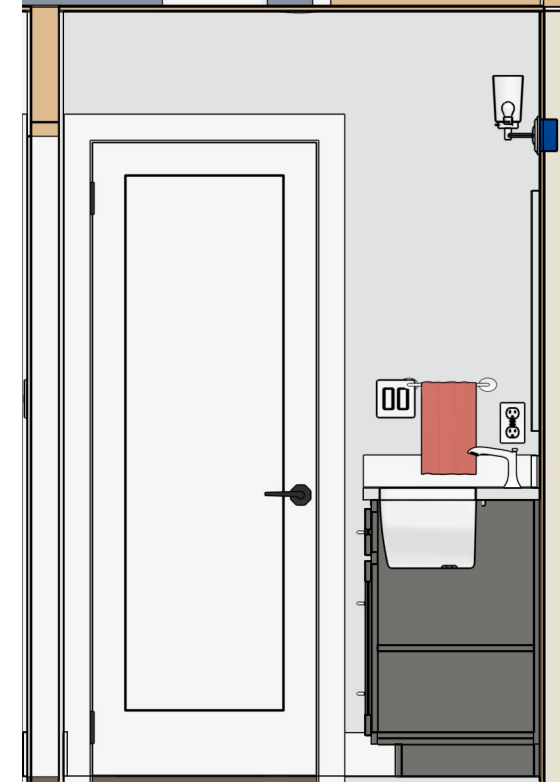
ELEVATIONS - HALL BATH



Elevation 7

WALL TILE + WINDOW SIDES + NICHE SIDES/BACK
 4 X 16 Subway tiles
 50/50 Brick pattern
 Arctic white grout
 White gloss Jolly Schluter on all edges

NICHE SHELVES TO BE QUARTZ



Elevation 9

REVISIONS

- △² 4/26/22
- △³ 8/25/22
- △⁴ 9/9/22
- △⁵ 11/7/22

PER PLANNING COMMENTS

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ELEVATIONS

SCALE
 1/2" = 1' 0"

DATE 1/12/22

**KATE
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 DESIGN**

A22

ELEVATIONS - MASTER BATH

REVISIONS

- △² 4/26/22
- △³ 8/25/22
- △⁴ 9/9/22
- △⁵ 11/7/22

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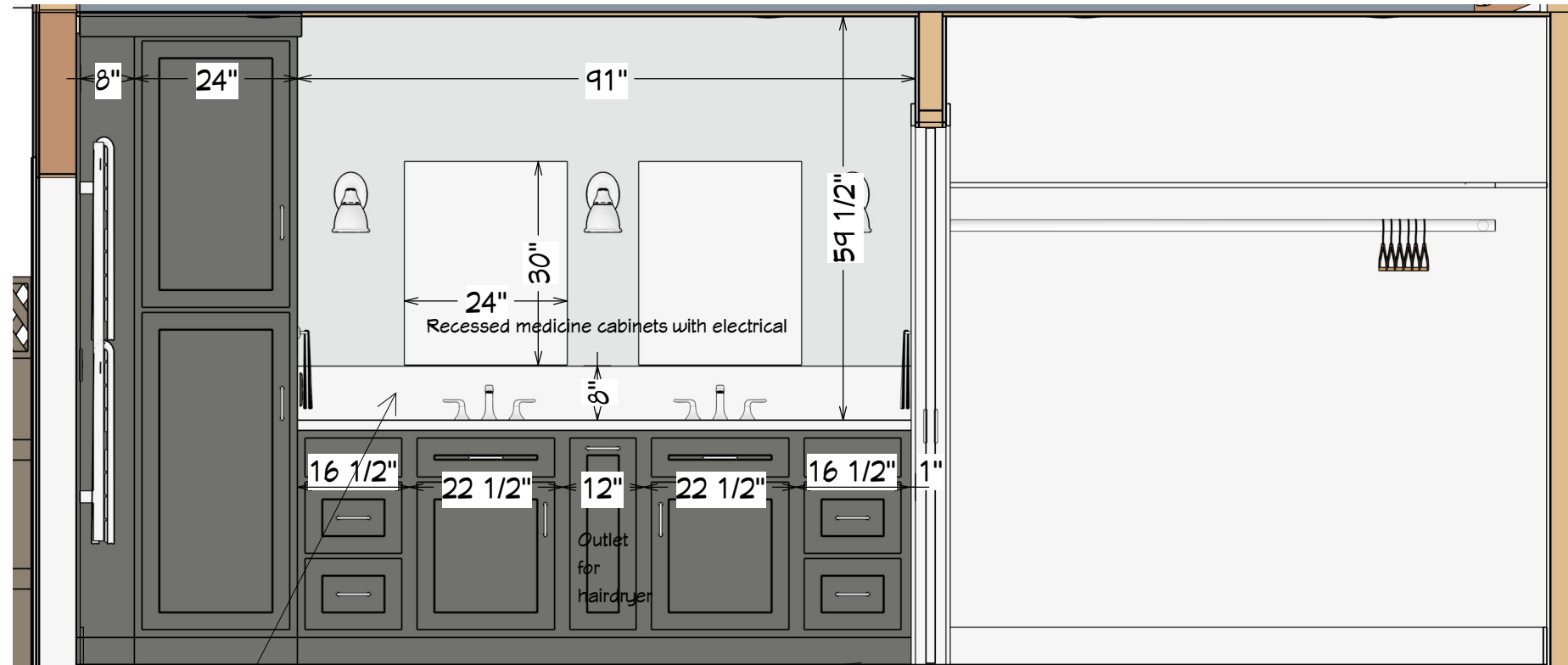
ELEVATIONS

SCALE
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DATE 1/12/22

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A23



Elevation 10

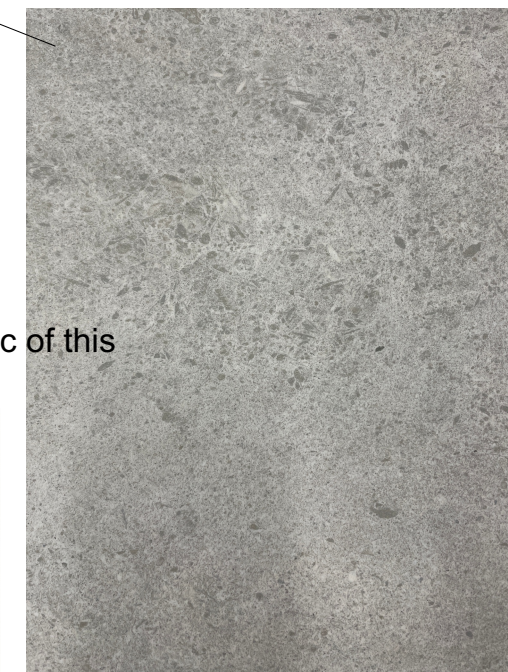


BACKSPLASH
 BORDER SHEETS of
 Just Add Water Zing Torino Pearl
 Arctic white grout
 Finec Schluter Chrome

Extend glass mosaic border strip height to 7 3/4" by adding 1/2 of another strip to it.

FLOOR TILE
 16 X 32 Sovereign Grigio
 Even Pattern
 1/16" grout joints
 Cape Gray Grout

Shower pan is 2x2 mosaic of this



ELEVATIONS - MASTER BATH

REVISIONS

- 2 4/26/22
- 3 8/25/22
- 4 9/9/22
- 5 11/7/22

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ELEVATIONS

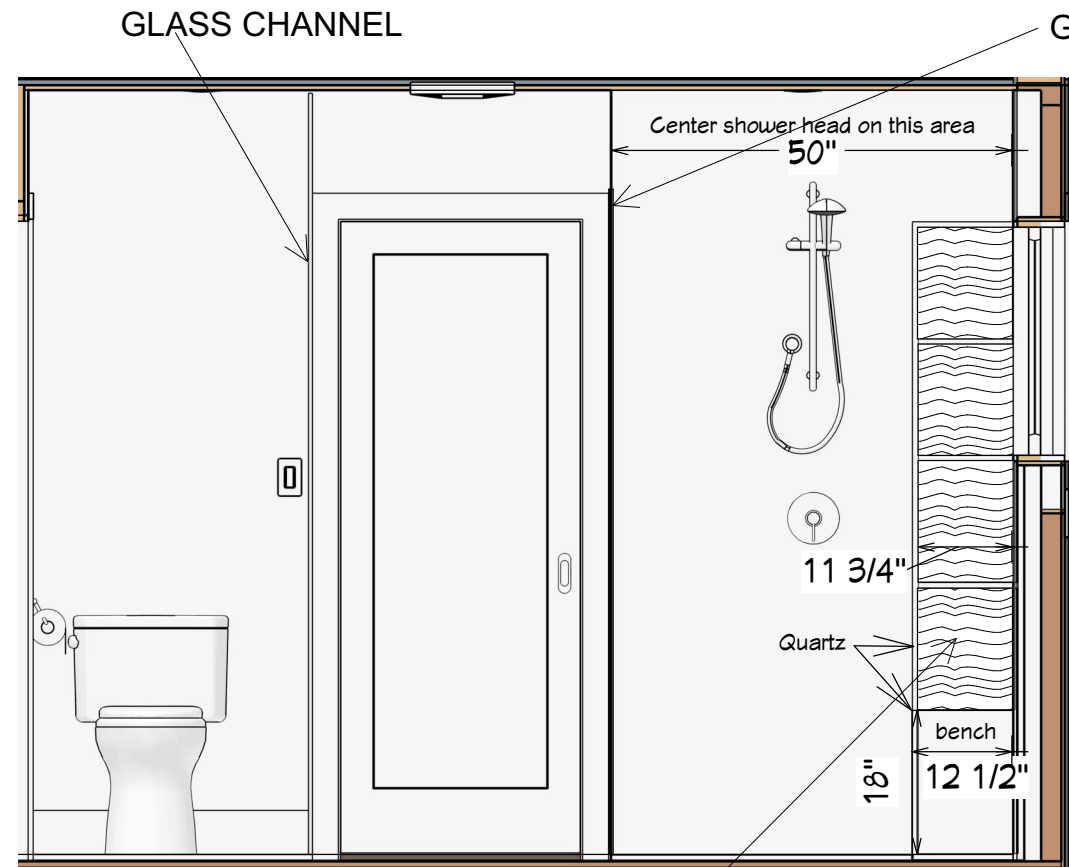
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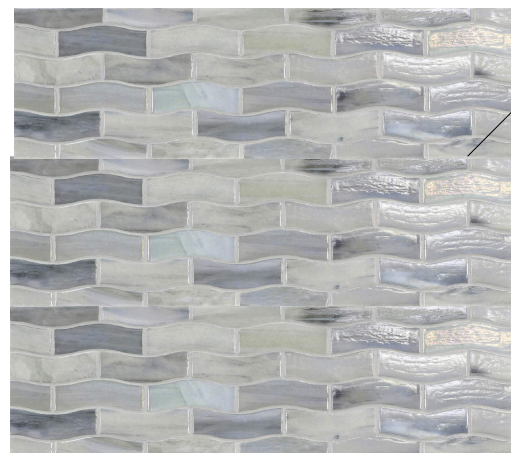
DATE 1/12/22

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A24



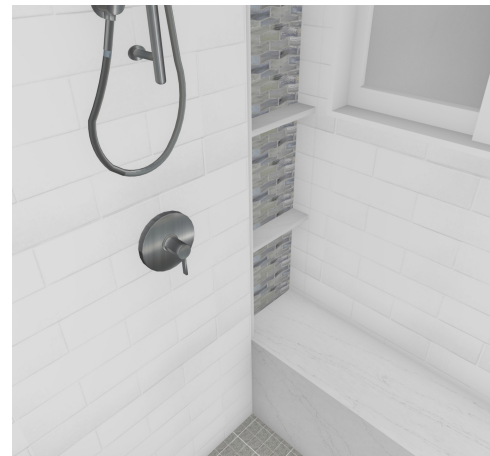
Elevation 11



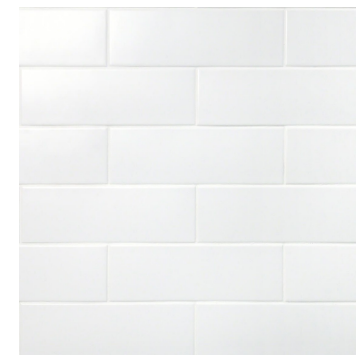
NICHE BACK
 Full sheets of
 Just Add Water
 Zing Torino Pearl
 Add pieces on horizontally
 to make 11 3/4" wide



NICHE SIDE
 Quartz to finish on top of bench



Elevation 12



WALL TILE + WINDOW SIDES
 4 X 16 Subway tiles
 50/50 Brick pattern
 Arctic white grout

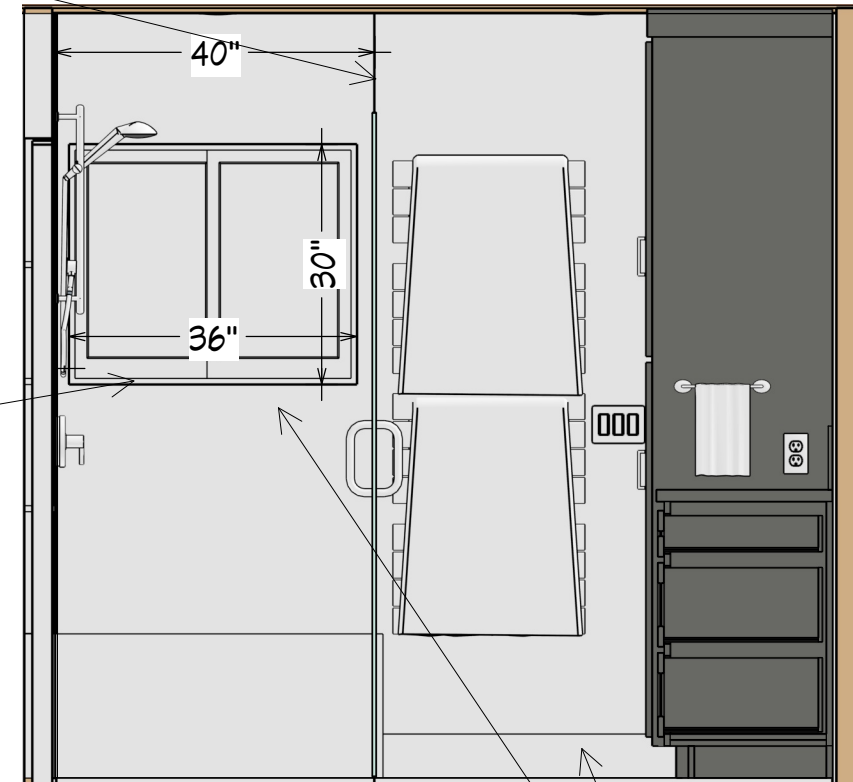
Base tile is same
 Top with Jolly White Schluter

GLASS CHANNEL

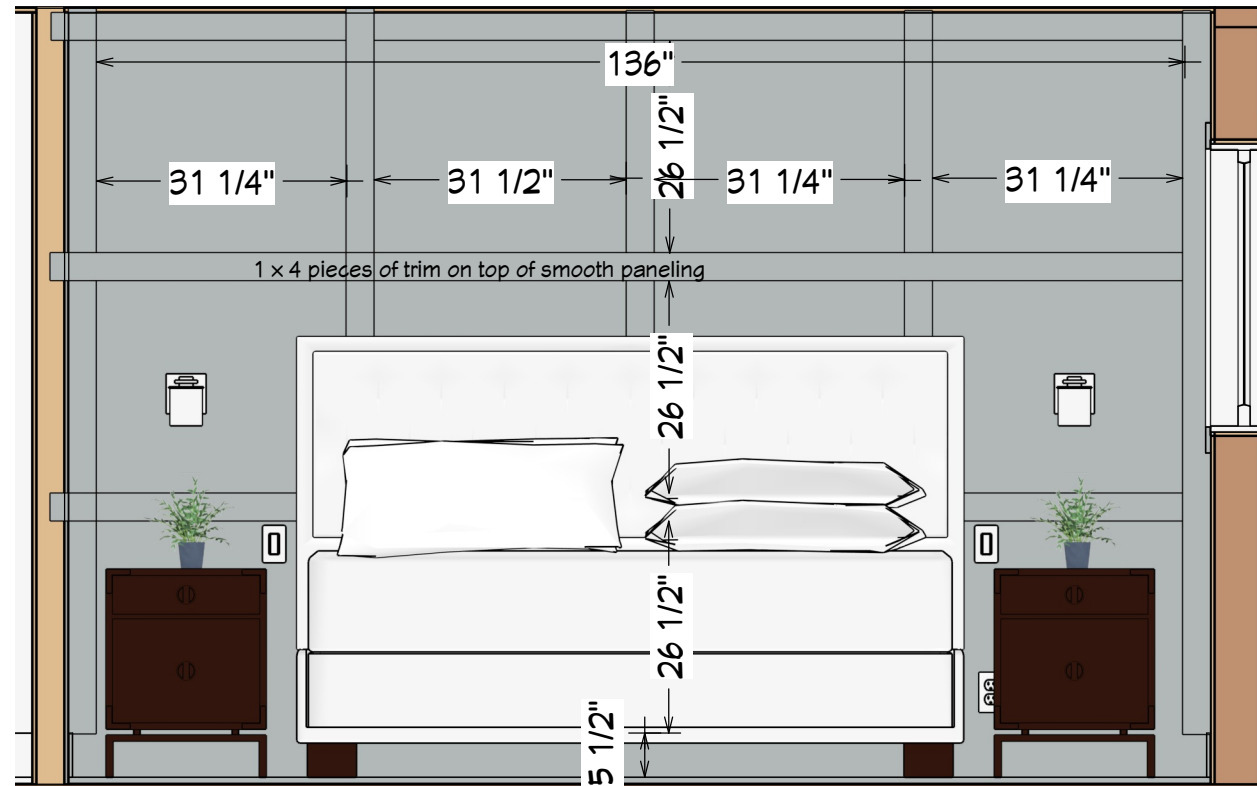
Niche top to align
 with window top

PENCIL LINER FOR
 WINDOW EDGES

QUARTZ FOR BENCH,
 NICHE SIDE AND NICHE
 SHELVES



ELEVATIONS - MASTER BEDROOM



Elevation 14

REVISIONS

- △² 4/26/22
- △³ 8/25/22
- △⁴ 9/9/22
- △⁵ 11/7/22

PER PLANNING COMMENTS

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ELEVATIONS

SCALE
 1/2" = 1' 0"





DATE 1/12/22

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A25

ELEVATIONS - POWDER BATH

REVISIONS

-  4/26/22
-  8/25/22
-  9/9/22
-  11/7/22

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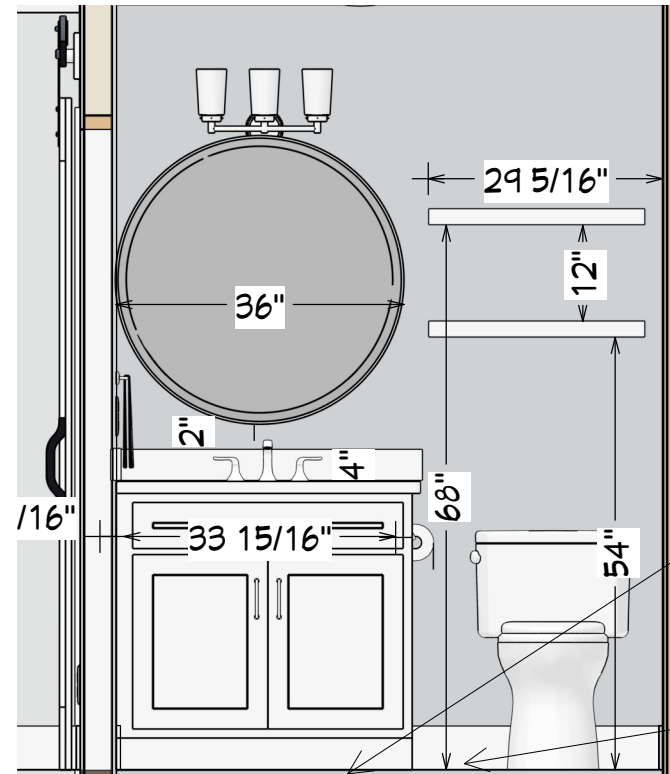
ELEVATIONS

SCALE
 1/2" = 1' 0"

DATE 1/12/22

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A26



FLOOR TILE
 Arizona Touch Pearl Porcelain 12x24
 Cape Gray Nonsanded grout
 1/16" grout joints
 Even pattern







BASE TILE
 4X16 white subway tiles
 Arctic white grout
 White jolly on edge

Elevation 13

ELEVATIONS

REVISIONS

-  4/26/22
-  8/25/22
-  9/9/22
-  11/7/22

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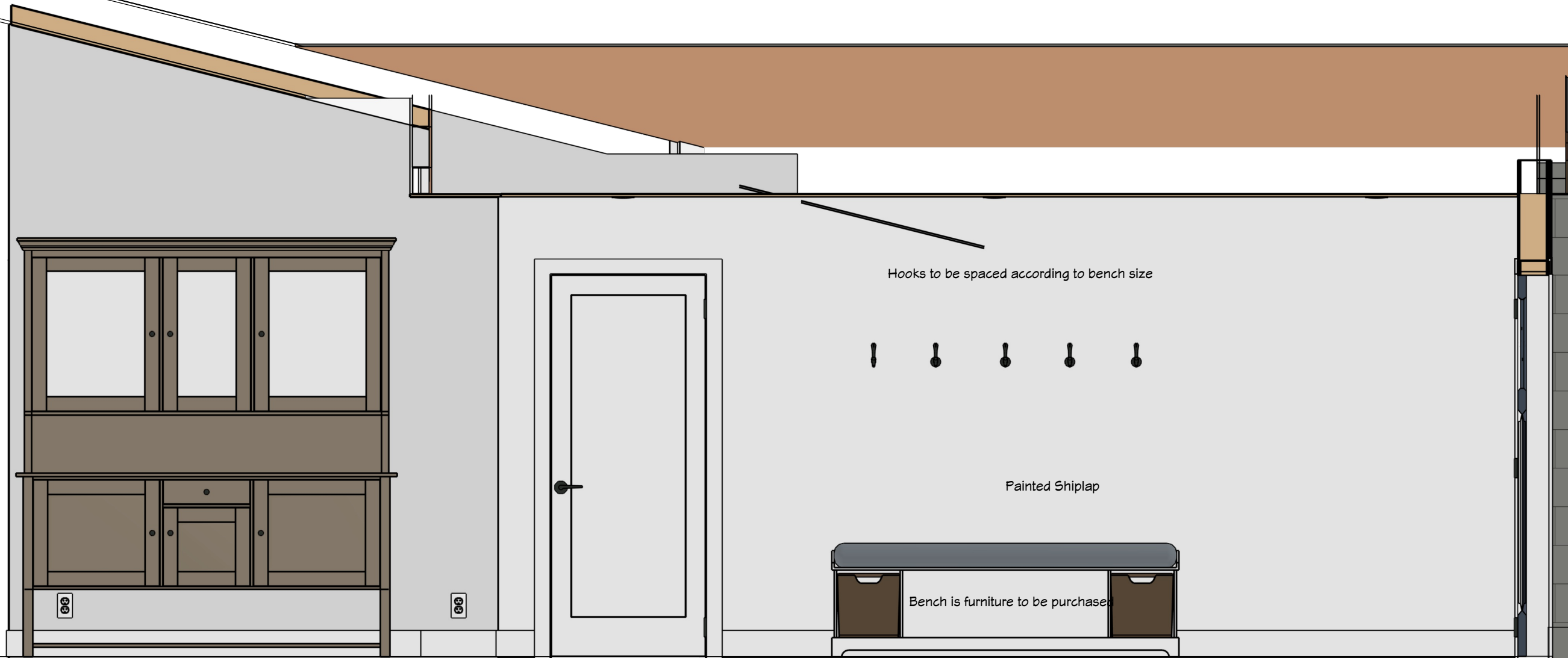
ELEVATIONS

SCALE
1/2" = 1' 0"

DATE 1/12/22

**KATE
HANDEL
DESIGN**

A27



Elevation 15





DOOR & WINDOW SCHEDULE

| WINDOW SCHEDULE | | | | | | | | |
|-----------------------|-------|--------|--------|-----|-------|--------|---------------|----------|
| ROOM NAME | FLOOR | NUMBER | LABEL | QTY | WIDTH | HEIGHT | DESCRIPTION | TEMPERED |
| KITCHEN / LIVING ROOM | 1 | W02 | 4030RS | 1 | 48 " | 36 " | RIGHT SLIDING | |
| HALL BATH | 1 | W03 | 4020RS | 1 | 48 " | 24 " | RIGHT SLIDING | |
| BEDROOM 2 | 1 | W04 | 6040LS | 1 | 72 " | 48 " | LEFT SLIDING | |
| BEDROOM 3 | 1 | W05 | 5040LS | 1 | 60 " | 48 " | LEFT SLIDING | |
| MASTER BATH | 1 | W06 | 3026LS | 1 | 36 " | 30 " | LEFT SLIDING | |
| MASTER BEDROOM | 1 | W07 | 6030LS | 1 | 72 " | 36 " | LEFT SLIDING | |
| OFFICE | 1 | W08 | 4640FX | 1 | 54 " | 48 " | FIXED GLASS | |
| OFFICE | 1 | W09 | 1740FX | 2 | 19 " | 48 " | FIXED GLASS | |
| OFFICE | 1 | W10 | 5040LS | 1 | 60 " | 48 " | LEFT SLIDING | |

Glazing adjacent to a door where the nearest vertical edge of the glazing is within a 24-inch arc of either vertical edge of the door in a closed position and where the bottom exposed edge of the glazing is less than 60 inches above the floor or walking surface. Glazing in walls, enclosures or fences containing or facing hot tubs, spas, whirlpools, saunas, steam rooms, bath tubs, showers and indoor or outdoor swimming pools, glazing within 60 inches of the water's edge, and less than 60 inches above the floor must be protected with safety glass. [R308.4.5] . Glazing with a bottom edge 36" or less above stairs and landings must be safety glass. [R308.4.6] This protected zone extends 5' from the bottom landing of the stairway. [R308.4.7].

| DOOR SCHEDULE | | | | | | | | | |
|--------------------------------------|-------|--------|-------|-----|-------|--------|-------------|-----------|--|
| ROOM NAME | FLOOR | NUMBER | LABEL | QTY | WIDTH | HEIGHT | R/O | THICKNESS | DESCRIPTION |
| CLOSET/MASTER BATH | 1 | D01 | 2668 | 1 | 30 " | 80 " | 62"X82 1/2" | 1 3/8" | POCKET-PANEL |
| GARAGE | 1 | D02 | 15080 | 1 | 180 " | 96 " | 182"X99" | 1 3/4" | GARAGE-GARAGE DOOR CHD05 |
| GARAGE | 1 | D03 | 3068 | 1 | 36 " | 80 " | 38"X83" | 1 3/4" | EXT. HINGED-DOOR E21 |
| GARAGE/HALL | 1 | D04 | 2868 | 1 | 32 " | 80 " | 34"X82 1/2" | 1 3/8" | HINGED-PANEL |
| HALL | 1 | D05 | 3068 | 1 | 36 " | 80 " | 38"X83" | 1 3/4" | EXT. HINGED-1662 TRADITIONAL SASH |
| HALL BATH/KITCHEN / LIVING ROOM | 1 | D06 | 2468 | 1 | 28 " | 80 " | 30"X82 1/2" | 1 3/8" | HINGED-PANEL |
| KITCHEN / LIVING ROOM | 1 | D07 | 8068 | 1 | 96 " | 80 " | 98"X83" | 1 3/4" | EXT. SLIDER-GLASS PANEL |
| KITCHEN / LIVING ROOM/MASTER BEDROOM | 1 | D08 | 2668 | 1 | 30 " | 80 " | 32"X82 1/2" | 1 3/8" | HINGED-PANEL |
| BEDROOM 2/KITCHEN / LIVING ROOM | 1 | D09 | 2868 | 1 | 32 " | 80 " | 34"X82 1/2" | 1 3/8" | HINGED-PANEL |
| BEDROOM 2/CLOSET | 1 | D10 | 6068 | 1 | 72 " | 80 " | 74"X82 1/2" | 1 3/8" | SLIDER-PANEL |
| HALL/BEDROOM 3 | 1 | D11 | 2468 | 1 | 28 " | 80 " | 30"X82 1/2" | 1 3/8" | HINGED-PANEL |
| BEDROOM 3/CLOSET | 1 | D13 | 7068 | 1 | 84 " | 80 " | 86"X82 1/2" | 1 3/8" | SLIDER-PANEL |
| MASTER BEDROOM/MASTER BATH | 1 | D14 | 2668 | 1 | 30 " | 80 " | 62"X82 1/2" | 1 3/8" | POCKET-PANEL |
| HALL/OFFICE | 1 | D15 | 2468 | 1 | 28 " | 80 " | 30"X82 1/2" | 1 3/8" | HINGED-PANEL |
| PANTRY/KITCHEN / LIVING ROOM | 1 | D16 | 1668 | 1 | 18 " | 80 " | 20"X82 1/2" | 1 3/8" | HINGED-PANEL |
| POWDER/KITCHEN / LIVING ROOM | 1 | D17 | 2468 | 1 | 28 " | 80 " | 30"X82 1/2" | 1 3/8" | HINGED-PANEL |
| HALL | 1 | D18 | 1068 | 1 | 12 " | 80 " | 14"X83" | 1 3/4" | EXT. FIXED-1780 TRADITIONAL SASH SIDELIGHT |

REVISIONS

-  4/26/22
-  8/25/22
-  9/9/22
-  11/7/22

PER PLANNING COMMENTS

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 kate@katehandel.com

Kate Handel

Rebecca Mendonca
 450 Lancaster Blvd
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**DOORS &
 WINDOWS**

SCALE

DATE 1/12/22

**KATE
 HANDEL
 DESIGN**

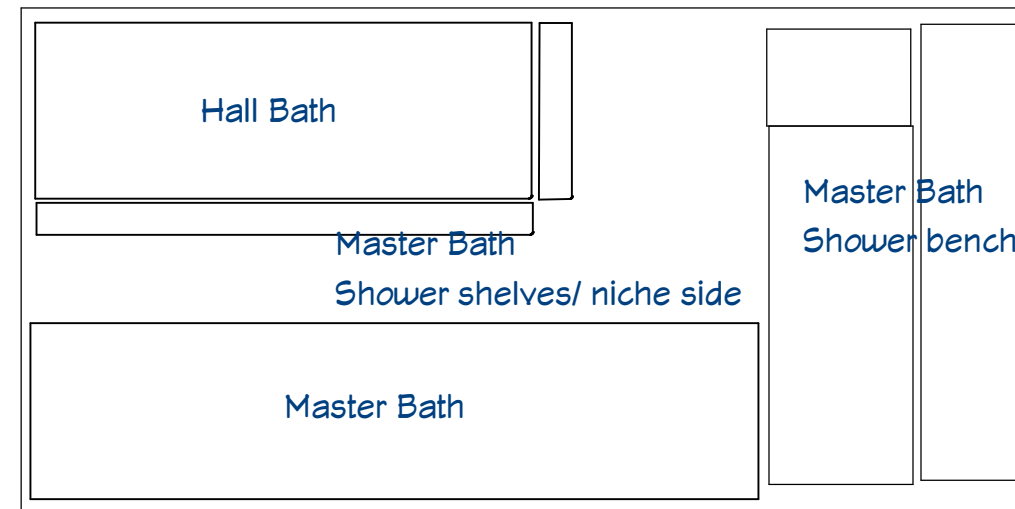
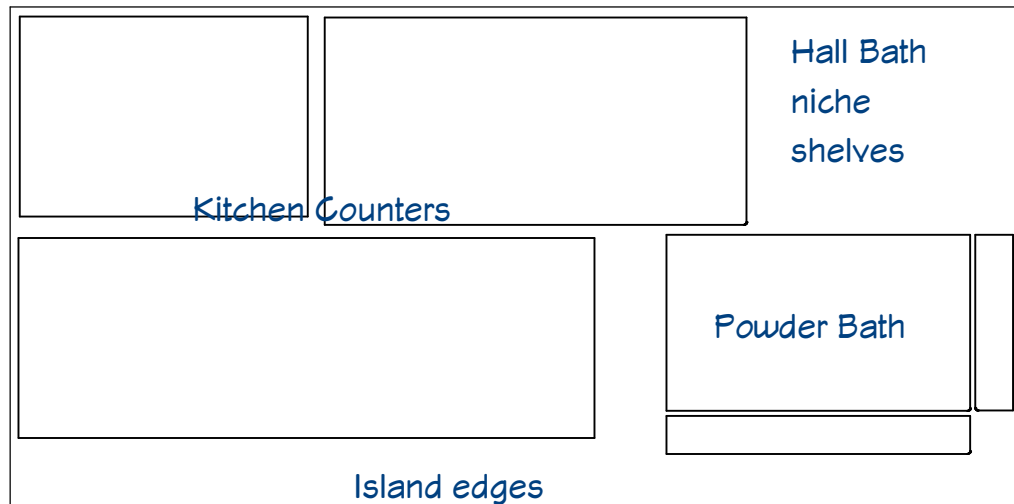
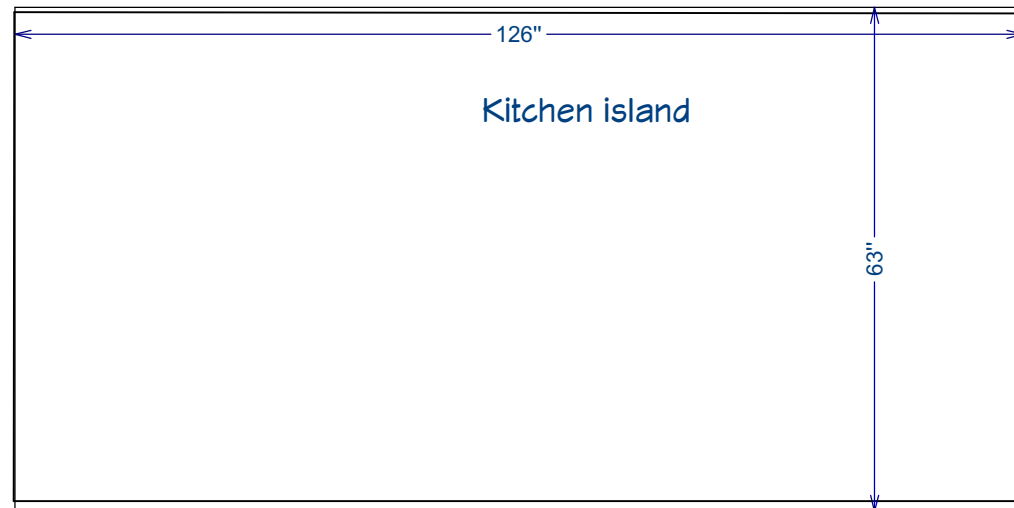
A28

FABRICATION

Yadara Naurelle Jumbo 63 x 126

Counter Overhang = 1.5"

Edge Profile = Eased



REVISIONS

- △² 4/26/22
- △³ 8/25/22
- △⁴ 9/9/22
- △⁵ 11/7/22

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FABRICATION

SCALE

DATE 1/12/22

**KATE
 HANDEL
 DESIGN**

A29



County of San Mateo - Planning and Building Department

ATTACHMENT D

November 16, 2022

Renee Moldovan
Bodas Construction
625 Miramontes Street
Half Moon Bay, CA 94019

Dear Ms. Moldovan:

SUBJECT: Coastside Design Review Recommendation
450 Lancaster Boulevard, Moss Beach
APN 037-171-770; County File No. PLN 2022-00010

At its meeting of September 8, 2022, the San Mateo County Coastside Design Review Committee (CDRC) considered your request for a Major Modification (Modification) to the Design Review permit for the construction of a 418 sq. ft. addition to an existing 1,978 sq. ft. single-family residence on a legal 5,488 sq. ft. parcel, associated with a hearing-level Coastal Development Permit (CDP). The Modification involves a change to the project roof design. The project, which also involves the legalization of an existing 220 sq. ft. pergola, minor grading, and no tree removal. The Planning Commission will make a decision on the Design Review Permit and associated CDP at a later date. The project is appealable to the California Coastal Commission.

Based on the plans, application forms and accompanying materials submitted, the Coastside Design Review Committee **recommended approval** your project, as modified, based on and subject to the following findings and recommended conditions:

FINDINGS

The Coastside Design Review Committee found that:

1. For the Design Review

The project, as proposed and conditioned, has been reviewed under and found to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:



- a. Section 6565.20 (D) ELEMENTS OF DESIGN; 1b. Neighborhood Scale: The design aligns well with the other houses of the same vintage layout and size.
- b. Section 6565.20 (D) ELEMENTS OF DESIGN; 2. Architectural Styles and Features: The style (California mini ranch), size, and shape of the residence is consistent with the predominant style of nearby homes. Additionally, the proposed gable roof (with double front and single sides) complements other homes in the neighborhood.
- c. Section 6565.20 (D) ELEMENT OF DESIGN; 1d. Façade Articulation; and 4. Exterior Materials and Colors: The design is consistent with neighboring houses, as the project proposes muted exterior colors and repeating siding (simulated shingles) at gables.

RECOMMENDED CONDITIONS

Current Planning Section

1. The project shall be constructed in compliance with the plans once approved by the Planning Commission and as reviewed by the Coastside Design Review Committee on September 8, 2022. Any changes or revisions to the approved plans are subject to review and approval by the Community Development Director. Minor adjustments to project design may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Design Review Officer may refer consideration of the revisions to the Coastside Design Review Committee, with applicable fees to be paid.
2. The applicant shall provide “finished floor elevation verification” to certify that the structure is actually constructed at the height shown on the submitted plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point in the vicinity of the construction site:
 - a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
 - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
 - c. Prior to the Planning Department approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.

- d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
 - e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
 - f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
1. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including, but not limited to, the following:
 - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
 - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - c. Performing clearing and earth-moving activities only during dry weather.
 - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
 - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - f. Removing spoils promptly, and avoiding stockpiling of fill materials, when rain is forecast. If rain threatens, stockpiled soils and other materials shall be covered with a tarp or other waterproof material.
 - g. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.

- h. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
 - i. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - j. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
 - k. Limiting construction access routes and stabilization of designated access points.
 - l. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - m. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and Construction Best Management Practices.
 - n. Additional Best Management Practices, in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
 - o. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
2. The applicant shall indicate the following on plans submitted for a building permit, as stipulated by the Coastside Design Review Committee:
- a. Add "Bay Window" to the front of proposed addition, which shall be the same size as the originally proposed window. Remove eyebrow roof gable at new addition only.
 - b. Optional: change the exterior color of the garage door to a darker color to break up the appearance of mass.

The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.

3. All new power and telephone utility lines from the street or nearest existing utility pole to the dwelling and/or any other structure on the property shall be placed underground.

4. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Drainage Section, the Montara Water and Sanitary District, and the Coastside Fire Protection District.
5. No site disturbance shall occur, including any vegetation removal, until a building permit has been issued.
6. To reduce the impact of construction activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
 - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on Lancaster Boulevard. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on either street. There shall be no storage of construction vehicles in the public right-of-way.
7. The project site is located within the Fitzgerald Area of Special Biological Significance (ASBS) watershed. Runoff and other polluted discharges from the site are prohibited. Development shall minimize erosion, treat stormwater from new/replaced impervious surfaces, and prevent polluted discharges into the ASBS or a County storm drain (e.g., car washing in a driveway or street, pesticide application on lawn).
8. The exterior color samples submitted to the CDRC are conditionally approved. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.
9. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving and Christmas (San Mateo County Ordinance Code Section 4.88.360).

Building Inspection Section

10. A building permit shall be obtained for the proposed construction.

Drainage Section

11. At the time of building permit application, the project will be required to comply with the County's "basic" drainage review requirements, including showing splash blocks at roof gutter downspouts to disperse rainwater to landscaping where feasible and removing hardscape such that there is no net increase in impervious surface onsite. In addition, site-specific erosion control measures will need to be shown on the plans as the project is located within the Fitzgerald Area of Special Biological Significance (ASBS) watershed.

Department of Public Works

12. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
13. Prior to the issuance of building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No.3277.
14. Prior to the issuance of the building permit, the applicant shall be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No.3277.

Montara Water and Sanitary District (MWSD or District)

15. Applicant required to obtain a Sewer Remodel Permit from MWSD prior to issuance of building permit. Fixture Unit Upgrade and other Fees must be paid prior to issuance of connection permit.
16. Applicant may be required to upgrade water meter and service line in accordance with District regulations. Fees for domestic water meter upgrade must be paid prior to issuance of connection permit.
17. If a connection to the District's fire protection system is required then: Certified Fire Protection Contractor must certify adequate fire flow calculations. Connection fee for fire protection system is required. Connection charge must be paid prior to issuance of Private Fire Protection permit.
18. The owner/applicant, rather than his contractor, shall apply directly to District for permits.

Coastside Fire Protection District

19. Smoke Alarm which are hard wired: As per the California Building Code, and State Fire Marshal regulations, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and recondition sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final. Date of installation must be added to exterior of the smoke alarm and will be checked at final.
20. Smoke alarm/detector are to be hardwired, interconnected, or with battery back-up. Smoke alarms to be installed per manufactures instruction and NFPA 72.
1. As per Coastside Fire Protection District Standard CI-013, building identification shall be conspicuously posted and visible from the street. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 1/2-inch stroke. Such letters/numerals shall be internally illuminated and facing the direction of access. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire Protection District. This remote signage shall consist of a 6 inch by 18 inch green reflective metal sign with 3 inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent shall be placed at the entrance from the nearest public roadway.
21. As per Coastside Fire Protection District Ordinance 2019-03, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
22. The installation of an approved spark arrester is required on all (WOOD BURNING) chimneys. Spark arresters shall be made of 12-gage woven or welded wire screening having openings not exceeding 1/2 inch. If not wood burning disregard this note.
23. Vegetation Management (LRA) The Coastside Fire Protection District Ordinance 2019-03, the 2019 California Fire Code 304.1.2 A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity. Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is

within 5 feet of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood. All fire conditions and requirements must be incorporated into your building plans, (see attached conditions) prior to building permit issuance. It is your responsibility to notify your contractor, architect and engineer of these requirements.

Please note that the decision of the Coastsides Design Review Committee is a recommendation regarding the project's compliance with design review standards, not the final decision on this project, which requires a hearing-level Coastal Development Permit (CDP). A Planning Commission public hearing will take place at a later date. For more information, please contact me, at 650/363-1803, or by email at bjia@smcgov.org

To provide feedback, please visit the Department's Customer Survey at the following link: <https://www.smcgov.org/planning/webforms/san-mateo-county-planning-and-building-engagement-survey>

Sincerely,



Camille Leung, Senior Planner

CML:GJI:cmc – GJIGG0343_WCN.DOCX

cc: Eric and Rebecca Tubman, Property Owners
Mark Stegmaier, Community Representative
Rebecca Katkin, Member Architect
Katie Kostiuk, Member Architect