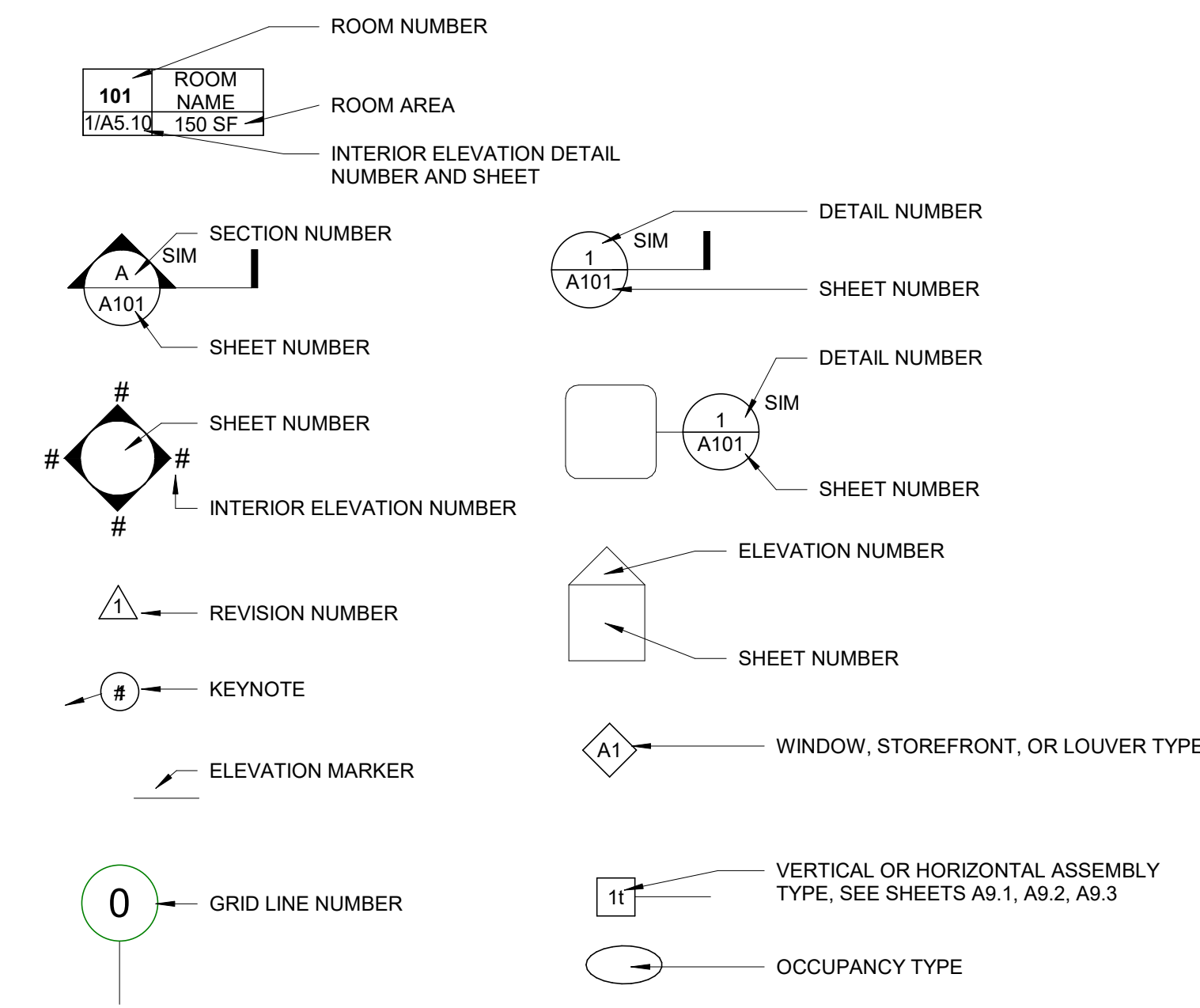


# CYPRESS POINT FAMILY COMMUNITY

CARLOS STREET, MOSS BEACH, SAN MATEO COUNTY, CA  
COASTAL DEVELOPMENT PERMIT SUBMITTAL, JUNE 24, 2022



## GRAPHIC SYMBOLS



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C3.0	SITE GRADING PLAN
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13	
TOTAL SHEETS: 35	

## ACCESSIBILITY SUMMARY

THIS PROJECT IS A PUBLICLY FUNDED PROJECT COMPLYING WITH CHAPTER 11B OF THE CALIFORNIA BUILDING CODE (CBC).

**RESIDENTIAL BUILDINGS:**  
BUILDING TYPE D - MULTI-FAMILY, NON-ELEVATOR-SERVED BUILDINGS COMPRISED OF MULTI-STORY TOWNHOMES WITH GROUND-LEVEL ENTRIES. 10% OF UNITS MUST COMPLY WITH 11B, AND PROVIDE AN ACCESSIBLE ROUTE.

BUILDINGS TYPE A,B,C,E - MULTI-FAMILY, STACKED FLATS WITH STAIR-ONLY ACCESS TO LEVEL 2 UNITS. DWELLING UNITS WITH REQUIRED MOBILITY OR HEARING/VISUALLY IMPAIRED FEATURES ARE ALSO LOCATED ON THE GROUND-LEVEL, AND SHALL COMPLY WITH CHAPTER 11B OF THE CBC.

**COMMUNITY BUILDING:**  
THE COMMUNITY BUILDING IS A LEASING OFFICE, RESIDENTIAL SERVICES AND COMMUNITY CENTER AND COMPLIES WITH CHAPTER 11B OF THE CBC.

## PROJECT SUMMARY

THE PROPOSED PROJECT CONSISTS OF 71 UNITS OF NEW AFFORDABLE MULTIFAMILY RESIDENTIAL UNITS IN 16 BUILDINGS, AND A COMMUNITY BUILDING FOR RESIDENT SERVICES AND LEASING.

PROJECT ADDRESS: CARLOS STREET, MOSS BEACH, SAN MATEO COUNTY, CA

SITE AREA: 11.02 ACRES  
TOTAL UNITS: 71 UNITS  
SITE DENSITY: 6.4 UNITS / ACRE

	RESIDENTIAL BUILDINGS	COMMUNITY BUILDING
CONSTRUCTION TYPE:	TYPE VB	TYPE VB
OCCUPANCY TYPE:	R2	A3

### DEVELOPMENT STANDARDS

	PROVIDED
BLDG. SETBACK WEST	20 FT
BLDG. SETBACK SOUTH	157 FT
BLDG. SETBACK EAST	182 FT
BLDG. SETBACK NORTH	137 FT

DENSITY	6.4 UNITS/ACRE
LOT COVERAGE	0.94 ACRES
BUILDING HEIGHT	2 STORIES, 28' MAXIMUM

PARKING SPACES: 142 SPACES

### BUILDING GROSS AREAS

\*GROSS AREA CALCULATIONS INCLUDE COVERED EXTERIOR CIRCULATION

BUILDING TYPE A	[1 BLDG]	9,182 SF
BUILDING TYPE B	[1 BLDG]	6,630 SF
BUILDING TYPE C1	[4 BLDGS]	3,691 SF
BUILDING TYPE C2	[1 BLDG]	3,692 SF
BUILDING TYPE D	[8 BLDGS]	2,258 SF
BUILDING TYPE E	[1 BLDG]	11,042 SF

TOTAL SF OF RESIDENTIAL BLDGS. 63,374 SF

COMMUNITY BUILDING 3,364 SF

TOTAL SF OF BUILDINGS 66,738 SF

### UNIT TYPE SUMMARY

UNIT TYPE	DESCRIPTION	# UNITS	UNIT AREA (SF)
A1	1-BR FLAT	16	497 SF
B1	2-BR FLAT	36	805 SF
B2	2-BR FLAT	1	887 SF
C1	3-BR FLAT	2	981 SF
C2	3-BR TH	16	1,144 SF

## BUILDING CODES

THIS PROJECT SHALL COMPLY WITH THE CALIFORNIA BUILDING CODE, AS IS CURRENT AT THE TIME OF PERMIT SUBMITAL.

## PROJECT TEAM

**OWNER / APPLICANT**  
MIDPEN HOUSING CORP.  
303 VINTAGE PARK DRIVE, SUITE 250  
FOSTER CITY, CA 94404  
650.339.0581  
CONTACT: SERENA IP

**ARCHITECT**  
PYATOK ARCHITECTS  
1611 TELEGRAPH AVENUE, SUITE 200  
OAKLAND, CA 94612  
510.465.7010  
CONTACT: PETER WALLER

**CIVIL ENGINEER**  
BKF ENGINEERS  
255 SHORELINE DRIVE, SUITE 200  
REDWOOD CITY, CA 94065  
650.482.8300  
CONTACT: LAUREN BOYLE BERMAN

**LANDSCAPE ARCHITECT**  
JONI L. JANECKI & ASSOCIATES, INC.  
515 SWIFT STREET, SANTA CRUZ, CA 95060  
831.423.6040  
CONTACT: GEORGIA LEUNG

## AERIAL CONTEXT



STAMP:

### REVISION SCHEDULE

NO.	ISSUE	DATE
1	Planning Resubmittal	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/21/22

JOB NUMBER: 1603  
DRAWN BY: GP  
CHECKED BY: PW  
DATE: June 24, 2022  
SCALE: 1/2" = 1'-0"

TITLE:

TITLE SHEET

SHEET:

**G0.00**

NOT FOR CONSTRUCTION



**CYPRESS POINT FAMILY COMMUNITY**  
Carlos Street, Moss Beach

STAMP:

REVISION SCHEDULE

NO.	ISSUE	DATE
1	Planning Resubmittal	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/21/22

JOB NUMBER: 1603  
DRAWN BY: GP  
CHECKED BY: PW  
DATE: June 24, 2022  
SCALE:  
TITLE:

RENDERED SITE VIEWS

SHEET:

**G0.01**



[VIEW 1] SIERRA STREET VIEW, TRANSPARENT LANDSCAPE



[VIEW 1] SIERRA STREET VIEW



VIEW CONTEXT KEY



**CYPRESS POINT FAMILY COMMUNITY**  
Carlos Street, Moss Beach

STAMP:

REVISION SCHEDULE

NO.	ISSUE	DATE
1	Planning Resolution	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/11/22

JOB NUMBER: 1603  
DRAWN BY: GP  
CHECKED BY: PW  
DATE: June 24, 2022  
SCALE:  
TITLE:

RENDERED SITE VIEWS

SHEET:

**G0.02**



VIEW CONTEXT KEY



[VIEW 2] SIERRA STREET VIEW, TRANSPARENT LANDSCAPE



[VIEW 2] SIERRA STREET VIEW



**CYPRESS POINT FAMILY COMMUNITY**  
Carlos Street, Moss Beach

STAMP:

REVISION SCHEDULE	
NO.	ISSUE
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2	Adjusted Heights 07/10/20
3	Coastal Development Permit 06/21/22

JOB NUMBER: 1603  
DRAWN BY: GP  
CHECKED BY: PW  
DATE: June 24, 2022  
SCALE:  
TITLE:

**RENDERED SITE VIEWS**

SHEET:

**G0.03**



VIEW CONTEXT KEY



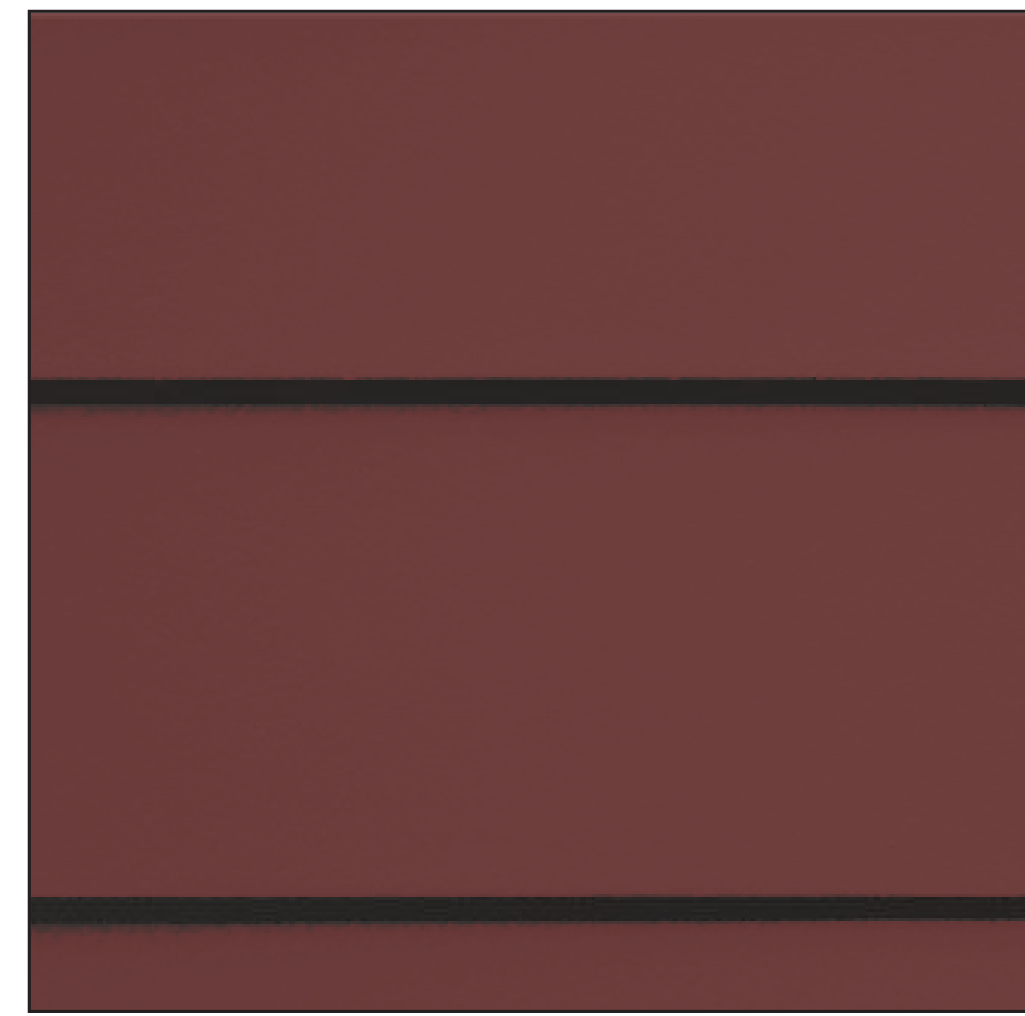
[VIEW A] SITE ENTRANCE LOOKING NORTHEAST



[VIEW B] COMMUNITY CENTER LOOKING NORTHWEST



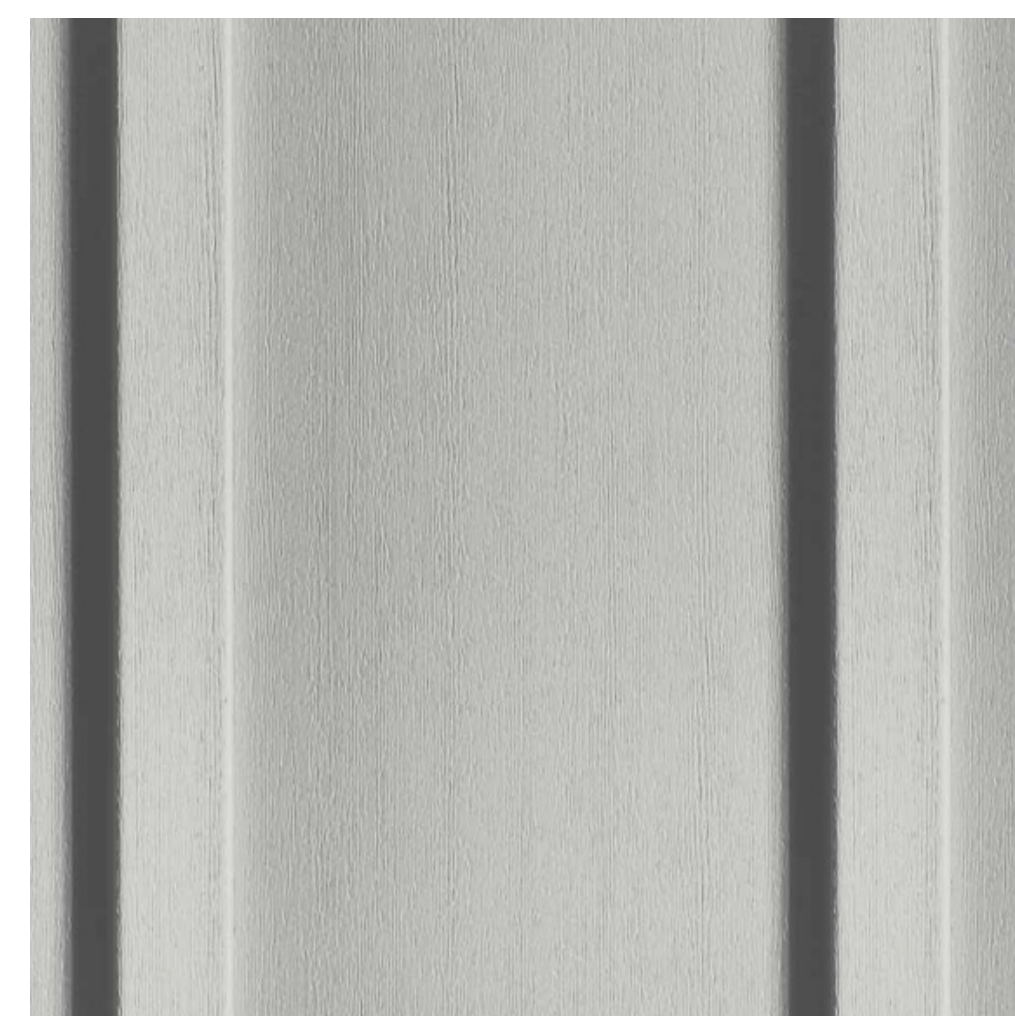
# MATERIAL PALETTE



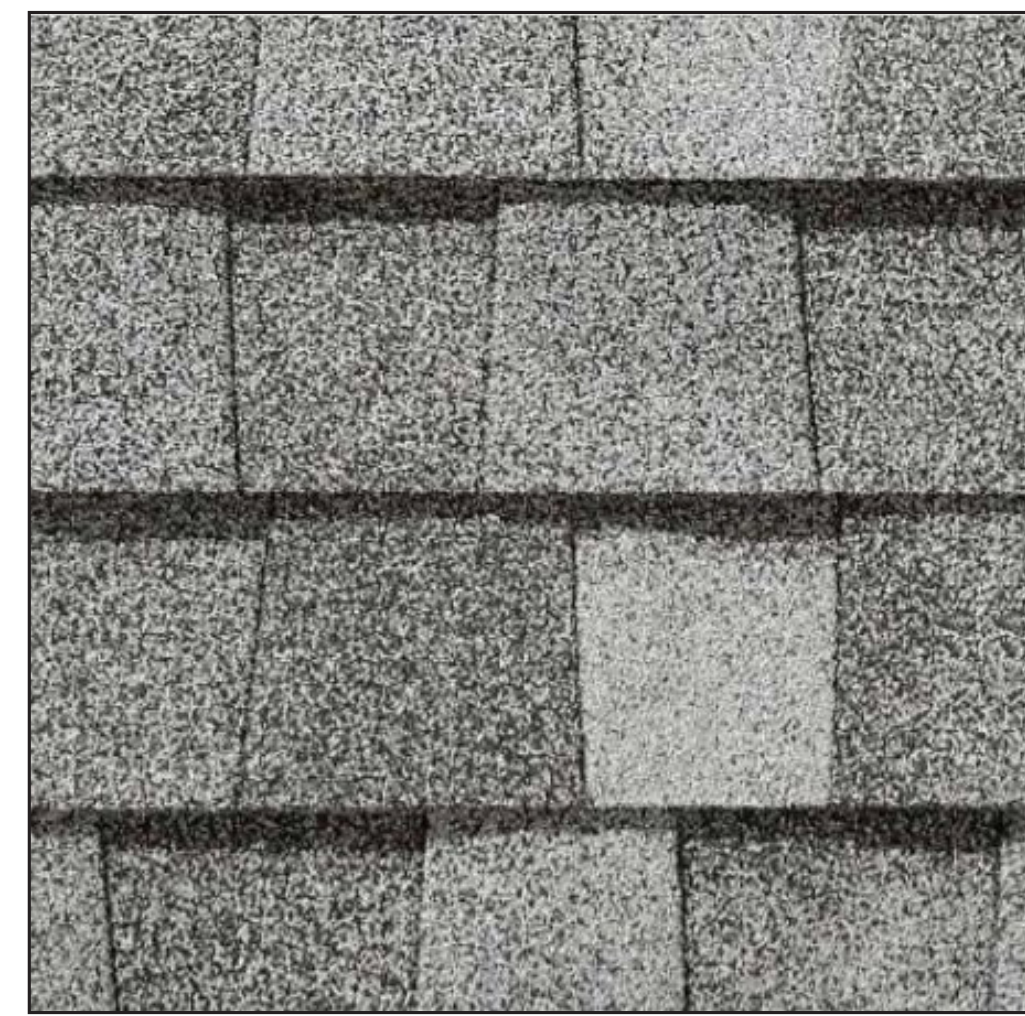
1 Horizontal Cement Board, 9" Exposure Widths, Smooth Painted Finish



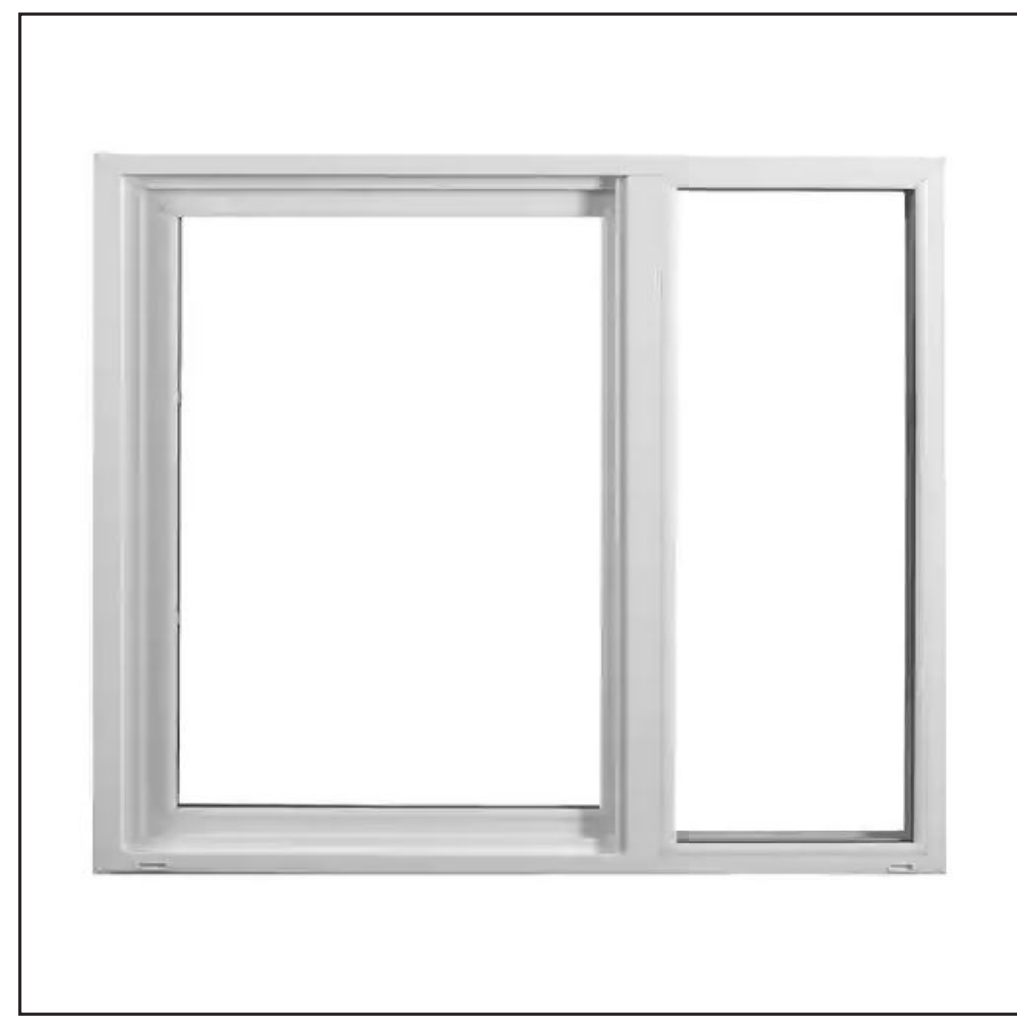
2 Horizontal Cement Board, 6" Exposure Widths, Smooth Painted Finish



3 Fiber Cement Board + Batten Siding, Variable Exposure Widths, Painted Finish



4 Certainteed Solaris Composite Shingle Roof, in Birchwood Color



5 VPI Vinyl Windows, White Finish at Residential building, Dark Bronze Finish at Community Building



6 Solid Core Wood Entry Door- With Single Panel Embossed Pattern, Painted



7 Wall Mounted Exterior Light Fixture



8 Pole Mounted Exterior Lamp Fixture

# COLOR PALETTE

## HOUSING SIDING

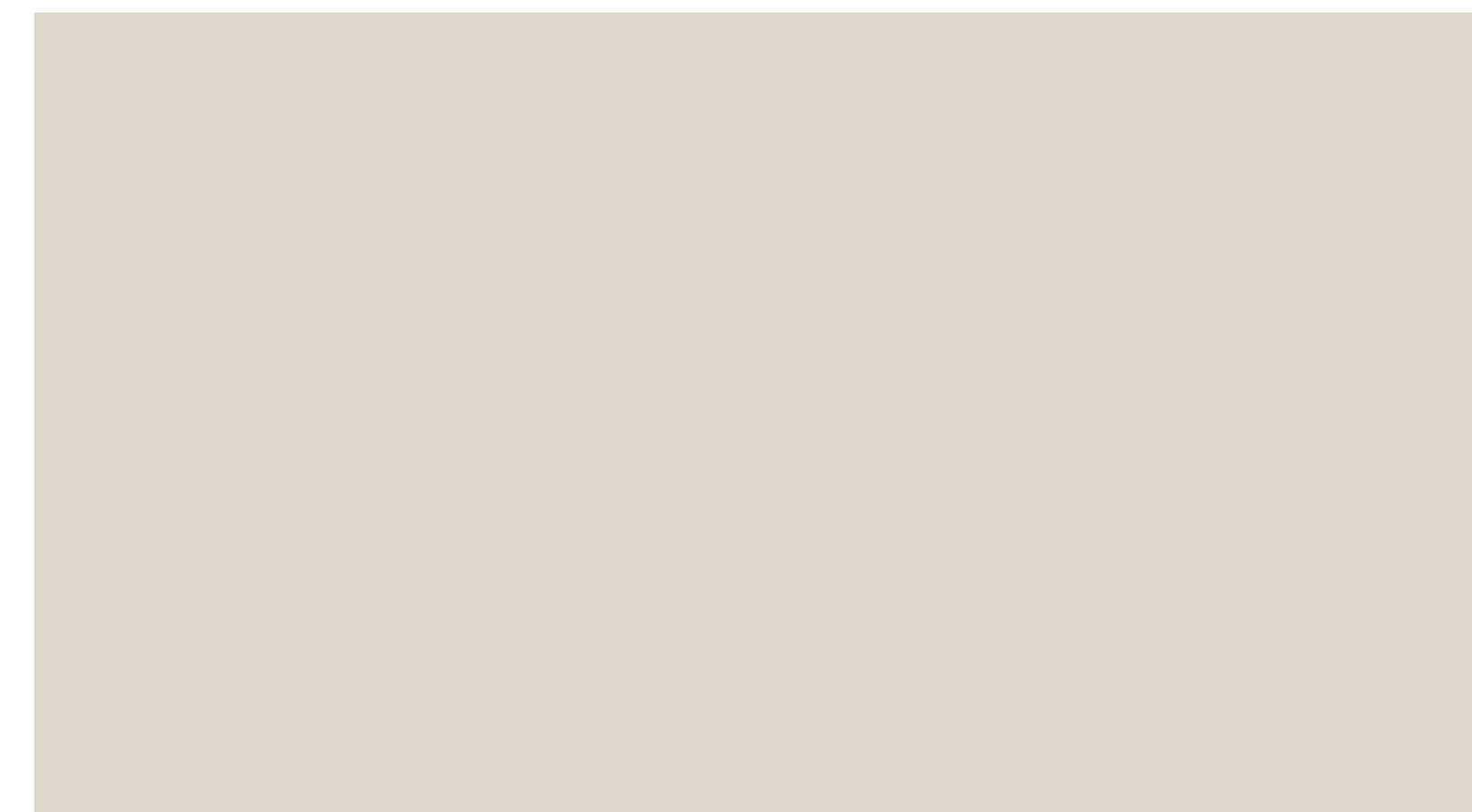


A Walnut Grove KM4470



B Cottage Red HC-185

## COMMUNITY BUILDING



C Pearl Oyster KM4577-1

## TRIM



D Zin Cluster KMA70-5

## FRONT DOOR



E Walnut Grove KM4470

STAMP:

REVISION SCHEDULE		
NO.	ISSUE	DATE
1	Planning Resolution	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/21/22

JOB NUMBER: 1603  
DRAWN BY: Author  
CHECKED BY: Checker  
DATE: June 24, 2022  
SCALE:  
TITLE:

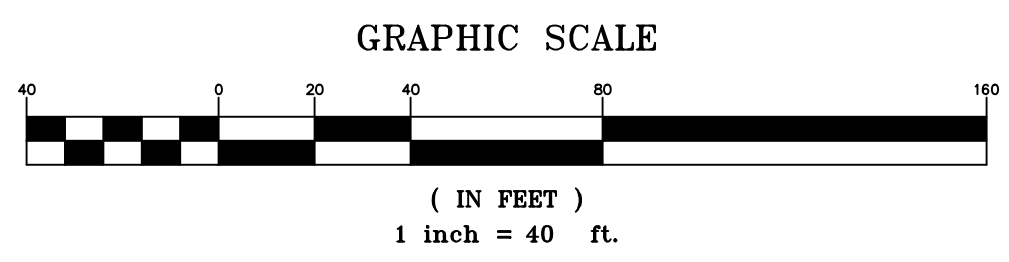
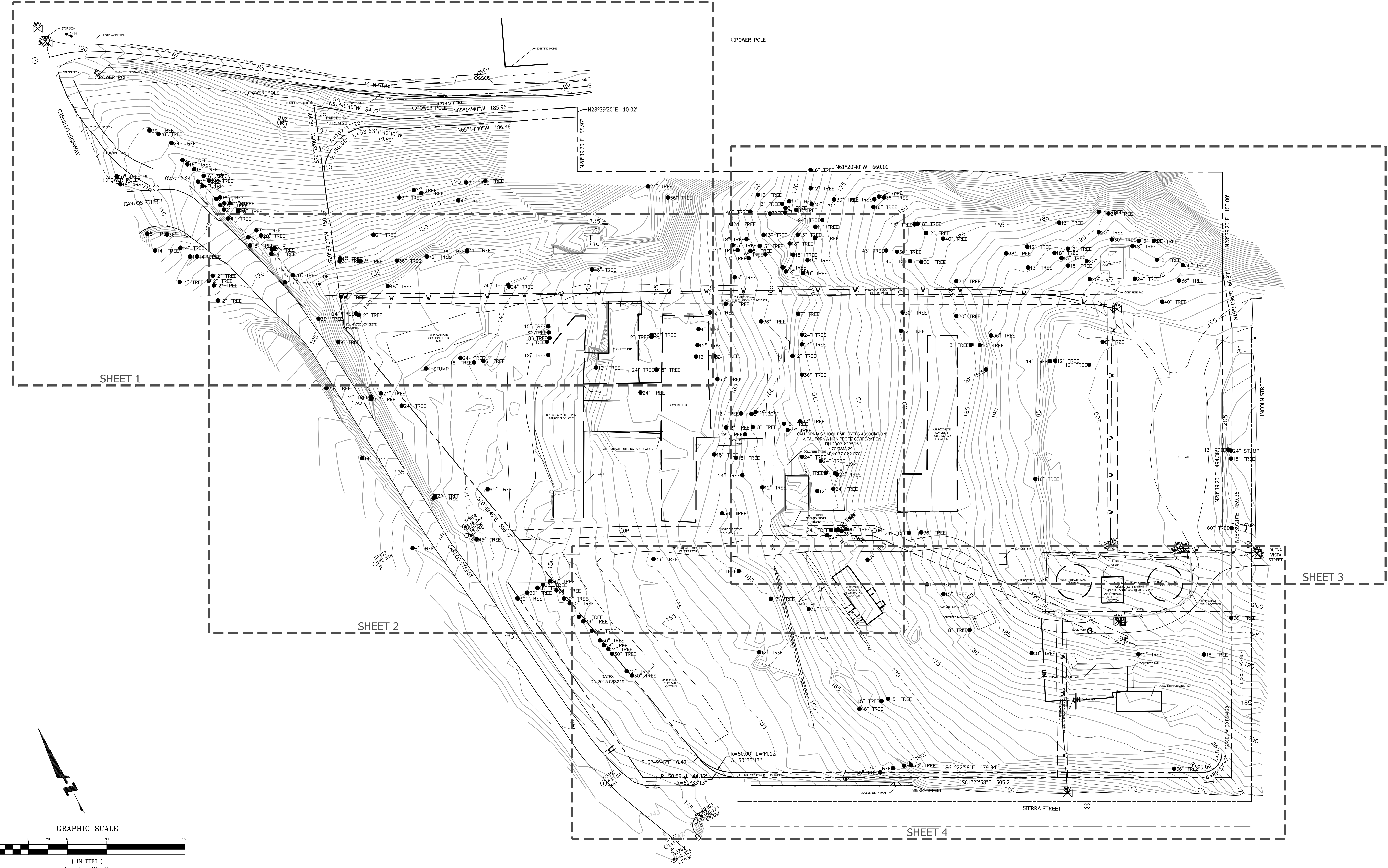
MATERIALS BOARD

SHEET:

**G0.04**



Date: 06/06/2017	No.	Revisions
Scale: 1"=40'		
Drawn: JAS		
Approved: DS		
Drawing Number:		



**LEGEND**

○ SSCO	SANITARY SEWER CLEAN OUT
⊙	SANITARY SEWER MANHOLE
⊕	STORM DRAIN MANHOLE
+	SIGN
○ JP	JOINT POLE
●	CLUY WIRE
●	TREE
⊗	WATER VALVE
⊕	FIRE HYDRANT
⊕	HOSE BIB
●	BOLLARD

**ABBREVIATIONS**

APPROX	APPROXIMATE
E	EAST
EL / ELEV	ELEVATION
ELEC	ELECTRIC
EMH	ELECTRIC MANHOLE
EP	EDGE OF PAVEMENT
ER	ELECTRIC RISER
EX	EXISTING
HR	HANDICAP RAMP
LLS	LICENSED LAND SURVEYOR
M	MAPS
N	NORTH
OR	OFFICIAL RECORD
PLS	PROFESSIONAL LAND SURVEYOR
S	SOUTH
W	WEST

**LINE TABLE**

---	BOUNDARY LINE
---	CONCRETE BUILDING PAD
---	EASEMENT LINE
---	EDGE OF PATH
W	WATER LINE (PROVIDED BY OTHERS)
UN	UNKNOWN UTILITY LINE (PROVIDED BY OTHERS)

**BASIS OF BEARINGS STATEMENT:**  
THE BEARING NORTH 10°49'45" WEST WAS TAKEN ON THE NORTHEASTERLY RIGHT OF WAY LINE OF CABRILLO HIGHWAY ROUTE 1 AS SHOWN ON THAT CERTAIN SUBDIVISION MAP FILED FOR RECORD ON DECEMBER 19, 1969 IN VOLUME 70 OF MAPS AT PAGES 28 AND 29, SAN MATEO COUNTY RECORDS WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.

**BENCHMARK STATEMENT:**  
AN ASSUMED ELEVATION WAS TAKEN AT POINT 100 WHICH IS A MAG & WASHER. ELEVATION 100.00'.

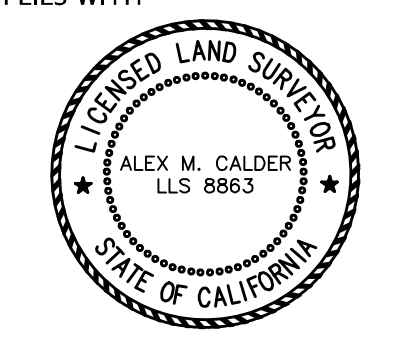
**UTILITY NOTE:**  
THE UTILITY LINES SHOWN ON THIS PLAN ARE DERIVED FROM SURFACE OBSERVATIONS AND ARE APPROXIMATE ONLY. NO WARRANTY IS IMPLIED AS TO THE ACTUAL LOCATION, SIZE OR PRESENCE OF ANY LINES SHOWN HEREON OR ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN.

WATER UTILITY LINE AND ASSOCIATED INFRASTRUCTURE SHOWN IS BASED ON POT HOLE INFORMATION PROVIDED BY OTHERS

**SURVEYOR'S NOTE:**  
THIS SURVEY WAS PERFORMED BY ME, OR UNDER MY DIRECTION, AND COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.

ALEX M. CALDER  
P.L.S.# 8863

DATE





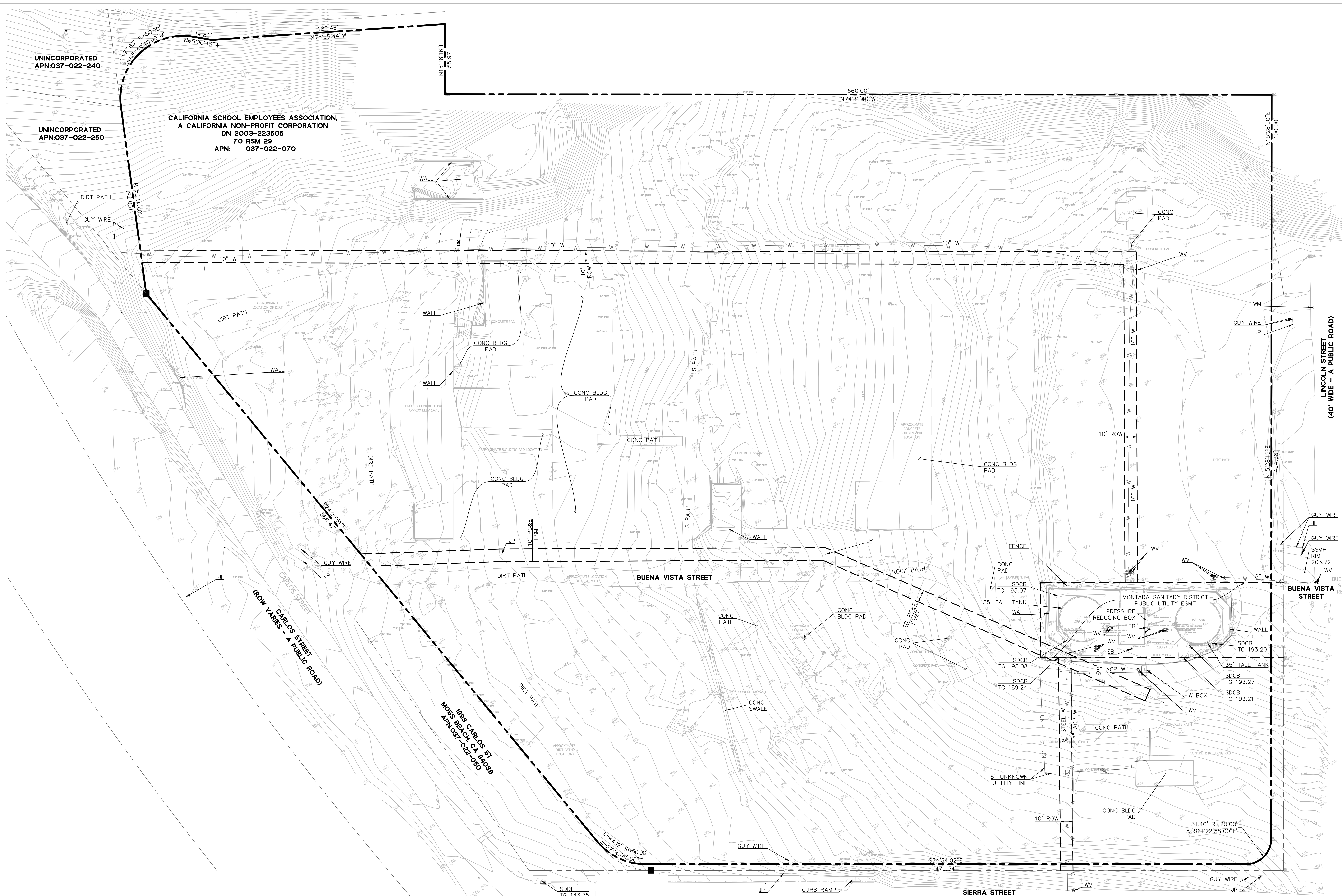
**CYPRESS POINT COASTAL DEVELOPMENT  
 PERMIT AND ENTITLEMENTS**  
 CARLOS STREET, MOSS BEACH

STAMP:

REVISION SCHEDULE  
 NO. ISSUE DATE

JOB NUMBER: C20160074  
 DRAWN BY: AOC/F  
 CHECKED BY: LB  
 DATE: 06/24/22  
 SCALE: AS SHOWN  
 TITLE: EXISTING CONDITIONS PLAN

SHEET:  
**C1.0**  
 SHEET 7 OF 35



- NOTES:**
- PROJECT BENCHMARK: AN ASSUMED ELEVATION WAS TAKEN AT POINT 100 WHICH IS A MAG & WASHER. ELEVATION 100.00'.
  - BASIS OF BEARINGS: THE BEARING NORTH 10°49'45" WAS TAKEN ON THE NORTHEASTERLY RIGHT OF WAY LINE OF CABRILLO HIGHWAY ROUTE 1 AS SHOWN ON THAT CERTAIN SUBDIVISION MAP FILED FOR RECORD ON DECEMBER 19, 1969 IN VOLUME 70 OF MAPS AT PAGES 28 AND 29, SAN MATEO COUNTY RECORDS WAS TAKEN AS THE BASIS OF BEARINGS SHOWN HEREON.
  - EXISTING UTILITIES AND SITE CONDITIONS SHOWN ON THIS PLAN SET ARE BASED ON AVAILABLE RECORD INFORMATION AND FIELD SURVEY. SHOULD FIELD CONDITIONS DIFFER FROM WHAT IS SHOWN ON THESE PLANS, CONTACT THE OWNER'S REPRESENTATIVE FOR DIRECTION AND CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION ACTIVITIES.
  - LOCATION AND INVERT INFORMATION FOR EXISTING DOMESTIC WATER, FIRE WATER, RECYCLED WATER, SANITARY SEWER, AND STORM DRAIN CONNECTIONS ARE APPROXIMATE AND BASED ON AVAILABLE RECORD INFORMATION. CONFIRM AND VERIFY EXISTING UTILITY TYPE, SIZE, MATERIAL, CONDITION, AND LOCATION, WHETHER SHOWN OR NOT ON THESE PLANS, PRIOR TO COMMENCING WORK.
  - NOTIFY UNDERGROUND SERVICE ALERT (USA) AT 1(800) 227-2600 AT LEAST 48 HOURS PRIOR TO COMMENCING WORK.

**ABBREVIATIONS:**

ACC	ACCESSIBLE	IRR	IRRIGATION
AC	ASPHALT CONCRETE	JP	JOINT POLE
ACP	ASBESTOS CEMENT PIPE	L	LENGTH
APN	ACCESSOR'S PARCEL NUMBER	LS	LANDSCAPE
APPROX	APPROXIMATE	LVC	LENGTH OF VERTICAL CURVE
BLDG	BUILDING	PH	POT HOLE
BVCE	BEGINNING OF VERTICAL CURVE ELEVATION	PVI	POINT OF VERTICAL INTERSECTION
BVCS	BEGINNINGS OF VERTICAL CURVE STATION	R	RADIUS
CO	CLEAN OUT	ROW	RIGHT OF WAY
CONC	CONCRETE	SD	STORM DRAIN
DIM	DIMENSION	SDCB	STORM DRAIN CATCH BASIN
DMA	DRAINAGE MANAGEMENT AREA	SDDI	STORM DRAIN DROP INLET
EB	ELECTRICAL BOX	SS	SANITARY SEWER
ELEV	ELEVATION	SSMH	SANITARY SEWER MANHOLE
EV	ELECTRIC VEHICLE	STA	STATION
EVCE	END OF VERTICAL CURVE ELEVATION	TG	TOP OF GRATE
EVCS	END OF VERTICAL CURVE STATION	TW	TOP OF WALL
EX	EXISTENT	TYP	TYPICAL
ESMT	EASEMENT	UN	UNKNOWN
FF	FINISHED FLOOR	VERT	VERTICAL
FS	FINISHED SURFACE	VACC	VAN ACCESSIBLE
FW	FIRE WATER	W	WATER
HORIZ	HORIZONTAL	WM	WATER METER
		WV	WATER VALVE

**LEGEND:**

---	PROPERTY BOUNDARY
---	ADJACENT PROPERTY BOUNDARY
---	EASEMENT



LOCATION AND/OR ELEVATION OF EXISTING UTILITIES ARE UNKNOWN. CONTRACTOR SHALL POT HOLE AND VERIFY THIS INFORMATION AND NOTIFY THE CIVIL ENGINEER OF ALL CONFLICTS WITH THE DESIGN PRIOR TO START OF CONSTRUCTION.



DRAWING NAME: \\bkt-rc\vol14\2016\160074\_moss\_beach\_hous\ng\CDP\Sheets\C1.0 - EXCOND.dwg  
 PLOT DATE: 06-23-22  
 PLOTTED BY: soni



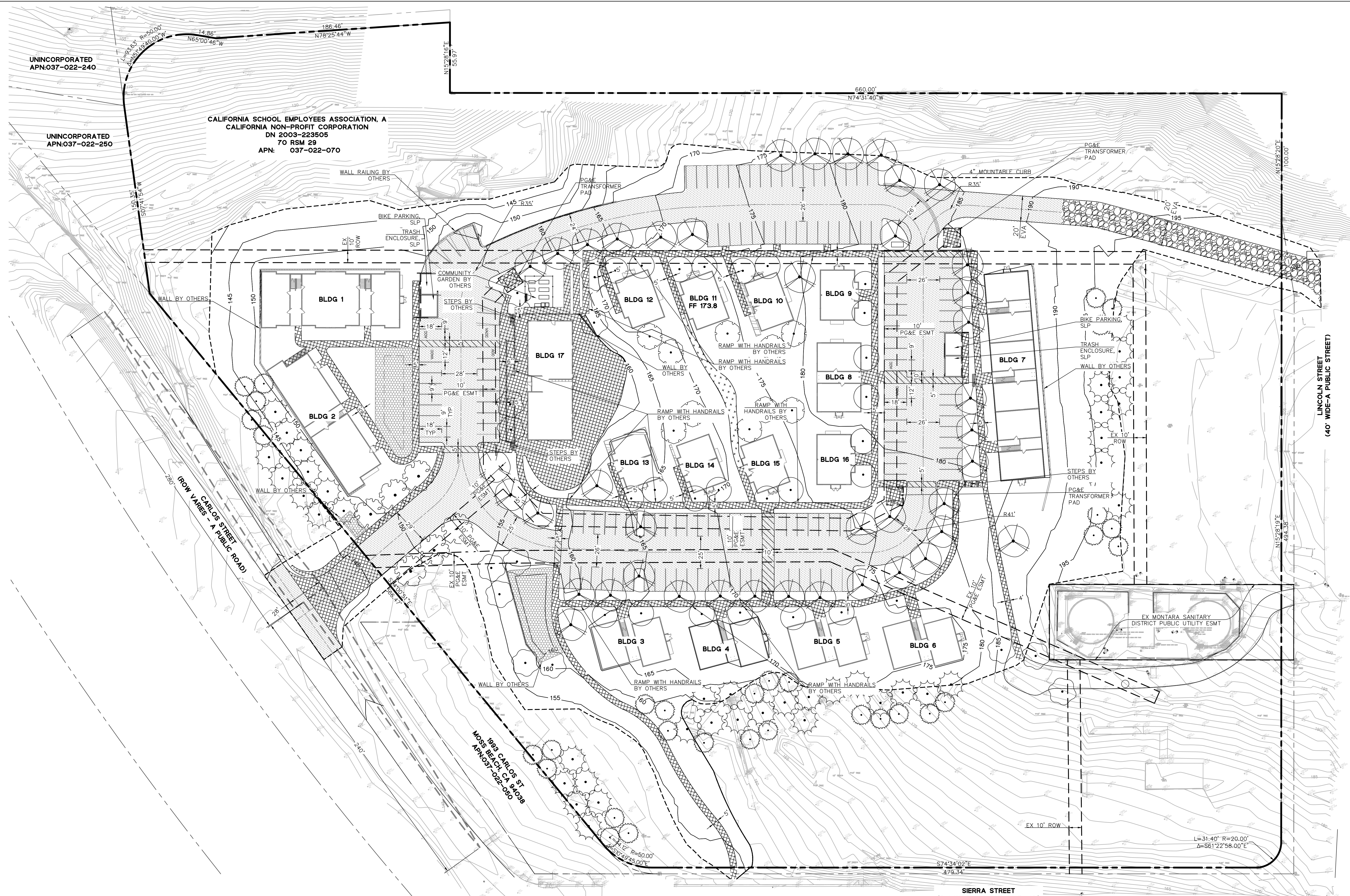
**CYPRESS POINT COASTAL DEVELOPMENT  
PERMIT AND ENTITLEMENTS**  
CARLOS STREET, MOSS BEACH

STAMP:

REVISION SCHEDULE  
NO. | ISSUE | DATE

JOB NUMBER: C20160074  
DRAWN BY: AC/CF  
CHECKED BY: LB  
DATE: 06/24/22  
SCALE: AS SHOWN  
TITLE: SITE PLAN

SHEET:  
**C2.0**  
SHEET 8 OF 35



- NOTES:**
- SEE SHEET C1.0 FOR PROJECT BENCHMARK, BASIS OF BEARINGS AND ABBREVIATIONS.
  - EXISTING UTILITIES AND SITE CONDITIONS SHOWN ON THIS PLAN SET ARE BASED ON AVAILABLE RECORD INFORMATION AND FIELD SURVEY. SHOULD FIELD CONDITIONS DIFFER FROM WHAT IS SHOWN ON THESE PLANS, CONTACT THE OWNER'S REPRESENTATIVE FOR DIRECTION AND CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION ACTIVITIES.
  - LOCATION AND INVERT INFORMATION FOR EXISTING DOMESTIC WATER, FIRE WATER, RECYCLED WATER, SANITARY SEWER, AND STORM DRAIN CONNECTIONS ARE APPROXIMATE AND BASED ON AVAILABLE RECORD INFORMATION. CONFIRM AND VERIFY EXISTING UTILITY TYPE, SIZE, MATERIAL, CONDITION, AND LOCATION, WHETHER SHOWN OR NOT ON THESE PLANS PRIOR TO COMMENCING WORK.
  - NOTIFY UNDERGROUND SERVICE ALERT (USA) AT 1(800) 227-2600 AT LEAST 48 HOURS PRIOR TO COMMENCING WORK.
  - EMERGENCY VEHICLE ACCESS GRAVEL TYPE MUST MEET LOAD REQUIREMENTS FOR TYPICAL COUNTY FIRE TRUCK.

**LEGEND:**

	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	EASEMENT
	SIGHT TRIANGLE
	AC PAVING
	CONCRETE
	BIORETENTION TREATMENT AREA

	DECOMPOSED GRANITE, SLP
	GRAVEL, SLP
	WALL, SLP



LOCATION AND/OR ELEVATION OF EXISTING UTILITIES ARE UNKNOWN. CONTRACTOR SHALL POLOTHOLE AND VERIFY THIS INFORMATION AND NOTIFY THE CIVIL ENGINEER OF ALL CONFLICTS WITH THE DESIGN PRIOR TO START OF CONSTRUCTION.



DRAWING NAME: \\bkr-cv\4\2016\160074\_moss\_beach\_housing\ENR\CDP\Sheets\C2.0 - SITE.dwg  
PLOT DATE: 06-23-22 PLOTTED BY: sgnf



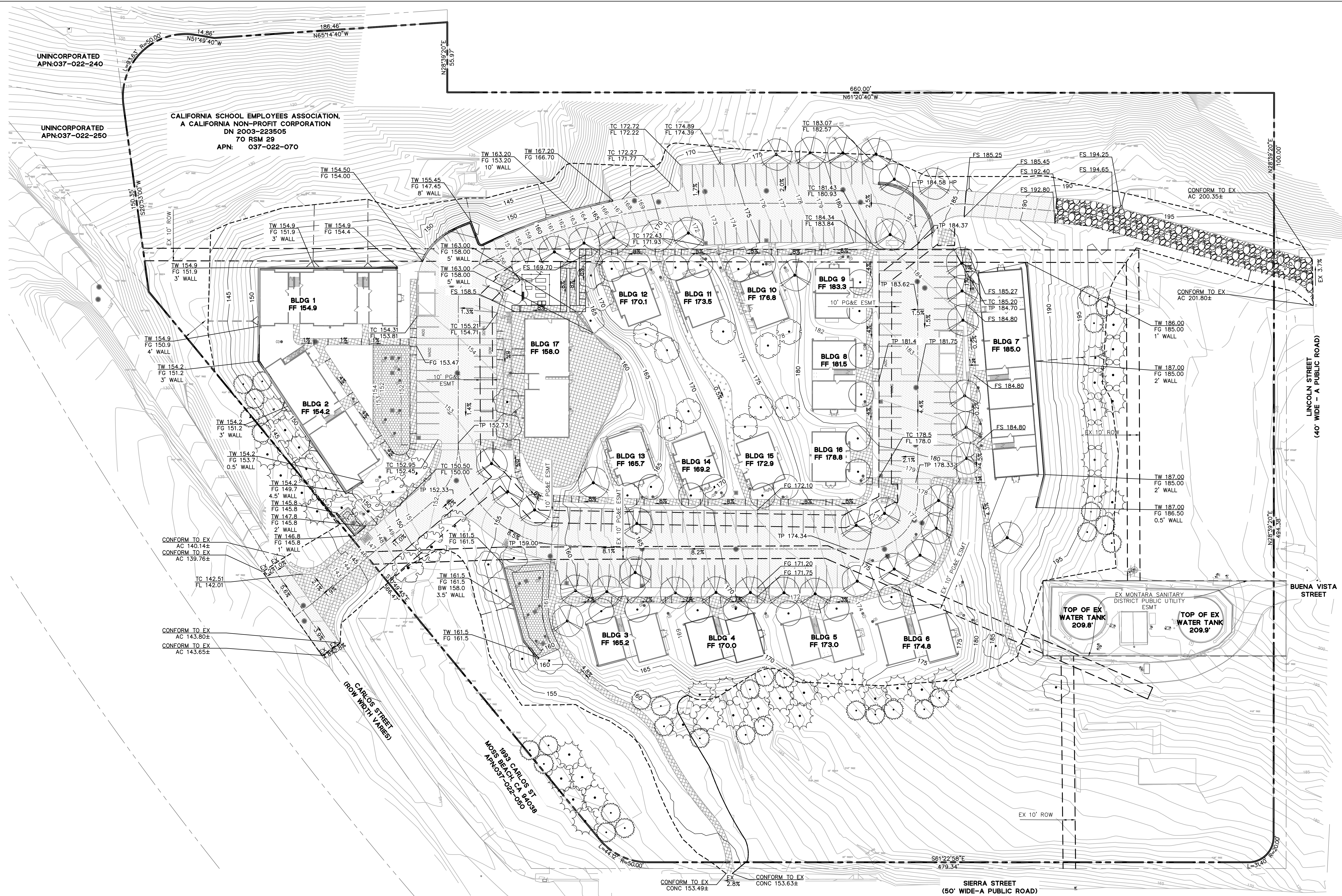
**CYPRESS POINT COASTAL DEVELOPMENT  
PERMIT AND ENTITLEMENTS**  
CARLOS STREET, MOSS BEACH

STAMP:

REVISION SCHEDULE  
NO. ISSUE DATE

JOB NUMBER: C20160074  
DRAWN BY: AC/CF  
CHECKED BY: LB  
DATE: 06/24/22  
SCALE: AS SHOWN  
TITLE: SITE GRADING PLAN

SHEET:  
**C3.0**  
SHEET 9 OF 35



- NOTES:**
- SEE SHEET C1.0 FOR PROJECT BENCHMARK, BASIS OF BEARINGS, AND ABBREVIATIONS.
  - EXISTING UTILITIES AND SITE CONDITIONS SHOWN ON THIS PLAN SET ARE BASED ON AVAILABLE RECORD INFORMATION AND FIELD SURVEY. SHOULD FIELD CONDITIONS DIFFER FROM WHAT IS SHOWN ON THESE PLANS, CONTACT THE OWNER'S REPRESENTATIVE FOR DIRECTION AND CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION ACTIVITIES.
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  - NOTIFY UNDERGROUND SERVICE ALERT (USA) AT 1(800) 227-2600 AT LEAST 48 HOURS PRIOR TO COMMENCING WORK.
  - ANY WORK IN THE PUBLIC RIGHT-OF-WAY MUST BE CONSTRUCTED PER SAN MATEO COUNTY STANDARDS BY A LICENSED CONTRACTOR AND REQUIRED PERMITS SHALL BE OBTAINED FROM THE APPROPRIATE AGENCIES.

**LEGEND:**

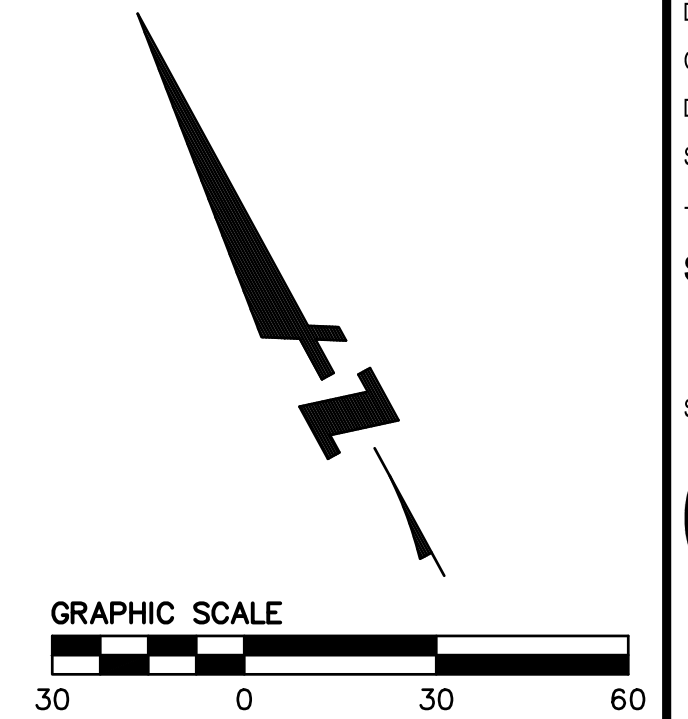
	AC PAVING
	CONCRETE
	BIORETENTION TREATMENT AREA
	DECOMPOSED GRANITE, SLP
	GRAVEL, SLP

**EARTHWORK QUANTITIES**

SITE	EARTHWORK QUANTITIES	
	CUT	FILL
	9,507 CY	19,388 CY
	BALANCE	9,881 CY(FILL)

**811**  
Know what's below.  
Call before you dig.

LOCATION AND/OR ELEVATION OF EXISTING UTILITIES ARE UNKNOWN. CONTRACTOR SHALL POT-HOLE AND VERIFY THIS INFORMATION AND NOTIFY THE CIVIL ENGINEER OF ALL CONFLICTS WITH THE DESIGN PRIOR TO START OF CONSTRUCTION.



DRAWING NAME: \\BKF-c\c\data\2016\160074\_Moss Beach Housing\ENG\CDP\Sheets\C3.0 - GRD.dwg  
PLOT DATE: 06-23-22 PLOTTED BY: soni



**CYPRESS POINT COASTAL DEVELOPMENT  
PERMIT AND ENTITLEMENTS**  
CARLOS STREET, MOSS BEACH

STAMP:

REVISION SCHEDULE  
NO. | ISSUE | DATE

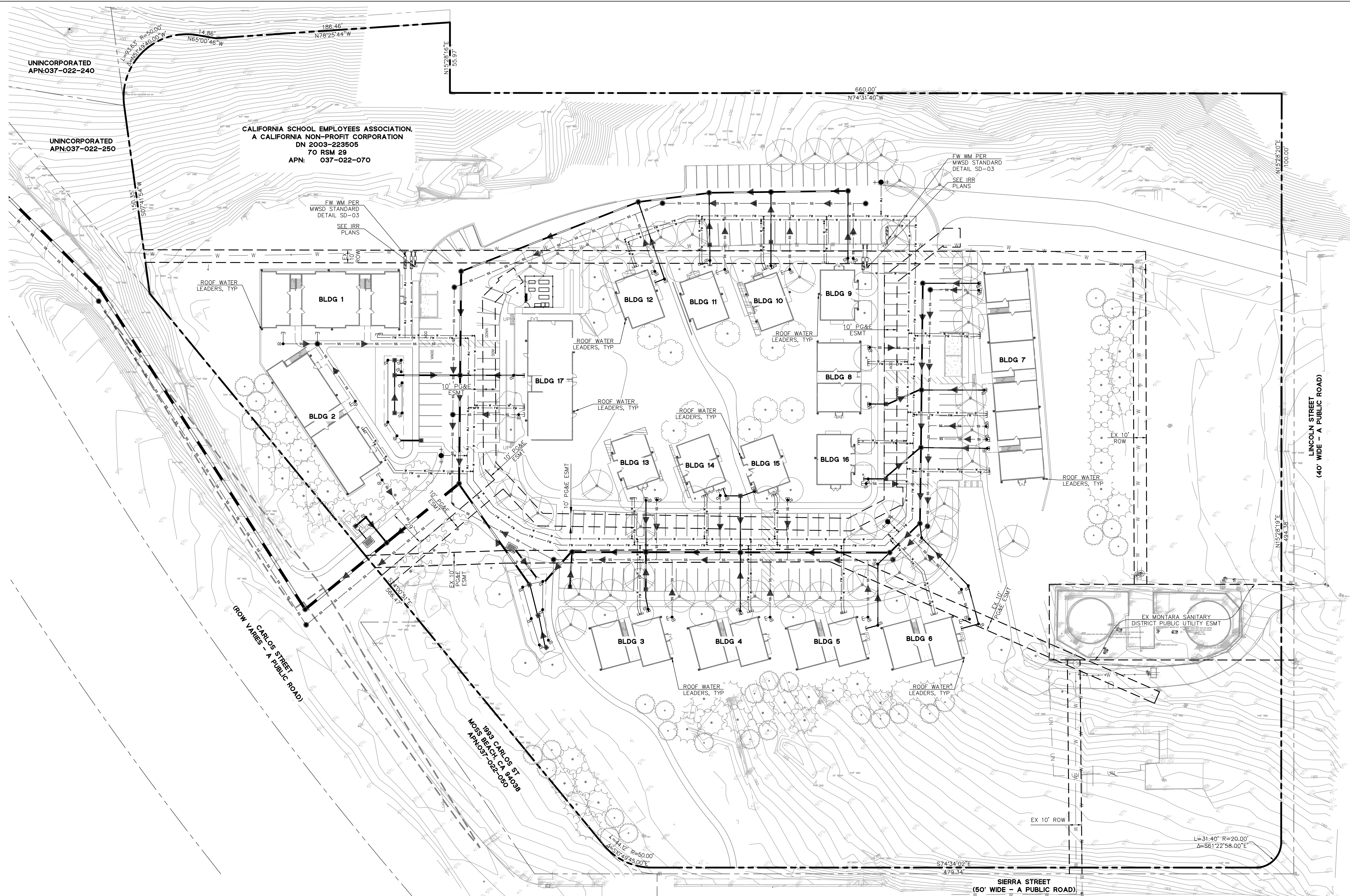
JOB NUMBER: C20160074  
DRAWN BY: AC/CF  
CHECKED BY: LB  
DATE: 06/24/22  
SCALE: AS SHOWN

TITLE:  
PROPOSED UTILITIES

SHEET:

**C4.0**

SHEET 10 OF 35



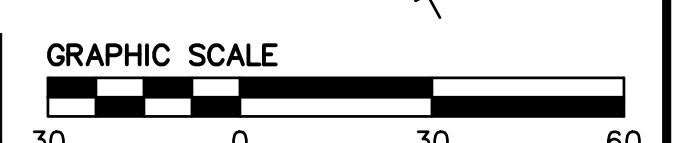
- NOTES:**
- SEE SHEET C1.0 FOR PROJECT BENCHMARK, BASIS OF BEARINGS AND ABBREVIATIONS.
  - EXISTING UTILITIES AND SITE CONDITIONS SHOWN ON THIS PLAN SET ARE BASED ON AVAILABLE RECORD INFORMATION AND FIELD SURVEY. SHOULD FIELD CONDITIONS DIFFER FROM WHAT IS SHOWN ON THESE PLANS, CONTACT THE OWNER'S REPRESENTATIVE FOR DIRECTION AND CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION ACTIVITIES.
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  - NOTIFY UNDERGROUND SERVICE ALERT (USA) AT 1(800) 227-2600 AT LEAST 48 HOURS PRIOR TO COMMENCING WORK.
  - IRRIGATION WATER METER, BACKFLOW PREVENTER AND STUB CONNECTION PROVIDED FOR IRRIGATION CONNECTION. REFER TO IRRIGATION PLANS BY OTHERS.
  - REFER TO MEP PLANS FOR DOMESTIC WATER SUBMETERS FOR BUILDINGS.

**LEGEND:**

	STORM DRAIN LINE		WATER METER
	STORM DRAIN LINE OUTFALL		WATER VALVE
	SANITARY SEWER LINE		BFP/DCDA
	DOMESTIC WATER LINE		
	FIRE WATER LINE		
	FLOW ARROW		
	MANHOLE		
	CLEANOUT		
	STORM DRAIN DROP INLET		
	STORM DRAIN CATCH BASIN		
	FIRE HYDRANT		



LOCATION AND/OR ELEVATION OF EXISTING UTILITIES ARE UNKNOWN. CONTRACTOR SHALL POthOLE AND VERIFY THIS INFORMATION AND NOTIFY THE CIVIL ENGINEER OF ALL CONFLICTS WITH THE DESIGN PRIOR TO START OF CONSTRUCTION.



DRAWING NAME: \\bkr-c\c\data\2016\160074\_Moss Beach Housing\ENG\CDP\Sheets\C4.0 - PRUTILL.dwg  
PLOT DATE: 06-23-22 PLOTTED BY: sgnf



**CYPRESS POINT COASTAL DEVELOPMENT**  
**PERMIT AND ENTITLEMENTS**  
 CARLOS STREET, MOSS BEACH

STAMP:

REVISION SCHEDULE  
 NO. | ISSUE | DATE

JOB NUMBER: C20160074  
 DRAWN BY: AC/CF  
 CHECKED BY: LB  
 DATE: 06/24/22  
 SCALE: AS SHOWN

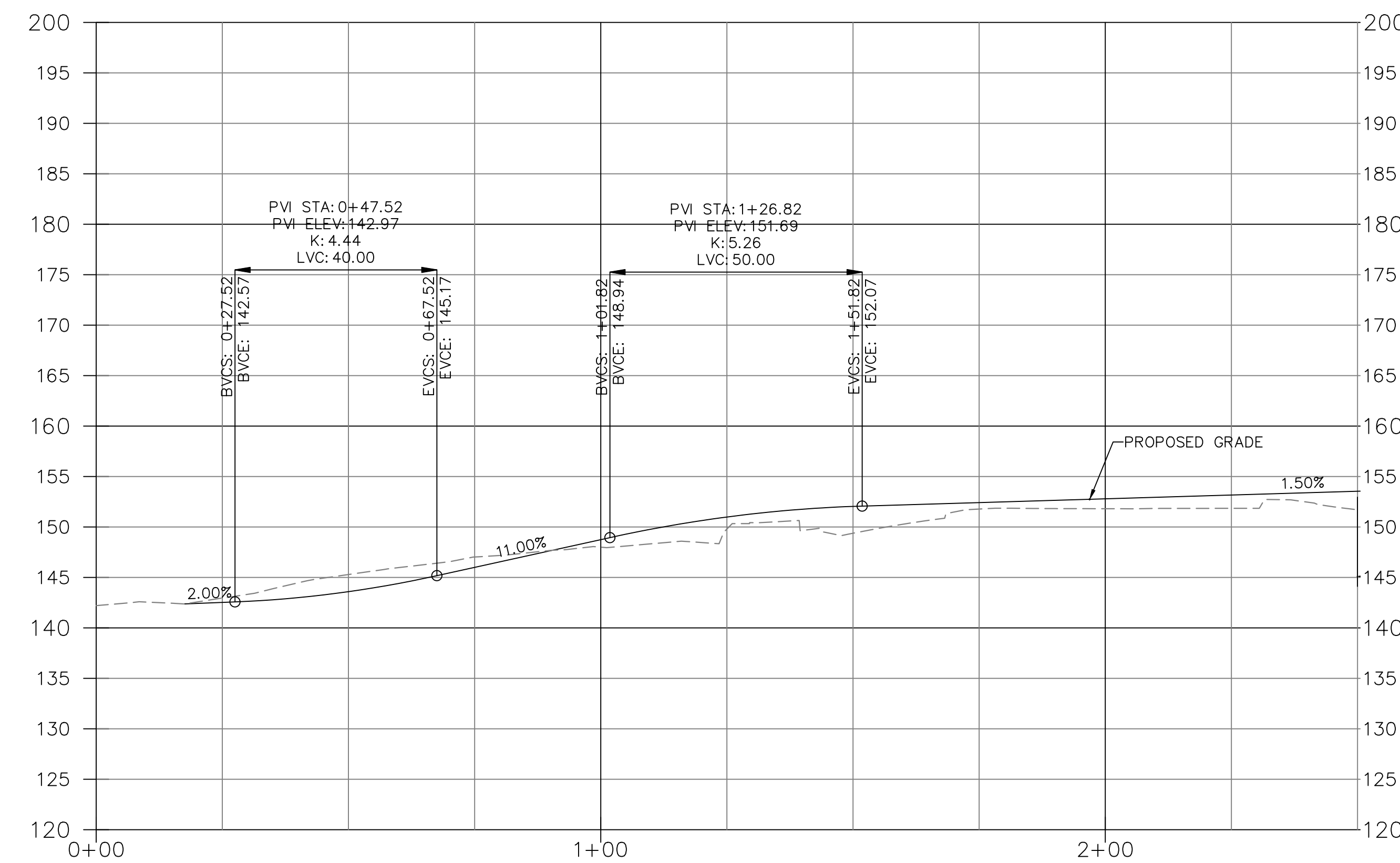
TITLE:  
**DRIVEWAY PLAN AND PROFILE**

SHEET:  
**C5.0**  
 SHEET 11 OF 35



**CYPRESS POINT DRIVE - PLAN VIEW**

SCALE: 1" = 20'



**CYPRESS POINT DRIVE STA: 0+00 TO STA: 6+75**

SCALE: 1" = 20' HORIZ.  
 1" = 10' VERT.



**CYPRESS POINT COASTAL DEVELOPMENT  
PERMIT AND ENTITLEMENTS**  
CARLOS STREET, MOSS BEACH

STAMP:

REVISION SCHEDULE  
NO. ISSUE DATE

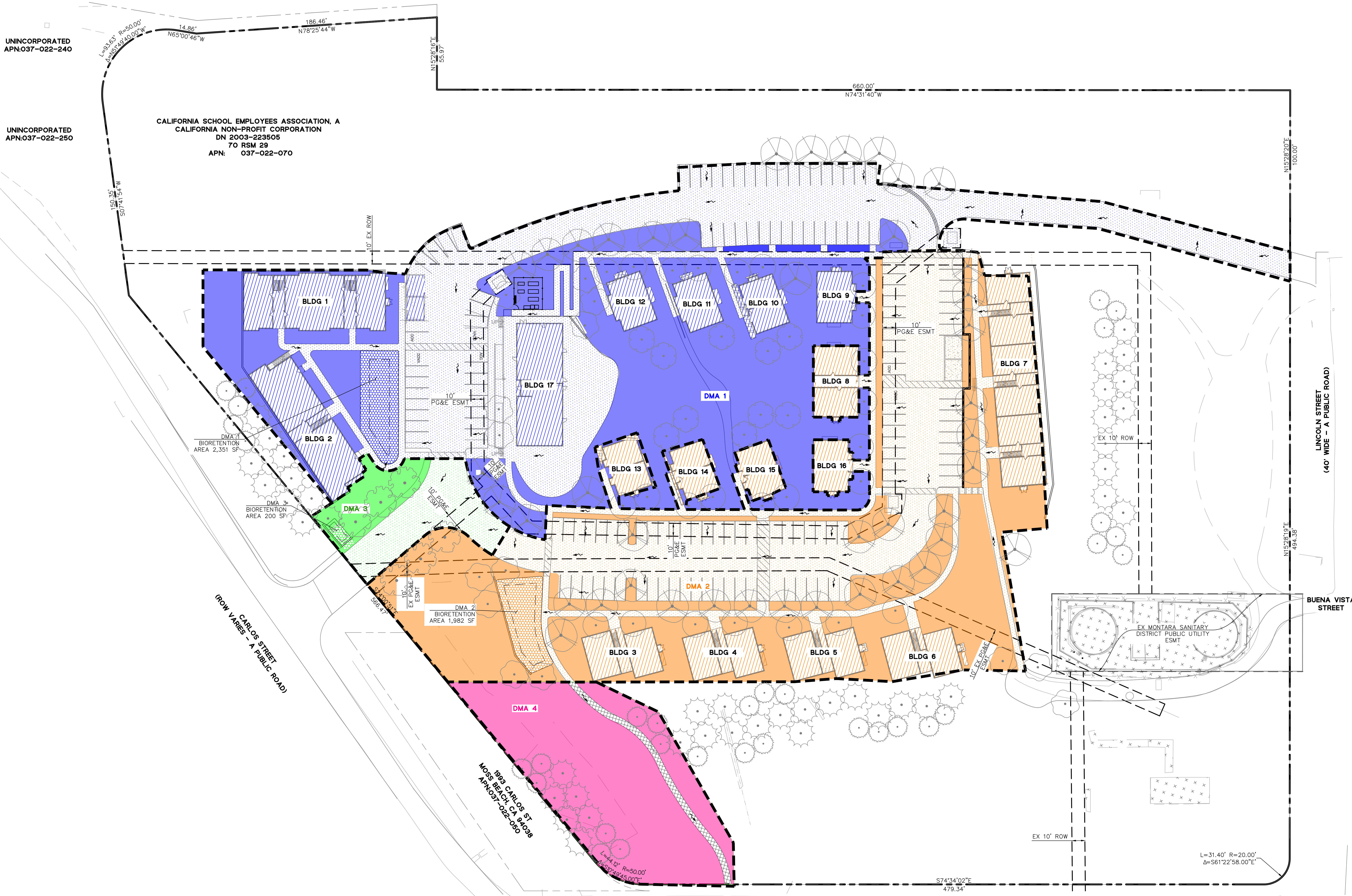
JOB NUMBER: C20160074  
DRAWN BY: AC/CF  
CHECKED BY: LB  
DATE: 06/24/22  
SCALE: AS SHOWN

TITLE:  
**STORMWATER CONTROL PLAN**

SHEET:

**C6.0**

SHEET 12 OF 35



- NOTES:**
- SEE SHEET C1.0 FOR PROJECT BENCHMARK, BASIS OF BEARINGS AND ABBREVIATIONS.
  - EXISTING UTILITIES AND SITE CONDITIONS SHOWN ON THIS PLAN SET ARE BASED ON AVAILABLE RECORD INFORMATION AND FIELD SURVEY. SHOULD FIELD CONDITIONS DIFFER FROM WHAT IS SHOWN ON THESE PLANS, CONTACT THE OWNER'S REPRESENTATIVE FOR DIRECTION AND CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION ACTIVITIES.
  - LOCATION AND INVERT INFORMATION FOR EXISTING DOMESTIC WATER, FIRE WATER, RECYCLED WATER, SANITARY SEWER, AND STORM DRAIN CONNECTIONS ARE APPROXIMATE AND BASED ON AVAILABLE RECORD INFORMATION. CONFIRM AND VERIFY EXISTING UTILITY TYPE, SIZE, MATERIAL, CONDITION, AND LOCATION, WHETHER SHOWN OR NOT ON THESE PLANS, PRIOR TO COMMENCING WORK.
  - NOTIFY UNDERGROUND SERVICE ALERT (USA) AT 1(800) 227-2600 AT LEAST 48 HOURS PRIOR TO COMMENCING WORK.
  - THIS PROJECT IS A C.3 REGULATED PROJECT AS IT CREATES 10,000 SF OR MORE OF IMPERVIOUS SURFACE. STORMWATER TREATMENT WILL BE PROVIDED BY THE BIORETENTION AREAS 1, 2, AND 3.

**LEGEND:**

	LANDSCAPE AREA
	BIORETENTION AREA
	IMPERVIOUS BUILDINGS
	IMPERVIOUS HARDSCAPE
	EXISTING IMPERVIOUS AREA TO REMAIN
	NEW/REPLACED AREA LESS THAN 10-FT WIDE EXEMPT FROM TREATMENT PER SAN MATEO COUNTY C.3 STORMWATER HANDBOOK.
	SURFACE FLOW DIRECTION

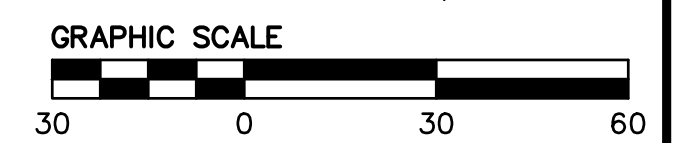
**DRAINAGE MANAGEMENT AREAS**

DRAINAGE MANAGEMENT AREA	TOTAL AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	BIORETENTION AREA REQUIRED (SF)	BIORETENTION AREA PROVIDED (SF)
DMA 1	111,973	64,093	45,529	2,150	2,351
DMA 2	109,233	73,263	33,988	1,950	1,982
DMA 3	8,188	4,902	3,086	161	200
DMA 4	19,652	996	18,656	0	0
TOTAL	249,046	143,254	105,792	4,261	4,533

NOTES:  
1. EXISTING PERVIOUS LANDSCAPE AREAS DISCHARGING DIRECTLY TO MONTARA CREEK WERE EXCLUDED FROM THE BIORETENTION SIZING CALCULATIONS.



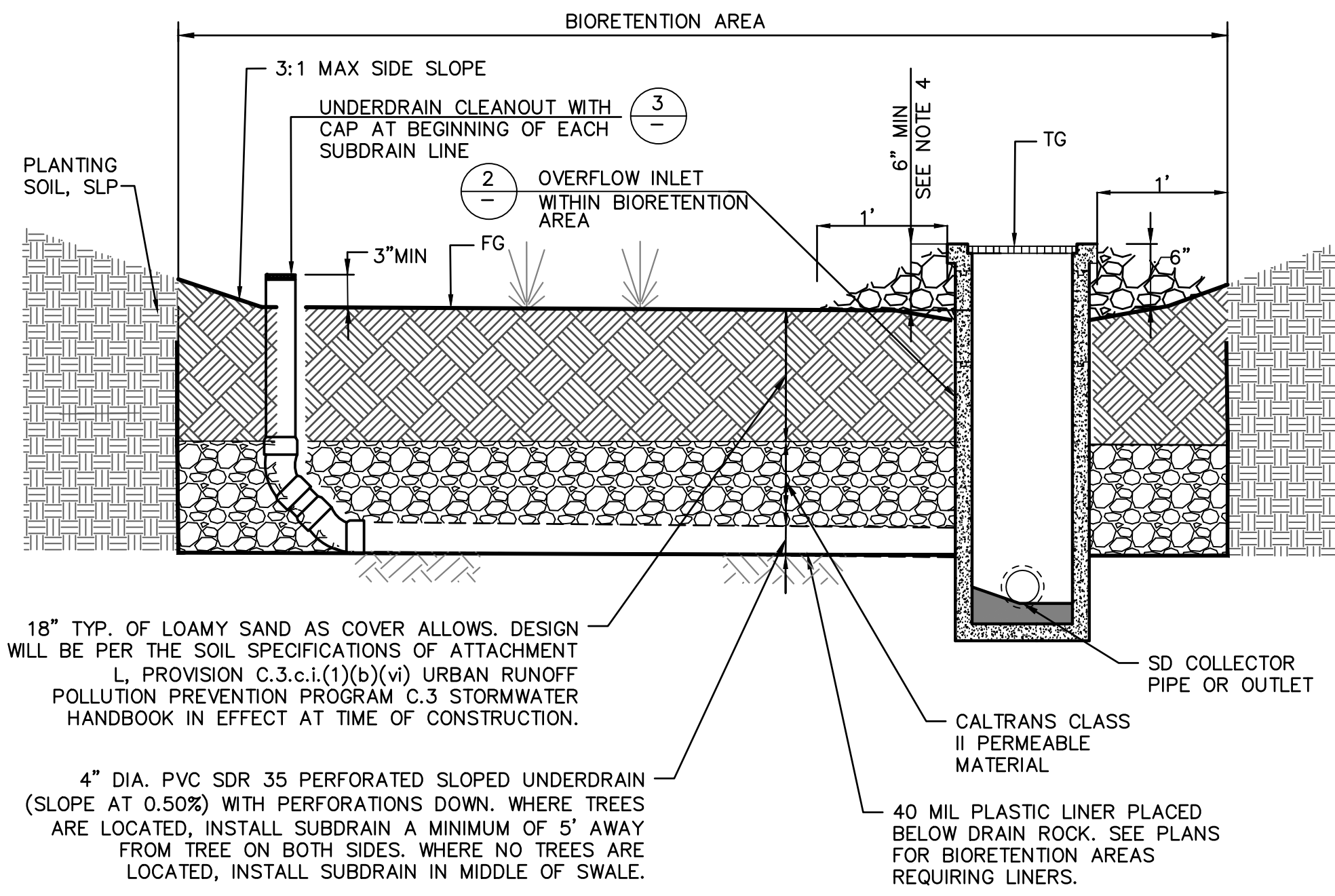
LOCATION AND/OR ELEVATION OF EXISTING UTILITIES ARE UNKNOWN. CONTRACTOR SHALL FOTIHOLE AND VERIFY THIS INFORMATION AND NOTIFY THE CIVIL ENGINEER OF ALL CONFLICTS WITH THE DESIGN PRIOR TO START OF CONSTRUCTION.



DRAWING NAME: \\bkr-cv\4\2016\160074\_moss\_beach\_housing\ENG\CDP\Sheets\C6.0 - SWCP.dwg  
PLOT DATE: 06-23-22 PLOTTED BY: s0nt

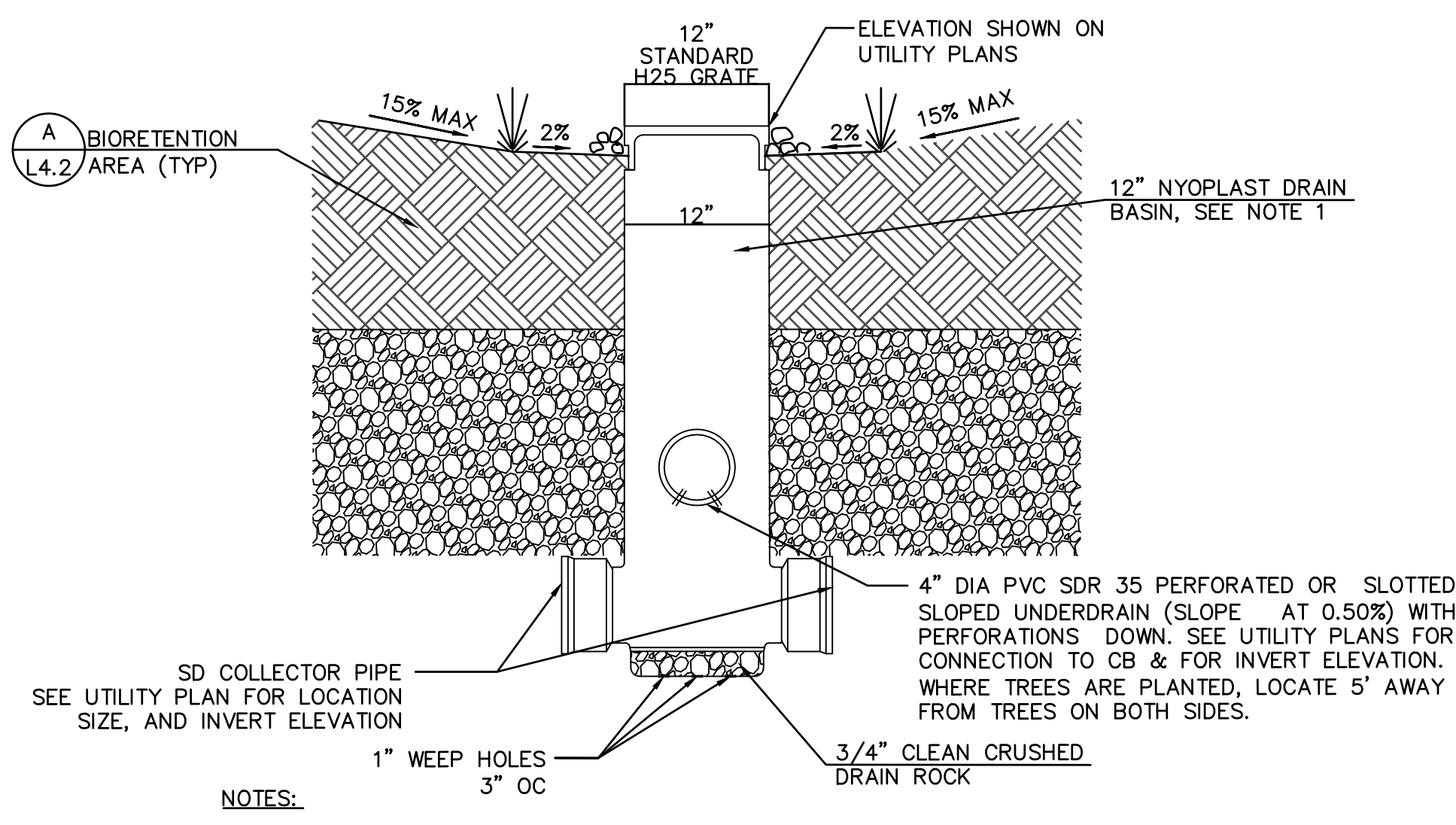


**CYPRESS POINT COASTAL DEVELOPMENT  
PERMIT AND ENTITLEMENTS**  
CARLOS STREET, MOSS BEACH



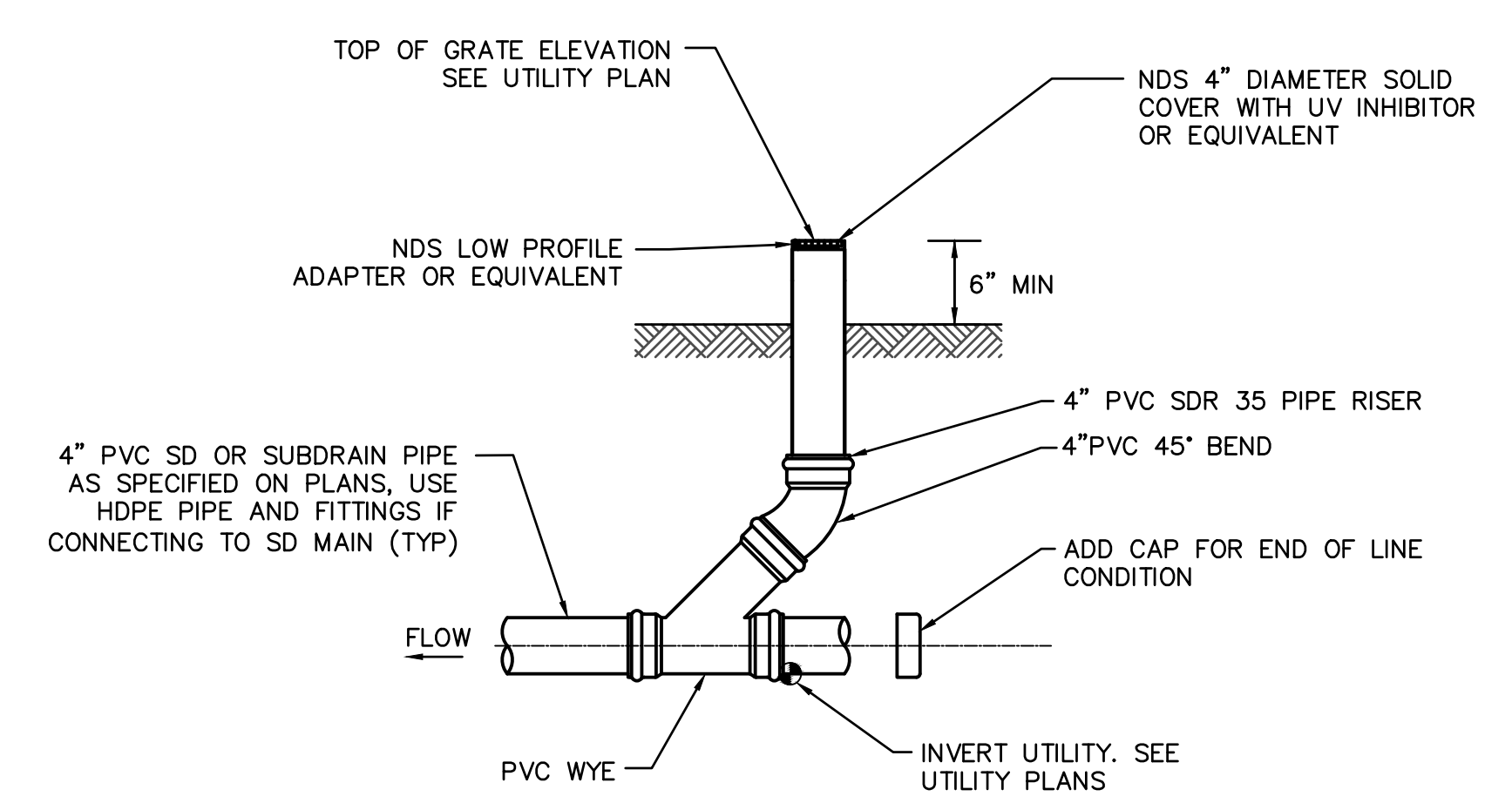
- NOTES:**
- SEE GRADING PLANS FOR FINISH GRADE OF BIORETENTION AREAS.
  - SEE LANDSCAPE PLANS & SPECIFICATIONS FOR PLANTING MATERIALS WITHIN BIORETENTION AREAS.
  - ALL BIORETENTION SOILS USED, SHALL BE PER ATTACHMENT L PROVISION C.3.e.i.(1)(b)(vi) OF THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM C.3 HANDBOOK IN EFFECT AT TIME OF CONSTRUCTION.
  - PLACE COBBLE FLUSH WITH CHANNEL SURFACE AROUND ALL STRUCTURES WITHIN BIORETENTION AREA (DRAINAGE BUBBLERS, OVERFLOW DRAINS, SIGNS, LIGHT POSTS, IRRIGATION BOXES, ETC.), EXTENDING 12" TYPICAL FROM EDGE OF STRUCTURE. SEE LANDSCAPE PLANS FOR COBBLE SIZE AND COLOR.

**1**  
—  
—  
**BIORETENTION AREA**  
NTS

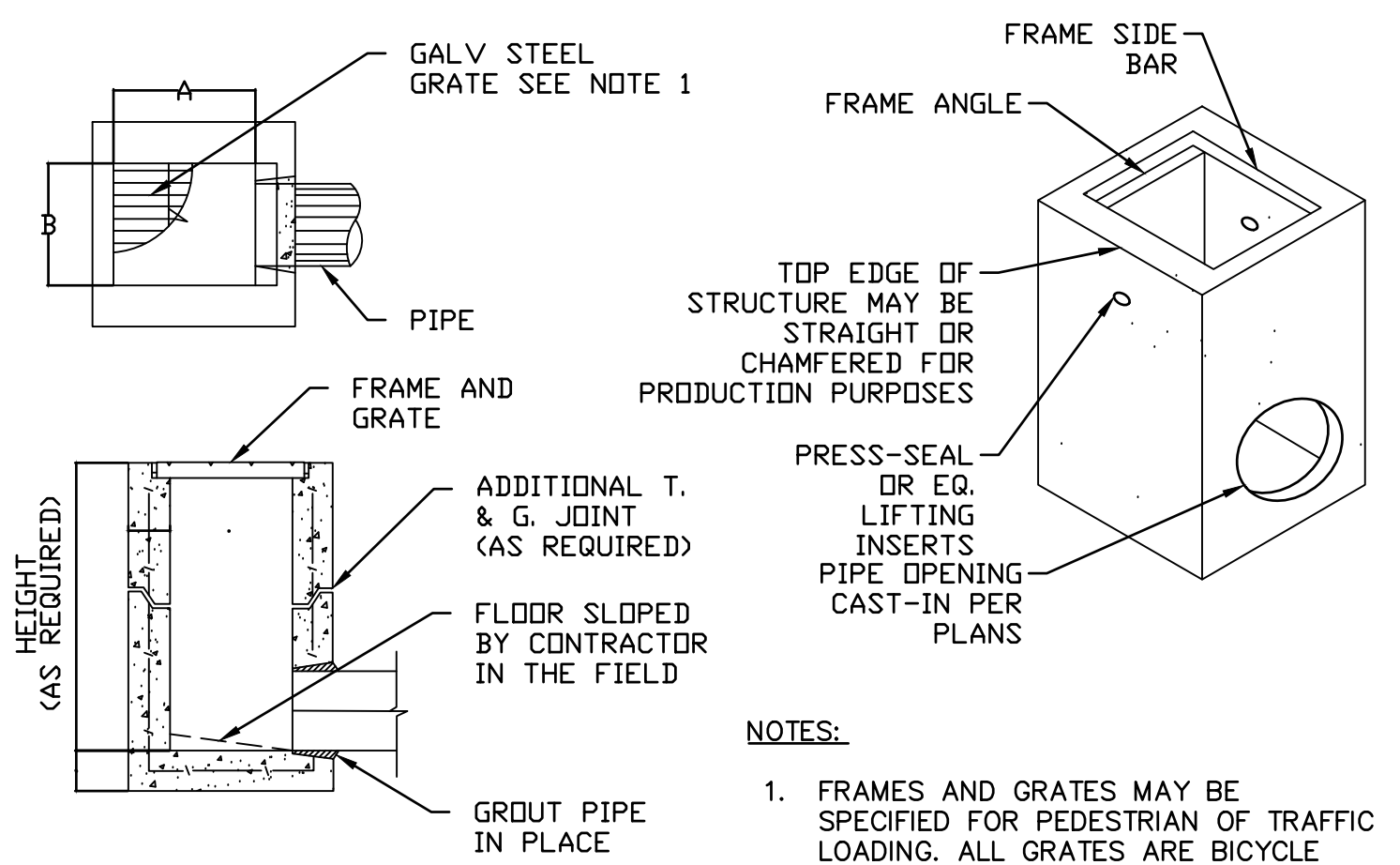


- NOTES:**
- OVERFLOW INLET LOCATED IN BIORETENTION AREA SHALL BE 12 INCH NYOPLAST ADS DRAIN BASIN WITH AN 12 INCH CIRCULAR STANDARD H-25 GRATE. PAINT STRUCTURE BLACK.

**2**  
—  
—  
**OVERFLOW INLET WITH BIORETENTION AREA**  
NTS



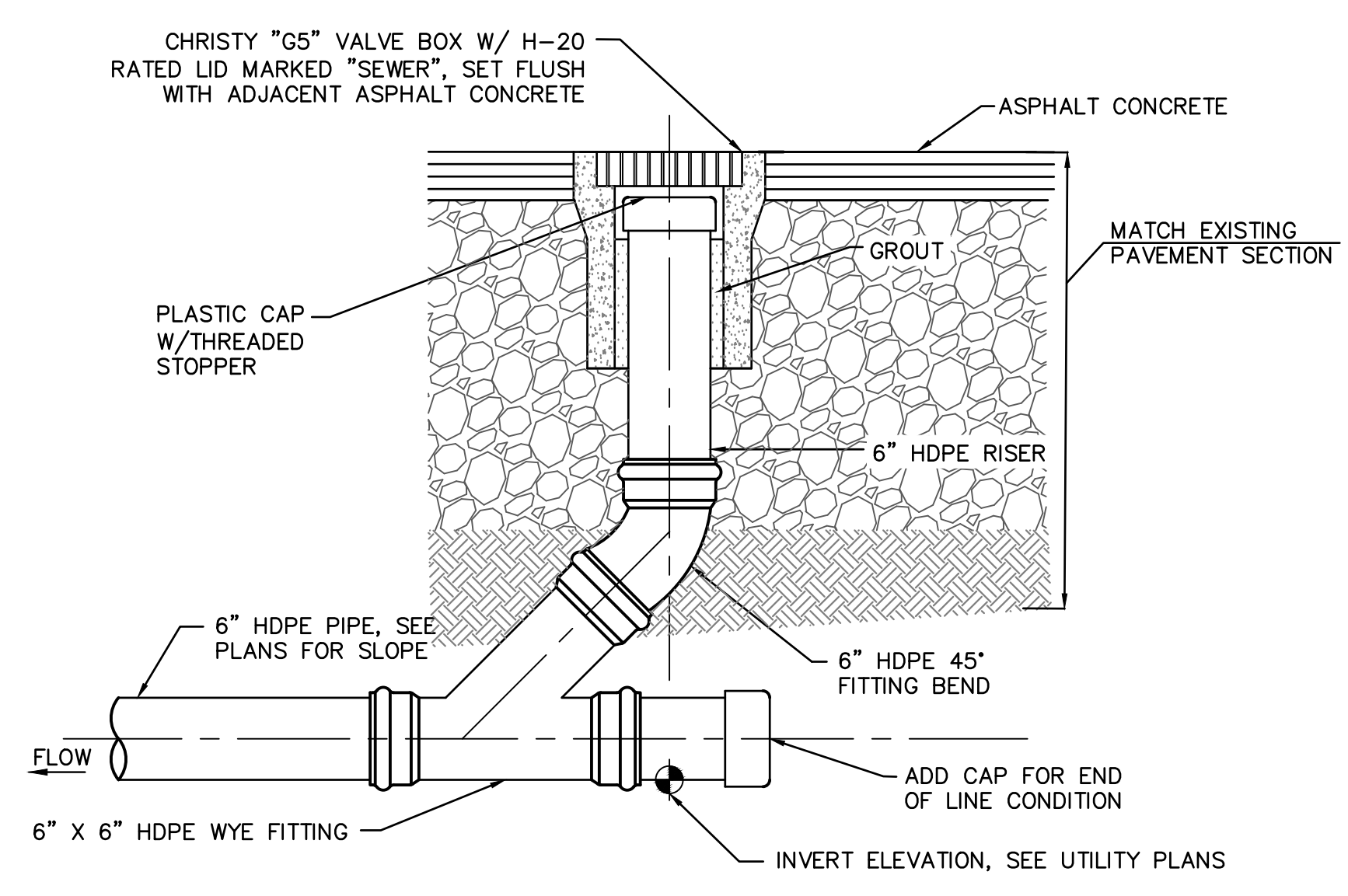
**3**  
—  
—  
**STORM DRAIN CLEANOUT**  
NTS



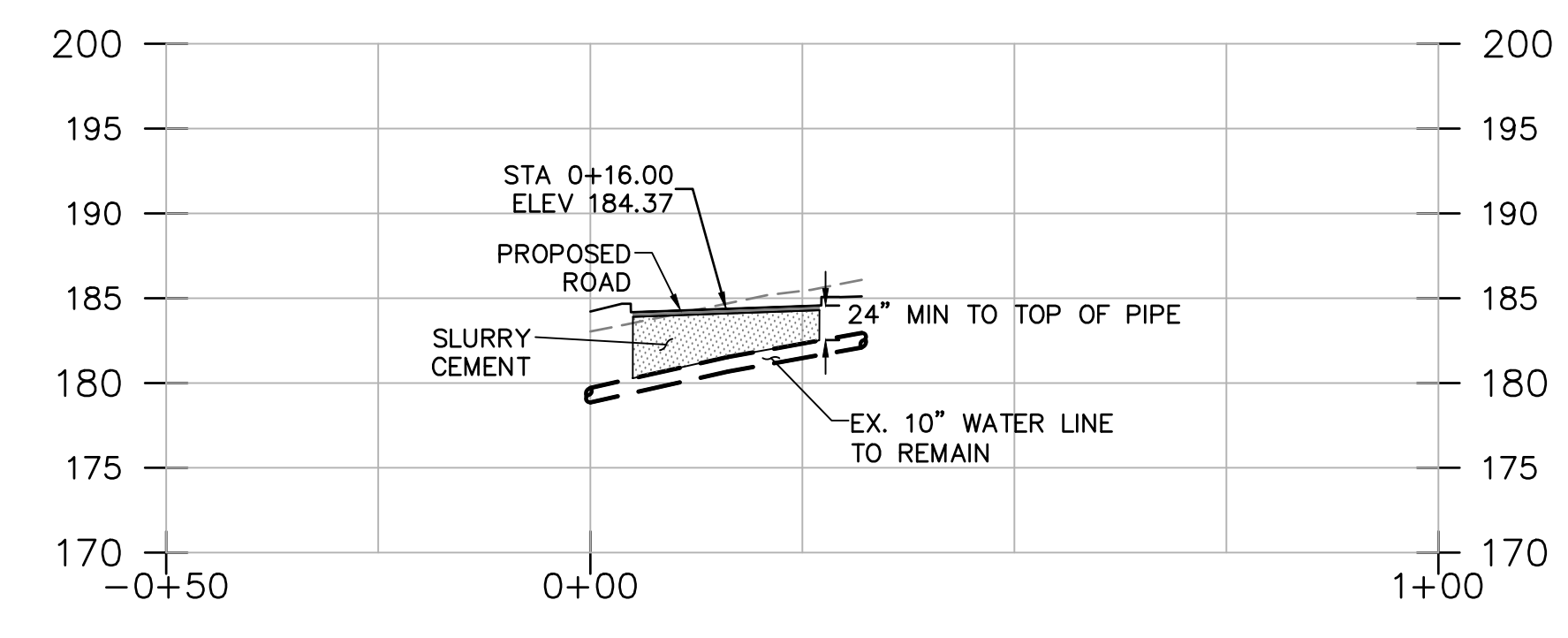
- NOTES:**
- FRAMES AND GRATES MAY BE SPECIFIED FOR PEDESTRIAN OR TRAFFIC LOADING. ALL GRATES ARE BICYCLE PROOF.
  - 18" WIDE DI'S REPLACE THE OLD 16" WIDE BOX BK & 1K'.

USCPG MODEL No.	SANTA ROSA REF.	A	B	C
		IN	MM	IN
CB1212	EK	12	300	12 300
CB1818	CK	18	450	18 450 5 125
CB1824	IK	18	450	24 600 5 125
CB2424	2K	24	600	24 600 5 125
CB2430	3K	24	600	30 750 5 125
CB3030	5K	30	750	30 750 6 150
CB2436	1L	24	600	36 900 6 150
CB3636	1M	36	900	36 900 6 150
CB2448	3L	24	600	48 1200 6 150
CB3648	3M	36	900	48 1200 6 150
CB4848	1R	48	1200	48 1200 6 150

**4**  
—  
—  
**STORM DRAIN DROP INLET/JUNCTION BOX**  
NTS



**5**  
—  
—  
**SANITARY SEWER CLEANOUT WITH TRAFFIC RATED LID**  
NTS



**6**  
—  
—  
**EX SHALLOW WATER LINE ROAD CROSSING**  
SCALE: 1"=20' HORIZ.  
1"=10' VERT.

DRAWING NAME: \\bkr-cv\4\2018\160074\_moss\_beach\_housing\ENG\CDP\Sheets\C7.0 - DETAILS.dwg  
PLOT DATE: 06-23-22 PLOTTED BY: sonf

STAMP:

REVISION SCHEDULE  
NO. | ISSUE | DATE

JOB NUMBER: C20160074  
DRAWN BY: AC/CF  
CHECKED BY: LB  
DATE: 06/24/22  
SCALE: AS SHOWN

TITLE:  
**CONSTRUCTION DETAILS**

SHEET:  
**C7.0**  
SHEET 13 OF 35



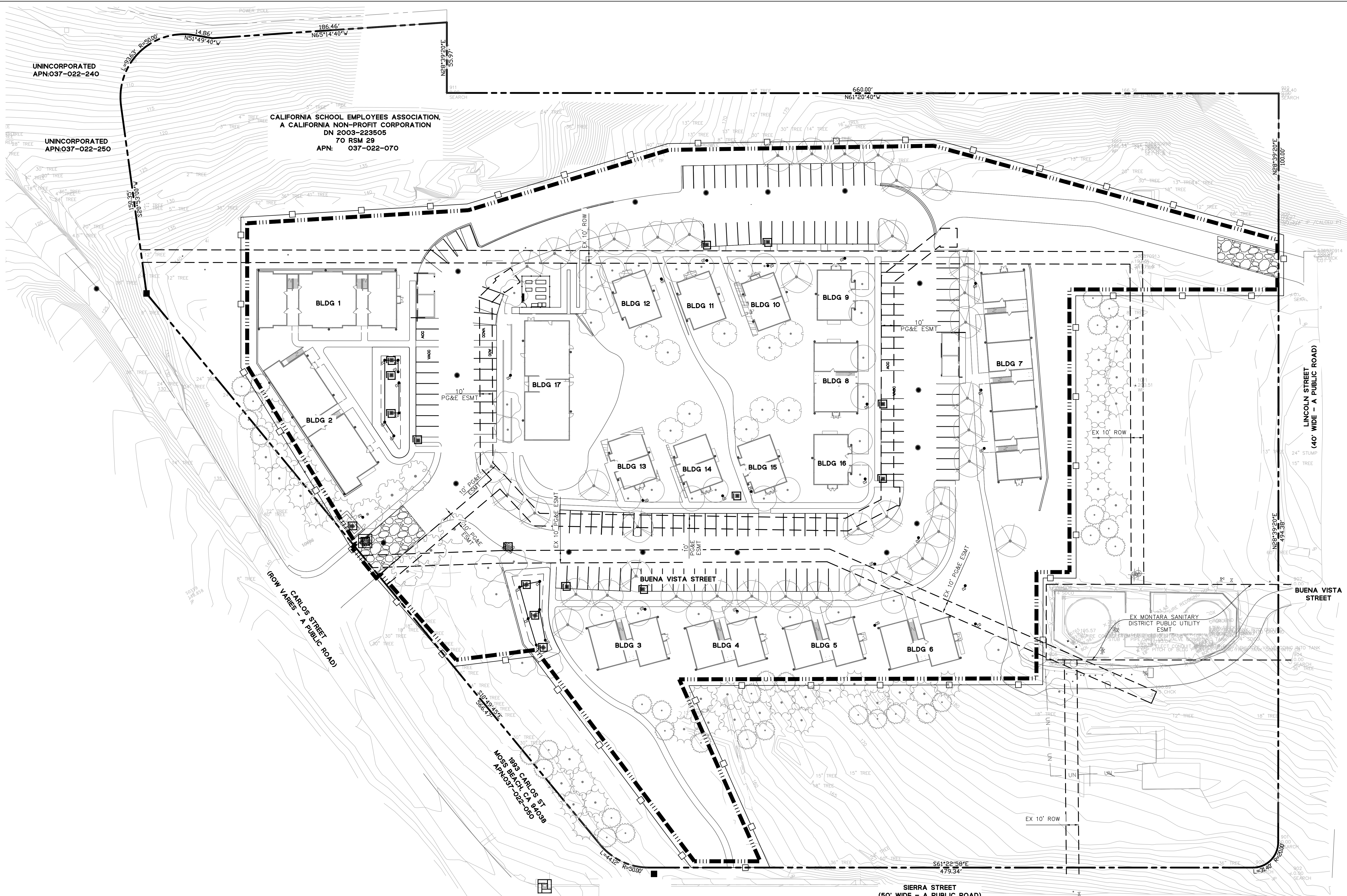
**CYPRESS POINT COASTAL DEVELOPMENT  
PERMIT AND ENTITLEMENTS**  
CARLOS STREET, MOSS BEACH

STAMP:

REVISION SCHEDULE  
NO. | ISSUE | DATE

JOB NUMBER: C20160074  
DRAWN BY: AC/CF  
CHECKED BY: LB  
DATE: 06/24/22  
SCALE: AS SHOWN  
TITLE: EROSION CONTROL PLAN

SHEET:  
**C8.0**  
SHEET 14 OF 35

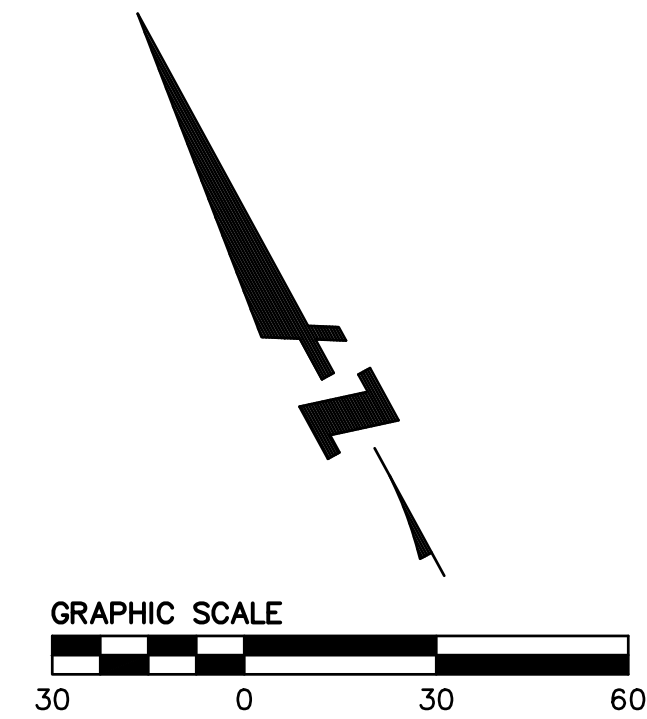


- NOTES:**
- SEE SHEET C1.0 FOR PROJECT BENCHMARK AND BASIS OF BEARINGS AND ABBREVIATIONS.
  - EXISTING UTILITIES AND SITE CONDITIONS SHOWN ON THIS PLAN SET ARE BASED ON AVAILABLE RECORD INFORMATION AND FIELD SURVEY. SHOULD FIELD CONDITIONS DIFFER FROM WHAT IS SHOWN ON THESE PLANS, CONTACT THE OWNER'S REPRESENTATIVE FOR DIRECTION AND CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION ACTIVITIES.
  - LOCATION AND INVERT INFORMATION FOR EXISTING DOMESTIC WATER, FIRE WATER, RECYCLED WATER, SANITARY SEWER, AND STORM DRAIN CONNECTIONS ARE APPROXIMATE AND BASED ON AVAILABLE RECORD INFORMATION. CONFIRM AND VERIFY EXISTING UTILITY TYPE, SIZE, MATERIAL, CONDITION, AND LOCATION, WHETHER SHOWN OR NOT ON THESE PLANS, PRIOR TO COMMENCING WORK.
  - NOTIFY UNDERGROUND SERVICE ALERT (USA) AT 1(800) 227-2600 AT LEAST 48 HOURS PRIOR TO COMMENCING WORK.

- LEGEND:**
- CATCH BASIN INLET PROTECTION, SEE DETAIL 2 ON SHEET C8.1
  - DROP INLET PROTECTION, SEE DETAIL 3 ON SHEET C8.1
  - STABILIZED CONSTRUCTION ENTRANCE, PER DETAIL 4 ON SHEET C8.1
  - CONSTRUCTION FENCE
  - FIBER ROLL PER DETAIL 1 ON SHEET C8.1

**811**  
Know what's below.  
Call before you dig.

LOCATION AND/OR ELEVATION OF EXISTING UTILITIES ARE UNKNOWN. CONTRACTOR SHALL FOTI HOLE AND VERIFY THIS INFORMATION AND NOTIFY THE CIVIL ENGINEER OF ALL CONFLICTS WITH THE DESIGN PRIOR TO START OF CONSTRUCTION.



DRAWING NAME: \\bky-cv\4\2016\160074\_moss\_beach\_housing\ENG\CDP\Sheets\C8.0 - EC.dwg  
PLOT DATE: 06-23-22 PLOTTED BY: son1



**CYPRESS POINT COASTAL DEVELOPMENT  
PERMIT AND ENTITLEMENTS**  
CARLOS STREET, MOSS BEACH

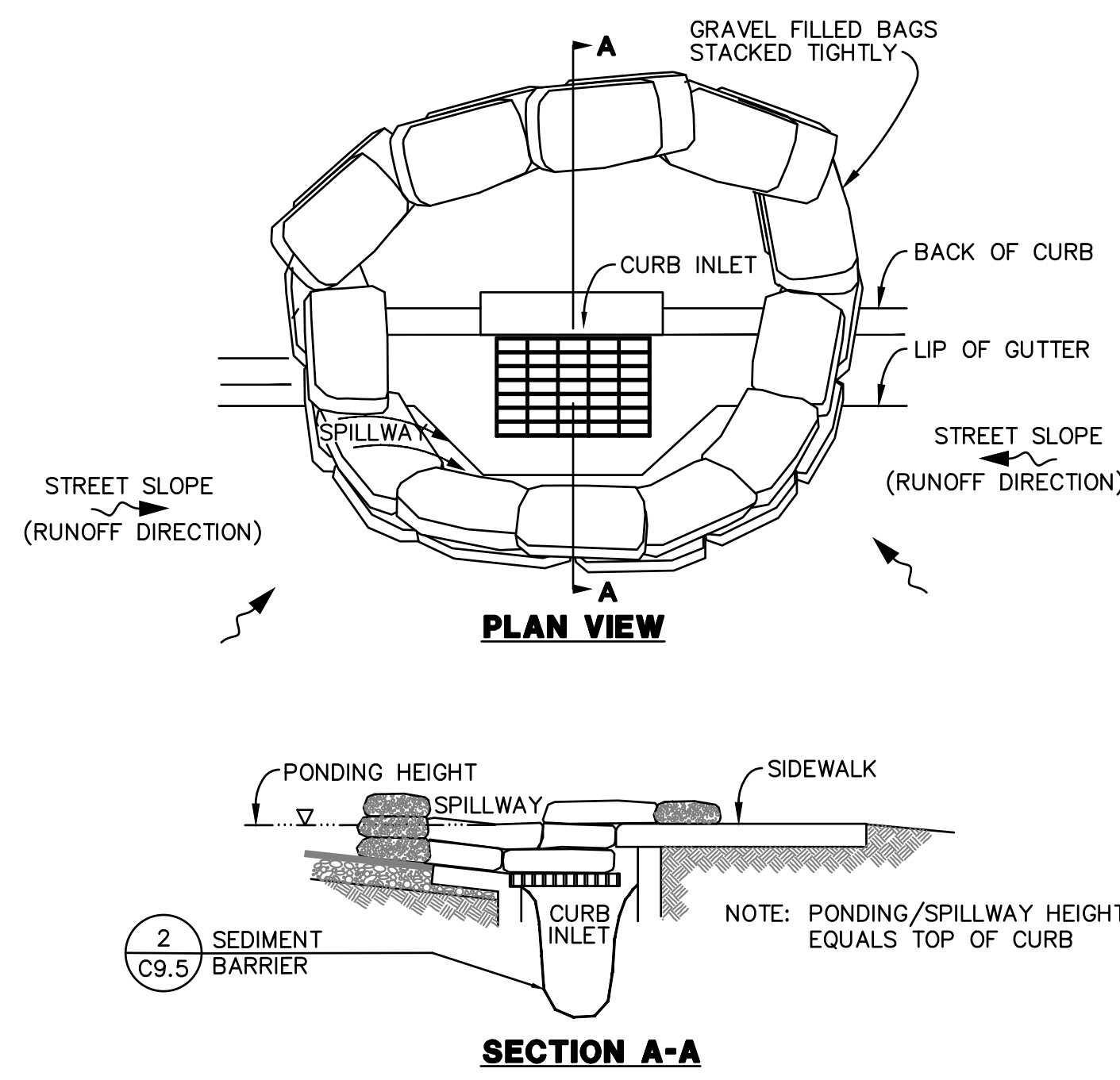
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REVISION SCHEDULE  
NO. ISSUE DATE

JOB NUMBER: C20160074  
DRAWN BY: AC/CF  
CHECKED BY: LB  
DATE: 06/24/22  
SCALE: AS SHOWN

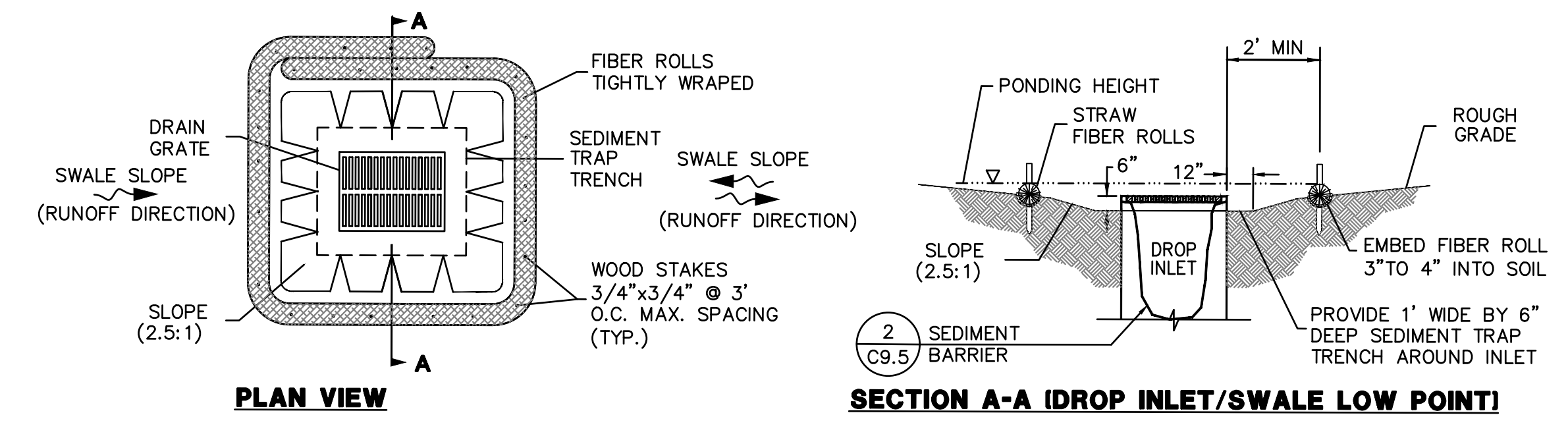
TITLE:  
**EROSION CONTROL DETAILS**

SHEET:  
**C8.1**  
SHEET 15 OF 35



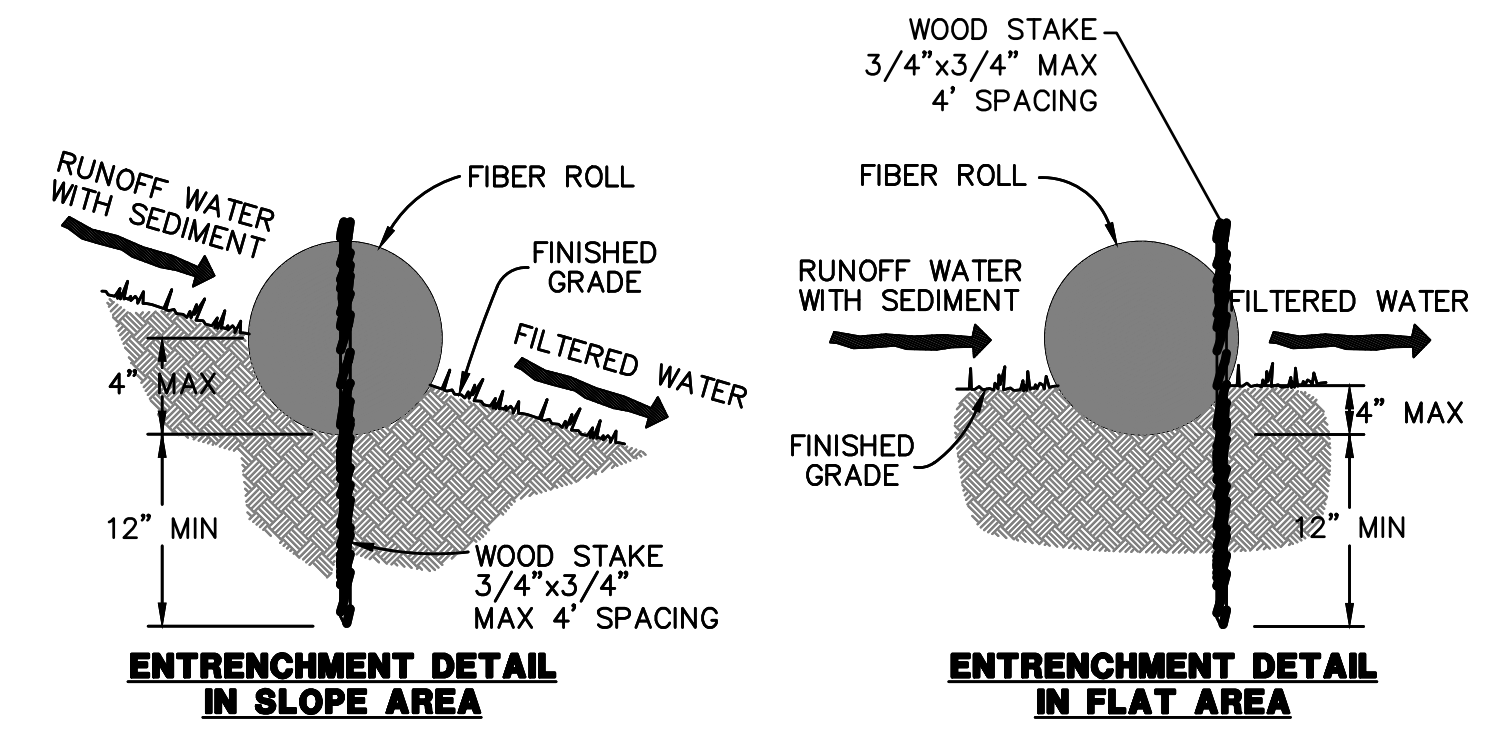
- NOTES:**
1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREETS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
  2. PERVIOUS BAGS OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
  3. LEAVE ONE BAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY OVERFLOW. TOP OF SPILLWAY SHALL BE LOWER THAN TOP OF CURB.
  4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

**2** CATCH BASIN INLET PROTECTION  
NTS



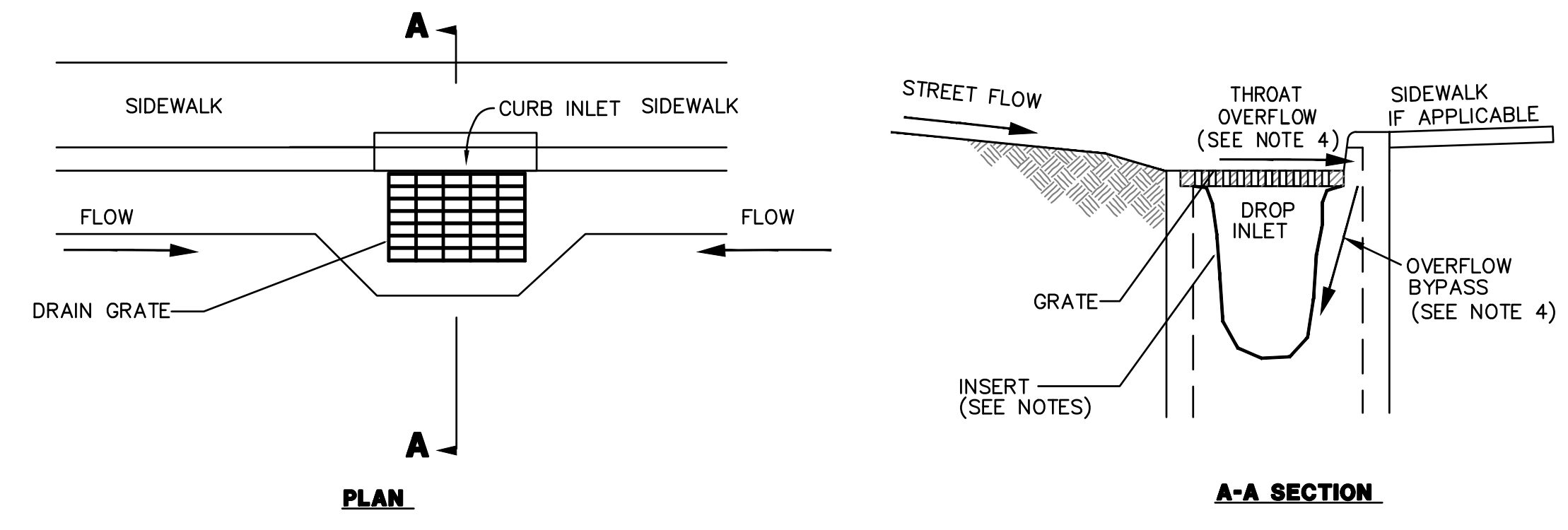
- NOTES:**
1. PLACE FIBER ROLLS AROUND THE INLET CONSISTENT WITH DROP INLET GRAVEL BAG PROTECTION AND CURB INLET GRAVEL BAG PROTECTION DETAILS SHOWN ON THIS SHEET. ROLLS ARE TUBES MADE FROM STRAW BOUND W/ PLASTIC NETTING, APPROX. 8" DIAMETER AND 20 TO 30 FEET LONG.
  2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 3" - 4" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.
  3. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.
  4. TEMPORARY REMOVABLE TRASH RACK: IF SITE CONDITIONS WARRANT, PROVIDE AND INSTALL TRASH RACK MADE FROM GALVANIZED WELDED WIRE FABRIC WITH OPENING SIZE 2" BY 2" FORMED AND ATTACHED TO THE INLET TOP GRATE WITH STEEL WIRE TIES AND BURRY WELDED WIRE FABRIC 4" MINIMUM BELOW TEMPORARY ROUGH GRADE GROUND ELEVATION.

**3** DROP INLET PROTECTION  
NTS



- NOTES:**
1. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3" TO 4" DEEP, DUG ON CONTOUR.
  2. ADJACENT ROLLS SHALL TIGHTLY ABUT.
  3. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.

**1** FIBER ROLL  
NTS



- NOTES:**
1. PROVIDE APPROVED CATCH BASIN INSERT FILTER BAG. CONTRACTOR SHALL INSTALL AND MAINTAIN FILTER BAG IN A MANNER THAT STORM DRAINAGE SYSTEM FLOWS ARE NOT OBSTRUCTED AND/OR IMPEDED.
  2. INSPECT INLET PROTECTION DEVICE BEFORE AND AFTER RAIN EVENTS, AND WEEKLY THROUGHOUT THE RAINY SEASON. DURING EXTENDED RAIN EVENTS, INSPECT AT LEAST ONCE EVERY 24 HOURS.
  3. REMOVE AND PROPERLY DISPOSE OF ACCUMULATED SILT AND DEBRIS TO ALLOW FOR PROPER FUNCTION OF DEVICE.
  4. CONTRACTOR SHALL PROVIDE, INSPECT AND MAINTAIN INLET THROAT OVERFLOW RELIEF FOR ALL OFF-SITE AND ON-SITE INLETS AT ALL TIMES.

**5** INLET SEDIMENT BARRIER  
NTS

**FODS TRACKOUT SOLUTION**  
**TRACKOUT CONTROL MAT**  
Technical Data Sheet

**GENERAL INFORMATION**

The FODS Composite trackout control system is designed to be used as a temporary construction entrance which provides site access while minimizing sediment leaving the site. The top surface of the FODS mat is a geometric pattern formed in the shape of pyramids. The mats are unidirectional and are meant to have the staggered pyramids in the direction of travel. Individual mats are connected together with hardware to form various configurations to fit your jobsite.

- Mat Size: 12'(w) x 7' (l) x 3.94" (t) (2.78" pyramid height)
- Mat Weight: 430lbs
- Pallet Size: 8-Mats
- Truck-Load: 96-Mats
- Hardware boxes are contained within the palletized mats

**FEATURES & BENEFITS**

- Re-Usable
- Increased Effectiveness at Reducing Site Trackout
- UV Stable
- Highly Visible
- Easy to Clean
- Economical
- Recyclable / Reduces Waste
- Extreme Durability
- Rapid Installation & Removal
- Excavation not required
- Chemical Resistant
- Rock-Resistant
- Reduces Waste
- Easy and efficient to transport from site-site

**TYPICAL INSTALLATION LAYOUTS**

Each site must be evaluated to determine the proper layout, width, and duration of the FODS Trackout Control System (FTCS) based site conditions, entry and exit egress, traffic levels, site soil conditions, and ability to the maintain trackout system. Outlined below are a number of common layouts, the mats are unidirectional and due to the versatility of the mats design the FTCS can be engineered to fit the needs of any site.

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**4** STABILIZED CONSTRUCTION ENTRANCE/EXIT  
NTS

**FODS Trackout Control Mat - Technical Data Sheet**

**COMMON USERS**

- Heavy Civil Construction
- Urban Construction / Urban In-Fill
- Bridge & Highway Projects
- Residential Construction
- Land Development
- Forestry
- Energy Exploration
- Oil & Gas Pipeline
- Electrical Power-line
- Temporary Event Access
- Landfill & Waste Management
- Mining

**SUITABLE INSTALLATION SUBSTRATE**

- Un-Excavated Soil
- Excavated Soil (Min CBR: 4)
- Asphalt
- Concrete

FODS Trackout Control System should be installed near the site exit point, as close to the location where vehicles enter the roadway as is safely as possible. FODS mats should not be installed at a low point on the site where water will pool.

**FODS ANCHORING SYSTEMS**

- Form-Stakes (8" or 24")
- Cable Earth Anchor
- All-Thread Earth Anchor
- Concrete Sleeve Anchor (asphalt)

**CLEANING / MAINTENANCE**

Mats should be cleaned once 2.5" of sediment has built up in the lane of travel.

- Sled-steer broom attachment
- FODS Shovel
- Street Sweeper (requires adjusted bristle head)
- Pressure Washer (must have ability to contain water)
- Water Truck (must have ability to contain water)

**WARNINGS**

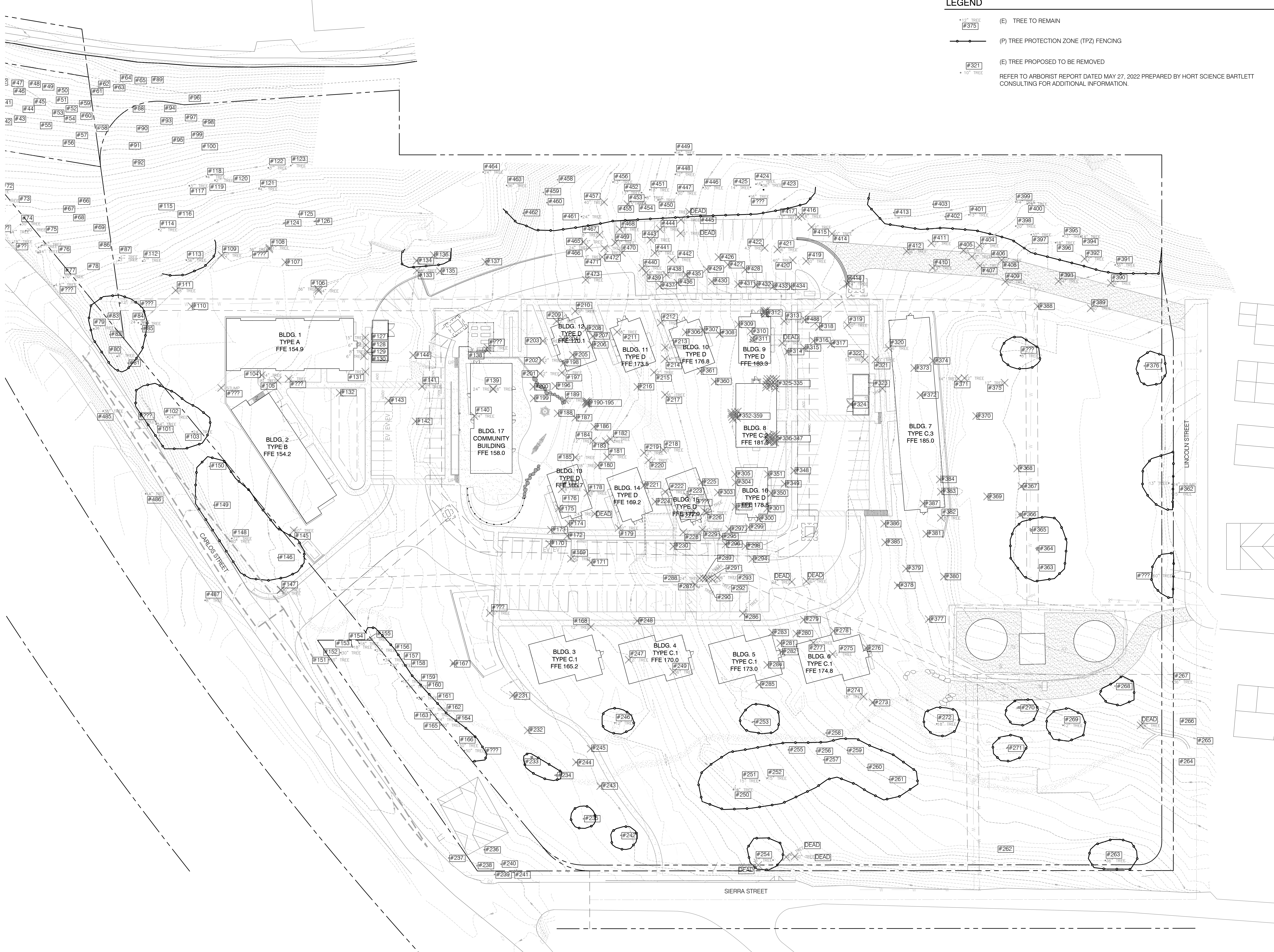
- Curbin is to be used when crossing mats with metal tracked equipment.
- Equipment with aggressive metal tracks should not cross mats.
- Do not drag metal equipment across mats.
- Do not use mats for bridging.

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DRAWING NAME: \\bkt-cv\4\2016\160074\_moss\_beach\_haus\eng\ENR\Sheet\C8.0 - EC.dwg  
PLOT DATE: 06-23-22 PLOTTED BY: s0n1





**LEGEND**

- TREE TO REMAIN
  - (P) TREE PROTECTION ZONE (TPZ) FENCING
  - (E) TREE PROPOSED TO BE REMOVED
- REFER TO ARBORIST REPORT DATED MAY 27, 2022 PREPARED BY HORT SCIENCE BARTLETT CONSULTING FOR ADDITIONAL INFORMATION.

**PYATOK**  
 1611 TELEGRAPH AVE. SUITE 200  
 OAKLAND, CA 94612

510.465.7010 p | 510.465.8575 f  
 www.pyatok.com

MIDPEN HOUSING  
 303 Vintage Park Drive, Suite 250  
 Foster City, CA 94404

**JONI L. JANECKI & ASSOCIATES**  
 515 SWIFT ST. SANTA CRUZ CA 95060  
 PHONE 831.423.8040 | WWW.JLJA.COM  
 California Landscape Architect License 3163

**CYPRESS POINT FAMILY COMMUNITY**  
 Carlos Way, Moss Beach

STAMP:

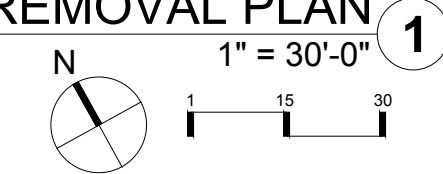
**REVISION SCHEDULE**

NO.	ISSUE	DATE
1	Issuing Revisions	05/26/23
2	Adopt Dimensions	10/26/22
3	Adopted Heights	01/10/23
4	Footprint Reduction	09/17/22

JOB NUMBER: 1603  
 DRAWN BY: OWMO  
 CHECKED BY: GL  
 DATE: 06/21/2022  
 SCALE: 1" = 30'-0"  
 TITLE: TREE PROTECTION AND REMOVAL PLAN

SHEET:

**TREE PROTECTION AND REMOVAL PLAN**



**TPZ1.00**

T:\PROJECTS\130 Pyatok Moss Beach\Drawings\BACH\LANDSCAPE.dwg: TPZ1.00\_06/21/2022 3:49:15 PM DWG: TPZ1.00\_PLOT1: ARCHT: JLI: I:\BACH: 4:2:00:16:04:11



**EXISTING TREE TO BE REMOVED**

TREE NUMBER	SPECIES	TRUNK DIAMETER (INCHES)	TREES ARBORIST RECOMMENDED FOR REMOVAL BASED ON TREE CONDITION	TREES FOR REMOVAL BASED ON TREE LOCATION IN PROJECT AREA
104	MONTEREY CYPRESS	22	-	X
105	MONTEREY PINE	24	-	X
106	MONTEREY CYPRESS	40,10,10,7,7,6,5	-	X
107	MONTEREY CYPRESS	14	-	X
108	MONTEREY CYPRESS	42	-	X
109	MONTEREY CYPRESS	48,36,26,20,18,17,16,12,12	-	X
110	MONTEREY PINE	10	-	X
111	MONTEREY CYPRESS	48	-	X
127	MONTEREY PINE	17	-	X
128	MONTEREY PINE	7	-	X
129	MONTEREY PINE	10	-	X
130	MONTEREY PINE	8,5	-	X
131	MONTEREY PINE	11,7	-	X
132	MONTEREY PINE	9	-	X
133	MONTEREY PINE	35,28,17	-	X
134	MONTEREY PINE	14,11	-	X
135	MONTEREY PINE	12	-	X
136	MONTEREY PINE	10	-	X
137	MONTEREY PINE	23	-	X
138	MONTEREY PINE	18	-	X
139	MONTEREY PINE	24	-	X
140	MONTEREY PINE	18	-	X
141	MONTEREY PINE	14	-	X
142	MONTEREY PINE	8	-	X
143	MONTEREY PINE	10,6,5	-	X
144	MONTEREY PINE	6	-	X
145	MONTEREY PINE	48,28,28,222,20	-	X
147	MONTEREY CYPRESS	28,17,13,10,10,8,8,8	-	X
167	ITALIAN STONE PINE	13,12,11,10	-	X
168	MONTEREY CYPRESS	19,19,15,14,14,13,12,12,10,9,7,7	-	X
169	MONTEREY CYPRESS	25	-	X
170	MONTEREY PINE	8	-	X
171	MONTEREY PINE	9	-	X
172	MONTEREY PINE	14	-	X
173	MONTEREY PINE	11	-	X
174	MONTEREY PINE	14	-	X
175	MONTEREY PINE	8	-	X
176	MONTEREY PINE	18	-	X
177	MONTEREY PINE	16	-	X
178	MONTEREY PINE	17	-	X
179	MONTEREY PINE	17	-	X
180	MONTEREY PINE	17	-	X
181	MONTEREY PINE	16	-	X
182	MONTEREY PINE	12	-	X
183	MONTEREY PINE	8	-	X
184	MONTEREY PINE	15	-	X
185	MONTEREY PINE	15	-	X
186	MONTEREY PINE	11	-	X
187	MONTEREY PINE	9	-	X
188	MONTEREY PINE	11	-	X
189	MONTEREY CYPRESS	21,16,15,15,14,10,10	-	X
190	MONTEREY PINE	15	-	X
191	MONTEREY PINE	8	-	X
192	MONTEREY PINE	10	-	X
193	MONTEREY PINE	14	-	X
194	MONTEREY PINE	14	-	X
195	MONTEREY PINE	13	-	X
196	MONTEREY PINE	11	-	X
197	MONTEREY PINE	15	-	X
198	MONTEREY CYPRESS	28,24,16,12,9	-	X
199	MONTEREY PINE	8	-	X
200	MONTEREY PINE	6	-	X
201	MONTEREY PINE	14,8	-	X
202	MONTEREY PINE	14	-	X
203	MONTEREY PINE	6	-	X
204	MONTEREY PINE	7	-	X
205	MONTEREY PINE	10	-	X
206	MONTEREY PINE	9	-	X
207	MONTEREY PINE	13	-	X
208	MONTEREY PINE	11	-	X
209	MONTEREY PINE	13	-	X
210	MONTEREY PINE	18	-	X
211	MONTEREY CYPRESS	24,24,22,18,13,13,12,8	-	X
212	MONTEREY PINE	9	-	X
213	MONTEREY PINE	16,11	-	X
214	MONTEREY PINE	17,15,8	-	X
215	MONTEREY CYPRESS	10,5,5,5,5	-	X
216	MONTEREY PINE	9	-	X
217	MONTEREY PINE	22,18	-	X
218	MONTEREY CYPRESS	60	-	X
219	MONTEREY PINE	12	-	X
220	MONTEREY PINE	9	-	X
221	MONTEREY CYPRESS	9,4,3,2	-	X
222	MONTEREY PINE	16,10,9,8,6	-	X
223	MONTEREY PINE	16	-	X
224	MONTEREY PINE	19	-	X
225	MONTEREY PINE	18	-	X
226	MONTEREY CYPRESS	18	-	X
227	MONTEREY CYPRESS	8	-	X
228	MONTEREY PINE	13	-	X
229	MONTEREY CYPRESS	17,7	-	X
230	MONTEREY PINE	8	-	X
231	MONTEREY PINE	13,9	-	X

232	MONTEREY PINE	7	-	X
243	MONTEREY PINE	10,9	-	X
244	MONTEREY PINE	6,3	-	X
245	MONTEREY PINE	6	-	X
247	MONTEREY PINE	7,4	-	X
248	MONTEREY PINE	14,11	-	X
249	MONTEREY CYPRESS	19,18,12,12,7,6,6,5,4,4,4,4	-	X
273	MONTEREY PINE	22,13,11	-	X
274	MONTEREY PINE	26,10,6	-	X
275	MONTEREY PINE	25,9	-	X
276	MONTEREY PINE	9,8	-	X
277	MONTEREY PINE	20	-	X
278	MONTEREY PINE	6	-	X
279	MONTEREY PINE	8	-	X
280	MONTEREY PINE	11	-	X
281	MONTEREY PINE	7	-	X
282	MONTEREY PINE	7	-	X
283	MONTEREY PINE	7	-	X
284	MONTEREY PINE	22	-	X
285	MONTEREY PINE	10	-	X
286	MONTEREY CYPRESS	26,13,13,6,6	-	X
287	MONTEREY CYPRESS	38,30,28,26,13	-	X
288	MONTEREY CYPRESS	15,15	-	X
289	MONTEREY CYPRESS	22,20	-	X
290	MONTEREY CYPRESS	15	-	X
291	MONTEREY CYPRESS	14	-	X
292	MONTEREY CYPRESS	30,22,20	-	X
293	MONTEREY CYPRESS	34,30,28,27,24,12	-	X
294	MONTEREY CYPRESS	14	-	X
295	MONTEREY PINE	7	-	X
296	MONTEREY CYPRESS	6	-	X
297	MONTEREY CYPRESS	6,4	-	X
298	MONTEREY PINE	8	-	X
299	MONTEREY CYPRESS	7	-	X
300	MONTEREY CYPRESS	9	-	X
301	MONTEREY PINE	8	-	X
302	MONTEREY PINE	13	-	X
303	MONTEREY PINE	14	-	X
304	MONTEREY CYPRESS	38	-	X
305	MONTEREY PINE	22	-	X
306	MONTEREY PINE	7	-	X
307	MONTEREY CYPRESS	24	-	X
308	MONTEREY CYPRESS	29	-	X
309	MONTEREY CYPRESS	68	-	X
310	MONTEREY CYPRESS	25	-	X
311	MONTEREY CYPRESS	18,15,13,13,13,12,12,12	-	X
312	MONTEREY CYPRESS	20,13,6,6,6,5	-	X
313	MONTEREY PINE	15	-	X
314	MONTEREY CYPRESS	22,8,5,4	-	X
315	MONTEREY PINE	24	-	X
316	MONTEREY PINE	15	-	X
317	MONTEREY PINE	14	-	X
318	MONTEREY PINE	8	-	X
319	MONTEREY PINE	25	-	X
320	MONTEREY PINE	28	-	X
321	MONTEREY PINE	10	-	X
322	MONTEREY PINE	18	-	X
323	MONTEREY PINE	25	-	X
324	MONTEREY PINE	15,14,13	-	X
325	MONTEREY PINE	16	-	X
326	MONTEREY CYPRESS	15,14,7,6,4,4	-	X
327	MONTEREY CYPRESS	9,6	-	X
328	MONTEREY PINE	15	-	X
329	MONTEREY PINE	17	-	X
330	MONTEREY PINE	6	-	X
331	MONTEREY CYPRESS	6,5	-	X
332	MONTEREY CYPRESS	9,4	-	X
333	MONTEREY PINE	16	-	X
334	MONTEREY CYPRESS	8,5,5,4,3	-	X
335	MONTEREY PINE	21	-	X
336	MONTEREY PINE	9	-	X
337	MONTEREY CYPRESS	10	-	X
338	MONTEREY PINE	12	-	X
339	MONTEREY PINE	7	-	X
340	MONTEREY PINE	10	-	X
341	MONTEREY PINE	12	-	X
342	MONTEREY CYPRESS	20,10,7,7,6,6	-	X
343	MONTEREY CYPRESS	48,25,14,12,12	-	X
344	MONTEREY PINE	19	-	X
345	MONTEREY PINE	17	-	X
346	MONTEREY PINE	12	-	X
347	MONTEREY PINE	16	-	X
348	MONTEREY PINE	6	-	X
349	MONTEREY PINE	8	-	X
350	MONTEREY PINE	6	-	X
351	MONTEREY PINE	7	-	X
352	MONTEREY PINE	10	-	X
353	MONTEREY PINE	6	-	X
354	MONTEREY CYPRESS	7	-	X
355	MONTEREY PINE	12	-	X
356	MONTEREY PINE	16	-	X
357	MONTEREY CYPRESS	9,8,4	-	X
358	MONTEREY CYPRESS	9	-	X
359	MONTEREY PINE	7	-	X
360	MONTEREY PINE	10	-	X
361	MONTEREY CYPRESS	6	-	X
366	MONTEREY CYPRESS	7,6,4,4,3,3	-	X

367	MONTEREY CYPRESS	6,4,2,2	-	X
368	MONTEREY CYPRESS	52	-	X
369	MONTEREY PINE	18	-	X
370	MONTEREY PINE	12	-	X
371	MONTEREY PINE	20,18	-	X
372	MONTEREY PINE	8,7,5	-	X
373	MONTEREY PINE	10	-	X
374	MONTEREY PINE	9	-	X
375	MONTEREY PINE	24	-	X
377	MONTEREY PINE	6,3	-	X
378	MONTEREY PINE	22,9,8,6,6	-	X
379	MONTEREY PINE	12	-	X
380	MONTEREY PINE	22	-	X
381	MONTEREY PINE	9	-	X
382	MONTEREY PINE	24	-	X
383	MONTEREY PINE	6	-	X
384	MONTEREY PINE	7	-	X
385	MONTEREY PINE	6	-	X
386	MONTEREY PINE	7	-	X
387	MONTEREY PINE	6	-	X
388	MONTEREY PINE	7	-	X
389	MONTEREY PINE	34,18,17,12,10	-	X
390	MONTEREY PINE	36	-	X
392	MONTEREY PINE	13	-	X
393	MONTEREY PINE	26	-	X
404	MONTEREY PINE	13	-	X
405	MONTEREY PINE	19	-	X
406	MONTEREY PINE	17	-	X
407	MONTEREY PINE	19,10,7	-	X
408	MONTEREY PINE	20	-	X
409	MONTEREY PINE	24	-	X
410	MONTEREY PINE	16	-	X
411	MONTEREY PINE	10	-	X
412	MONTEREY PINE	40	-	X
414	MONTEREY PINE	45	-	X
415	MONTEREY PINE	14	-	X
416	MONTEREY PINE	27	-	X
417	MONTEREY PINE	17	-	X
418	MONTEREY PINE	22	-	X
419	MONTEREY PINE	35	-	X
420	MONTEREY PINE	44	-	X
421	MONTEREY PINE	38	-	X
422	MONTEREY PINE	25,16	-	X
426	MONTEREY PINE	-	-	X
427	MONTEREY PINE	6	-	X
428	MONTEREY PINE	8	-	X
429	MONTEREY PINE	7	-	X
430	MONTEREY CYPRESS	8	-	X
431	MONTEREY PINE	10	-	X
432	MONTEREY PINE	7	-	X
433	MONTEREY CYPRESS	8	-	X
434	MONTEREY PINE	7	-	X
435	MONTEREY PINE	18	-	X
436	MONTEREY CYPRESS	8	-	X
437	MONTEREY PINE	9	-	X
438	MONTEREY CYPRESS	24,18,15,12,12,6,6,6	-	X
439	MONTEREY PINE	20	-	X
440	MONTEREY CYPRESS	19	-	X
441	MONTEREY CYPRESS	15	-	X
442	MONTEREY PINE	16	-	X
443	MONTEREY PINE	23	-	X
444	MONTEREY PINE	16	-	X
445	MONTEREY PINE	10	-	X
455	MONTEREY PINE	18	-	X
457	MONTEREY PINE	33,28,24	-	X
465	MONTEREY PINE	17	-	X
466	MONTEREY PINE	24	-	X
467	MONTEREY PINE	12	-	X
468	MONTEREY PINE	18	-	X
469	MONTEREY PINE	16	-	X
470	MONTEREY PINE	8	-	X
471	MONTEREY PINE	18	-	X
472	MONTEREY PINE	9	-	X
473	MONTEREY PINE	6	-	X
488	MONTEREY PINE	18	-	X
??? (24" TREE)	-	-	-	X
??? (36" TREE)	-	-	-	X
??? (36" TREE)	-	-	-	X
??? (36" TREE)	-	-	-	X
??? (6" TREE)	-	-	-	X
??? STUMP	-	-	-	X
DEAD (12" TREE)	-	-	-	X
DEAD (24" TREE)	-	-	-	X
DEAD (18" TREE)	-	-	-	X
DEAD (24" TREE)	-	-	-	X
DEAD (50" TREE)	-	-	-	X
DEAD (15" TREE)	-	-	-	X
DEAD (24" TREE)	-	-	-	X
DEAD (36" TREE)	-	-	-	X
DEAD (36" TREE)	-	-	-	X

TREE SUMMARY:  
 PROPOSED NUMBER OF EXISTING TREES TO REMAIN: 207  
 PROPOSED NUMBER OF EXISTING TREES TO BE REMOVED: 281

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**CYPRESS POINT FAMILY COMMUNITY**

Carlos Way, Moss Beach

**TREE PROTECTION ZONE NOTICE TEMPLATE**

**TREE  
PRESERVATION  
AREA – KEEP  
OUT**

TREE PROTECTION ZONE FENCING MUST REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PERIOD. FENCING MUST NOT BE MOVED OR DISMANTLED WITHOUT THE NOTIFICATION OF THE PROJECT MANAGER AND THE WRITTEN CONSENT OF THE PROJECT ARBORIST.

**TREE PROTECTION AND REMOVAL NOTES**

- A TREE PRESERVATION ZONE (TPZ) SHALL BE ESTABLISHED AS SHOWN ON PLAN AND AS VERIFIED IN THE FIELD WITH OWNER'S REPRESENTATIVE OR PROJECT ARBORIST. PROJECT ARBORIST MUST INSPECT AND DOCUMENT THE INSTALLATION OF TREE PROTECTION BEFORE ANY EQUIPMENT COMES ON SITE.
- TREE PROTECTION ZONE FENCING - FENCE HEIGHT TO BE 6 FEET AND MUST COMPRISE OF STEEL CHAIN-LINK CONSTRUCTION, ATTACHED TO STEEL POSTS DRIVEN INTO THE GROUND. LAMINATED TREE PROTECTION NOTICES MUST BE ATTACHED TO TPZ FENCES AT DISTANCES OF EVERY 10-FEET (SEE TREE PROTECTION ZONE NOTICE TEMPLATE ABOVE). ALL CONSTRUCTION ACTIVITIES MUST BE EXCLUDED FROM FENCED TREE PROTECTION ZONES. THESE FENCES MUST NOT BE DISMANTLED OR MOVED AT ANY TIME DURING THE CONSTRUCTION PERIOD, WITHOUT FIRST OBTAINING THE CONSENT OF THE OWNERS REPRESENTATIVE OR PROJECT ARBORIST.
- CONTRACTOR TO SUBMIT SCHEDULE OF TREE PROTECTION FENCE INSTALLATION AND REMOVAL FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO FENCE INSTALLATION OR REMOVAL.
- VEHICLES AND EQUIPMENT MUST BE EXCLUDED FROM TREE PROTECTION ZONES. NO MATERIALS, TOOLS, DEBRIS, EXCESS SOIL, CHEMICALS, OR WASTE PRODUCTS MAY BE STORED OR DISPOSED OF WITHIN THESE PROTECTED AREAS. SOLVENTS, LIQUIDS, CONCRETE WASH-OFF, OR ANY TYPE OF DEBRIS SHOULD BE DISPOSED OF PROPERLY, NEVER WITHIN THIS PROTECTED AREA.
- ALL TRENCHING NEAR EXISTING TREES TO REMAIN SHALL BE HAND DUG AND REVIEWED BY OWNER'S REPRESENTATIVE OR PROJECT ARBORIST.
- NO SOIL COMPACTION SHALL OCCUR WITHIN THE TPZ. SOIL SURFACE WITHIN THE TPZ SHALL BE MULCHED WITH A 4-INCH LAYER OF AGED WOOD CHIPS AND SET BACK 9-INCHES FROM TRUNKS AT GRADE. WOOD CHIP MULCH SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO ORDERING. SUBMIT MULCH SAMPLES TO OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- NATURAL GRADE AROUND TPZ SHALL BE MAINTAINED. NO ADDITIONAL FILL OR EXCAVATION WILL BE PERMITTED WITHIN AREAS OF TREE ROOT DEVELOPMENT.
- UNAUTHORIZED PRUNING OF ANY TREE SHALL NOT BE ALLOWED. IF ANY TREE CANOPY ENCLOSED ON THE PROJECT AREA, THE REQUIRED PRUNING WILL BE DONE WITH AUTHORITY OF OWNER'S REPRESENTATIVE OR PROJECT ARBORIST AND TO INTERNATIONAL SOCIETY OF ARBORICULTURE GUIDELINES (ISA) AND AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS.
- PROVIDE TEMPORARY IRRIGATION TO ALL TREES WITHIN THE FENCED AREA. CONTRACTOR TO PROVIDE WATERING SCHEDULE FOR OWNER'S REPRESENTATIVE REVIEW AND APPROVAL. WATERING SCHEDULE TO BE SUBMITTED FOR APPROVAL TEN (10) CALENDAR DAYS BEFORE CONSTRUCTION START DATE AND CONTINUE THROUGHOUT CONSTRUCTION UNTIL FINAL SIGN OFF BY OWNER'S REPRESENTATIVE.
- CONTRACTOR TO REMOVE TREES AS SHOWN ON THE PLAN. PRIOR TO REMOVAL, CONTRACTOR TO CLEARLY MARK TREES AND WALK SITE WITH OWNER'S REPRESENTATIVE TO VERIFY TREES TO BE REMOVED.
- CONTRACTOR TO FULLY REMOVE AND GRIND OR DIG OUT ALL STUMPS OF TREES TO BE REMOVED.
- TREE PROTECTION FENCING TO BE REMOVED BY CONTRACTOR AFTER COMPLETION OF CONSTRUCTION AND AS DIRECTED BY OWNER'S REPRESENTATIVE.
- REFER TO CIVIL PLANS FOR EROSION CONTROL INFORMATION.
- REFER TO CIVIL PLANS FOR GRADING AND DRAINAGE INFORMATION.

**ARBORIST'S INSPECTION SCHEDULE**

- THE PROJECT ARBORIST MUST ATTEND A PRE-CONSTRUCTION MEETING WITH THE GENERAL CONTRACTOR AND THE GRADING CONTRACTOR BEFORE ANY SITE WORK PROCEEDS IN ORDER TO DISCUSS TREE PROTECTION REQUIREMENTS. THE PROJECT ARBORIST MUST ALSO BE NOTIFIED CONCERNING SCHEDULED SITE MEETINGS THROUGHOUT THE CONSTRUCTION PERIOD.
- TREE PROTECTION ZONE FENCING MUST BE INSTALLED AND APPROVED OF BY THE PROJECT ARBORIST BEFORE ANY EQUIPMENT COMES ON SITE AND ANY SITE WORK PROCEEDS.
- THE PROJECT ARBORIST MUST PROVIDE SUPERVISION AND OVERSIGHT IN THE EVENT THAT ANY GRADING, EXCAVATION OR TRENCHING WORK WILL ENCROACH WITHIN THE TREE PROTECTION ZONES DEFINED BY TPZ FENCES. THE PROJECT ARBORIST MUST PROVIDE DIRECTION AND SUPERVISION CONCERNING REQUIRED ROOT PRESERVATION AND ROOT PRUNING MEASURES.
- THE PROJECT ARBORIST MUST PROVIDE SUPERVISION AND OVERSIGHT CONCERNING ALL CONSTRUCTION DISTURBANCES THAT ENCROACH WITHIN THE CRITICAL ROOT ZONES AREAS OF PROTECTED TREES (AS DEFINED BY THEIR CANOPY DRIP LINE PERIMETERS OR THEIR TRUNK DIAMETER MEASUREMENTS).
- THE PROJECT ARBORIST MUST BE NOTIFIED IN THE EVENT THAT SIGNIFICANT ROOT, 2-INCH DIAMETER OR LARGER, ARE FOUND DURING ANY GRADING, TRENCHING, AND CONSTRUCTION ACTIVITIES. THE WORK SHALL STOP, ROOTS SHALL BE COVERED WITH BURLAP OR MULCH, AND OWNER'S REPRESENTATIVE OR PROJECT ARBORIST CONTACTED TO PROVIDE RECOMMENDATIONS ON ROOT CUTTING AND TREATMENT OF IMPACTED ROOTS PRIOR TO CONTINUING WORK.
- PROJECT ARBORIST TO PROVIDE GUIDANCE AND SUPERVISION PERTAINING TO REQUIRED TREE PRUNING WORK. MEET WITH THE APPROVED TREE SERVICE PROVIDER TO DISCUSS THE REQUIRED SCOPE OF WORK AND PROVIDE INSPECTIONS AND OVERSIGHT AS NEEDED.

STAMP:

**REVISION SCHEDULE**

NO.	ISSUE	DATE
1	Planning Revisions	03/25/19
2	As-built Dimensions	10/09/20
3	Adjusted Heights	01/10/20
4	Footprint Reduction	09/17/22

JOB NUMBER: 1603  
DRAWN BY: OWMO  
CHECKED BY: GL  
DATE: 06/21/2022  
SCALE: .

TITLE:  
**TREE PROTECTION NOTES**

SHEET:

**TPZ1.02**



# CYPRESS POINT FAMILY COMMUNITY

Carlos Way, Moss Beach

STAMP:

REVISION SCHEDULE		
NO.	ISSUE	DATE
1	Issued	03/09/19
2	As-Built Dimensions	10/08/20
3	As-Built Heights	01/10/22
4	Footprint Reduction	09/17/22

JOB NUMBER: 1603  
 DRAWN BY: OWM/O  
 CHECKED BY: GL  
 DATE: 06/21/2022  
 SCALE: 1" = 30'-0"  
 TITLE: OVERALL LANDSCAPE SITE PLAN  
 SHEET: **L1.00**

**LEGEND**

- EXISTING TREE
- ENTRY TREE
- PARKING LOT SHADE TREE
- BUILDING ENTRY TREE
- EVERGREEN SCREENING
- ACCENT TREE
- NATIVE TREE
- GROUNDCOVER AND SHRUBS
- DETENTION BASINS
- SLOPE PLANTING - SEE CIVIL DRAWINGS FOR EROSION CONTROL

**TREE SUMMARY:**

- PROPOSED NUMBER OF EXISTING TREES TO REMAIN: 207
- PROPOSED NUMBER OF NEW TREES TO BE PLANTED: 190
- FINAL PROPOSED TREE COUNT WILL FOLLOW COUNTY REQUIREMENT FOR REPLACEMENT.

- 3'-0" HIGH WOOD FENCE
- 6'-0" HIGH WOOD AND WIRE FENCE
- BOULDER RETAINING WALL
- BICYCLE PARKING
- BENCH
- PICNIC TABLES
- RAISED VEGETABLE BEDS
- PLAY STRUCTURES, AGE GROUPS 2-5 AND 5-12
- SYNTHETIC TURF, FLUSH WITH ADJACENT PAVING
- ASPHALT PAVING
- CONCRETE PAVING
- DECOMPOSED GRANITE PAVING
- FOOT-PATH TRAIL EXACT LOCATION TO BE DETERMINED IN THE FIELD
- GRAVEL PAVING

**KEY NOTES**

SYMBOL	DESCRIPTION
1	CYPRESS POINT ENTRY DRIVE
2	BIORETENTION AREA
3	PLAY STRUCTURE
4	SYNTHETIC TURF
5	BICYCLE PARKING, SEATING, AND BBQ AREA
6	BOULDER RETAINING WALL (LESS THAN 30" HIGH)
7	CONCRETE RETAINING WALL (LESS THAN 30 INCHES)
8	LOW MAINTENANCE PLANTING ON TERRACED SLOPE - NATIVE TREES, SHRUBS, AND GRASSES
9	STAIRS WITH HANDRAILS
10	COMMUNITY GARDEN WITH FENCE, RAISED BEDS, AND COMPOST AREA
11	WASTE ENCLOSURE AND BICYCLE PARKING (2 TOTAL)
12	SCENIC OVERLOOK WITH PICNIC TABLES
13	EXISTING GRAVEL ACCESS ROAD
14	EXISTING WATER TANKS
15	TRAIL - CLEARED DIRT NON-ACCESSIBLE FOOT PATH AROUND SITE WITH MINIMAL GRADING
16	PARKING LOT - ASPHALT PAVING
17	ACCESSIBLE CROSSING
18	CONCRETE PATH TO SIERRA STREET
19	EMERGENCY VEHICLE ROUTE (ASPHALT PAVING)
20	DECOMPOSED GRANITE PATH WITH BENCH
21	RAMPS WITH HANDRAILS AND LANDINGS
22	APPROXIMATE LOCATION EXISTING TRAIL

**NOTES:**

- ALL LIGHTING TO BE DARK SKY, SHIELDED, AND DOWNWARD DIRECTED.
- REFER TO SHEET L1.03 FOR PLANT LIST.



**SITE PLAN**  
 1" = 30'-0"

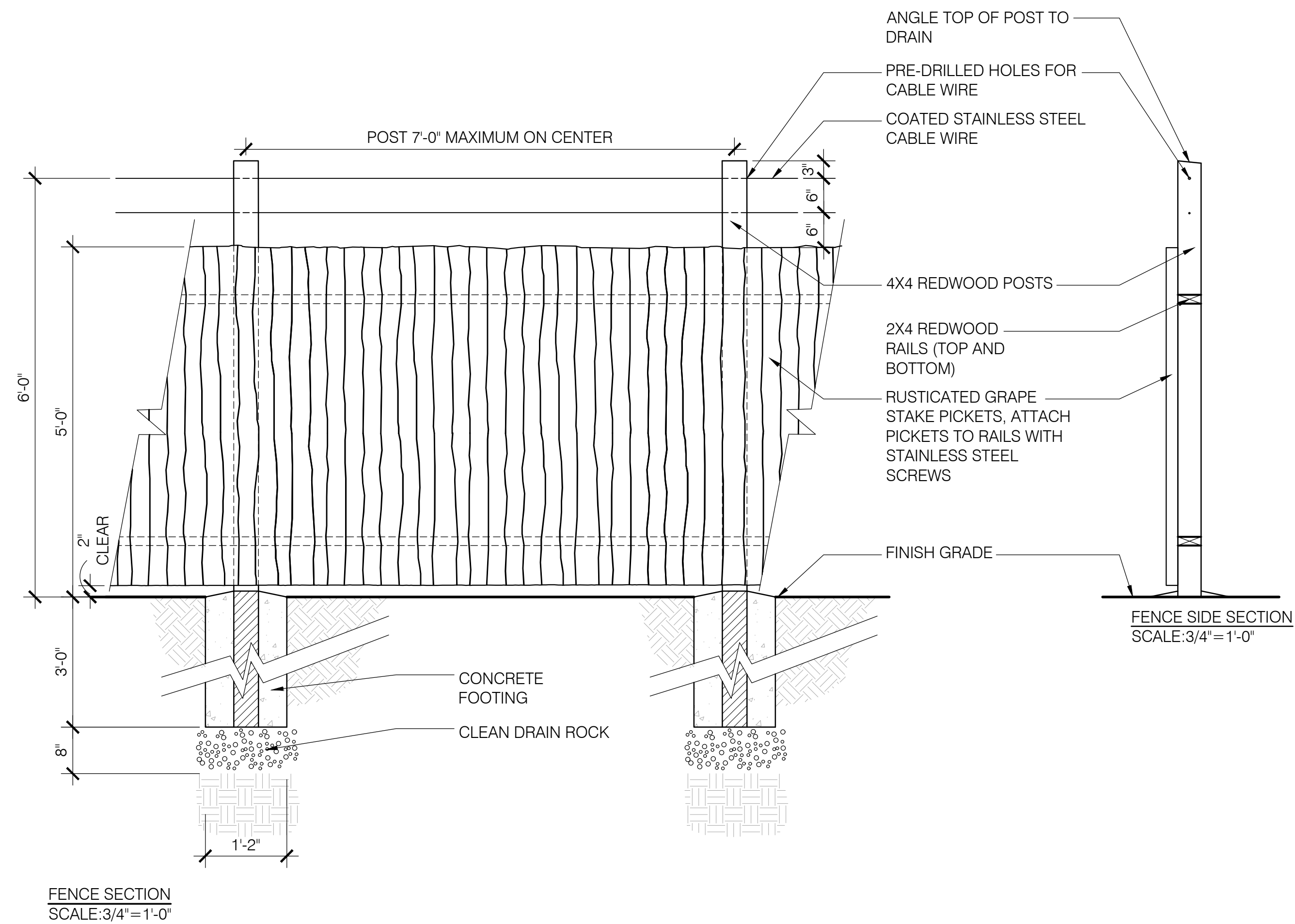
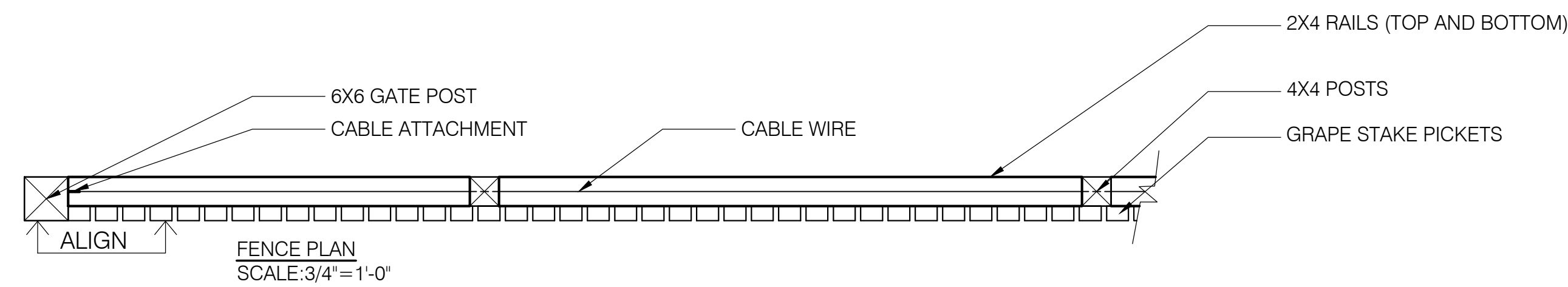
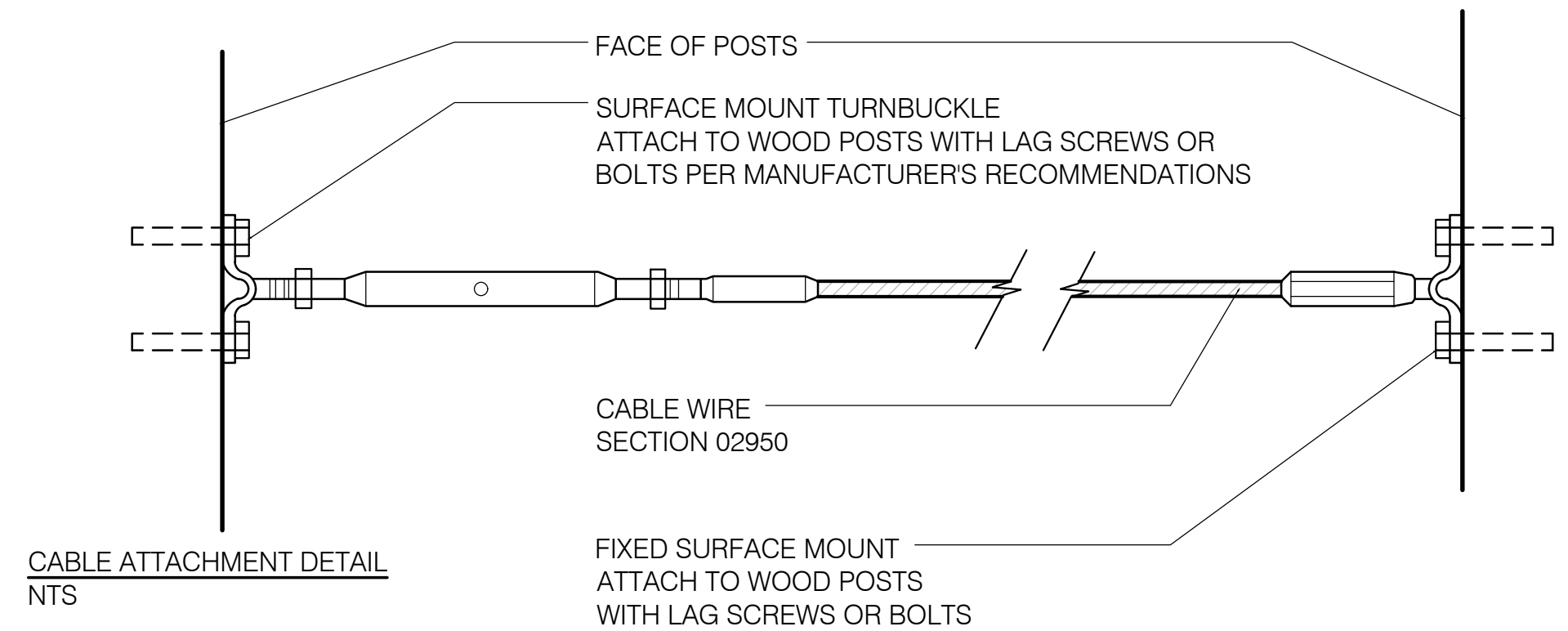
11/20/2023 11:23:20 Pyatok - Moss Beach Community Center Landscape Plan L1.00, 06/21/2022 10:15:47 AM, DWG to PDF, Plot Area: 42.00 inches, 1:1



**CYPRESS POINT FAMILY COMMUNITY**  
Carlos Way, Moss Beach

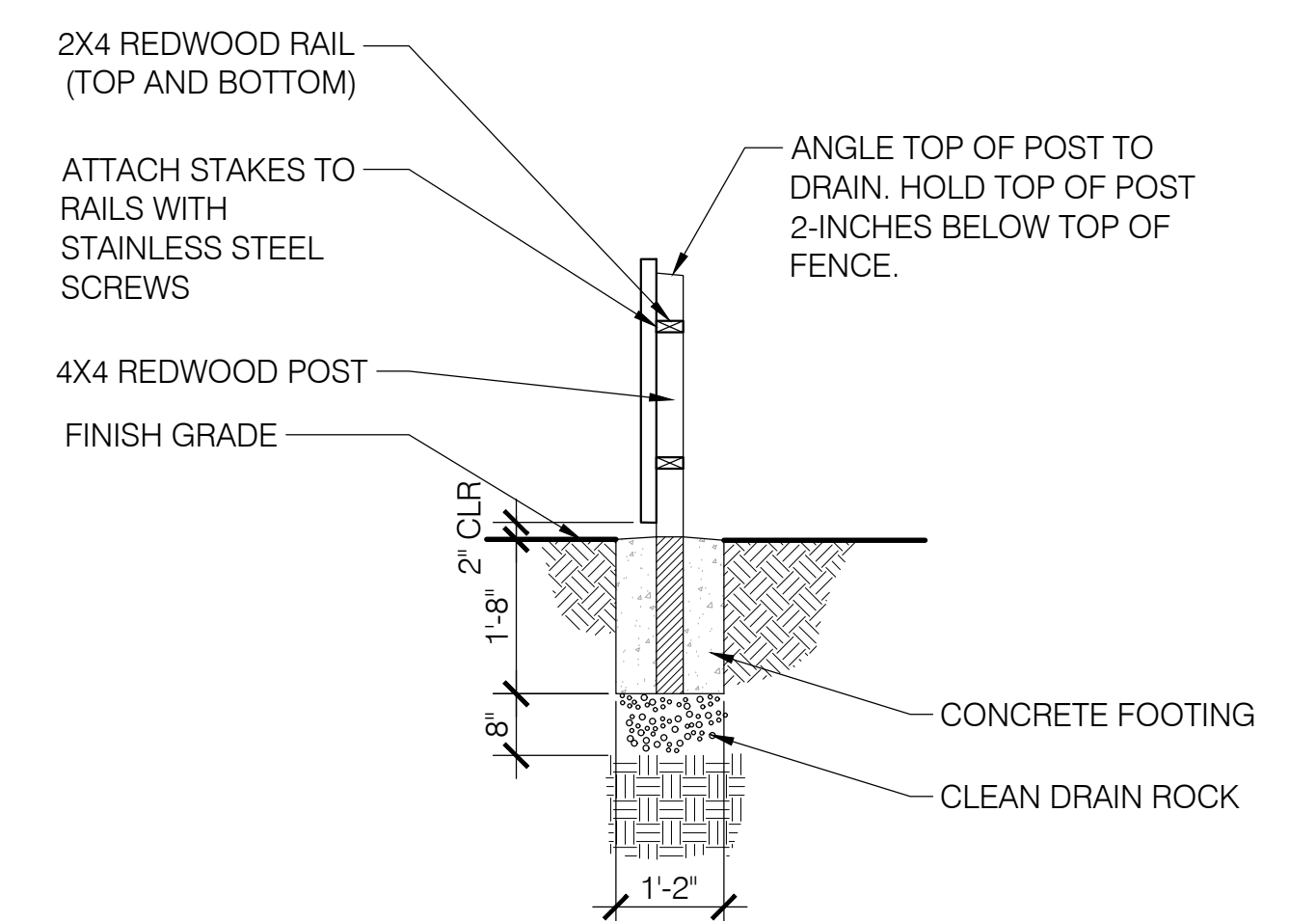
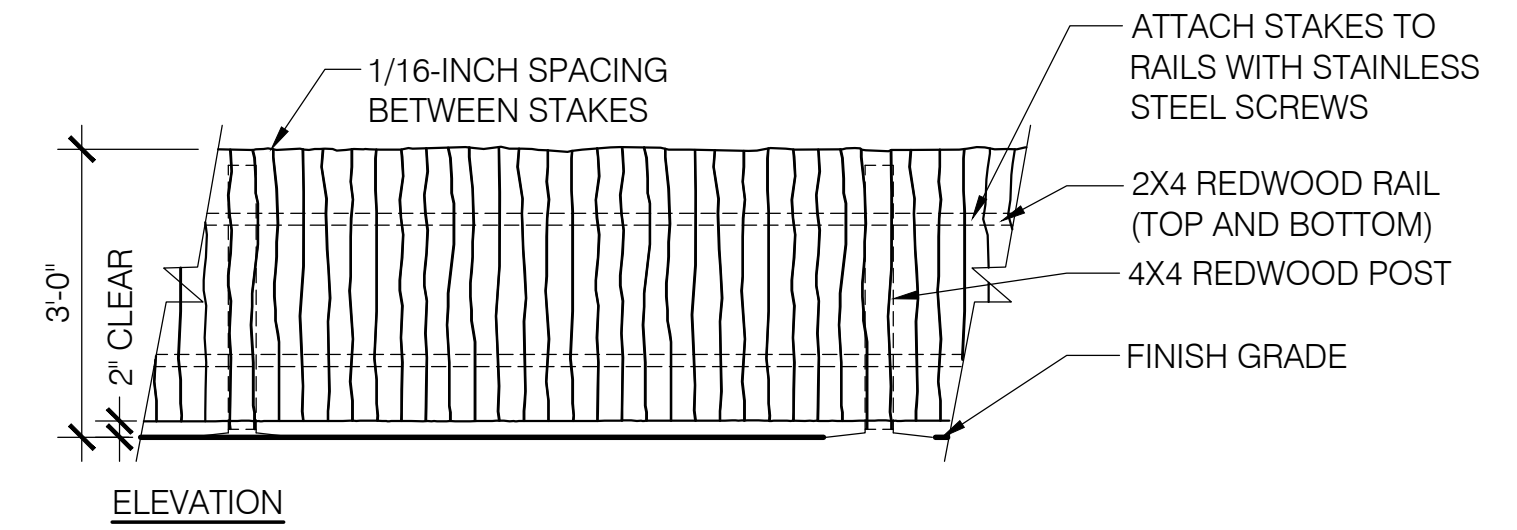
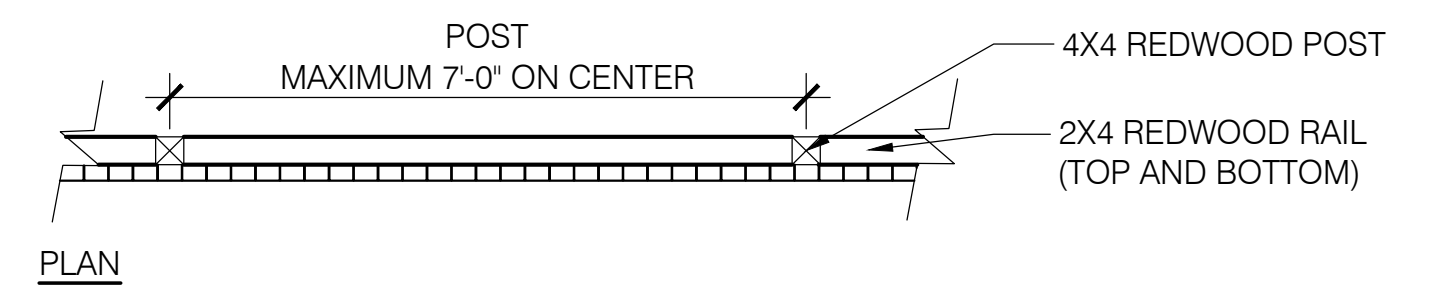
**NOTES:**

1. ALL HARDWARE AND ATTACHMENTS TO BE HOT-DIP GALVANIZED OR STAINLESS STEEL AS NOTED.
2. SINGLE-SIDED: ATTACH PICKETS TO OUTSIDE/STREET-SIDE FACE OF RAILS.
3. PROVIDE GRAPE STAKE SAMPLES FOR LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL.
4. FLAG LOCATION IN FIELD FOR REVIEW WITH LANDSCAPE ARCHITECT.
5. STAKES TO BE ROUGH EDGE. KEEP TOP AND BOTTOM OF STAKES LEVEL AND CLEAN CUT.



**NOTES:**

1. ALL HARDWARE AND ATTACHMENTS TO BE HOT-DIP GALVANIZED OR STAINLESS STEEL AS NOTED.
2. SINGLE-SIDED: ATTACH PICKETS TO OUTSIDE/STREET-SIDE FACE OF RAILS.
3. PROVIDE GRAPE STAKE SAMPLES FOR LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL.
4. FLAG LOCATION IN FIELD FOR REVIEW WITH LANDSCAPE ARCHITECT.
5. STAKES TO BE ROUGH EDGE. KEEP TOP AND BOTTOM OF STAKES LEVEL AND CLEAN CUT.



**2** COMMUNITY GARDEN FENCE DETAIL  
AS NOTED

**1** SINGLE-SIDED GRAPE STAKE FENCE  
1/2" = 1'-0"

STAMP:

**REVISION SCHEDULE**

NO.	ISSUE	DATE
1	Planning Revisions	03/25/19
2	As-built Dimensions	10/06/20
3	Adjusted Heights	01/10/22
4	Footprint Reduction	09/17/22

JOB NUMBER: 1603  
DRAWN BY: OWM/O  
CHECKED BY: GL  
DATE: 06/21/2022  
SCALE: AS NOTED  
TITLE: LANDSCAPE MATERIALS DETAILS

SHEET:

**L1.01**



STAMP:

NO.	ISSUE	DATE
1	Planning Revisions	03/26/19
2	As-built Dimensions	10/06/20
3	As-built Heights	01/10/20
4	Footprint Reduction	09/17/22

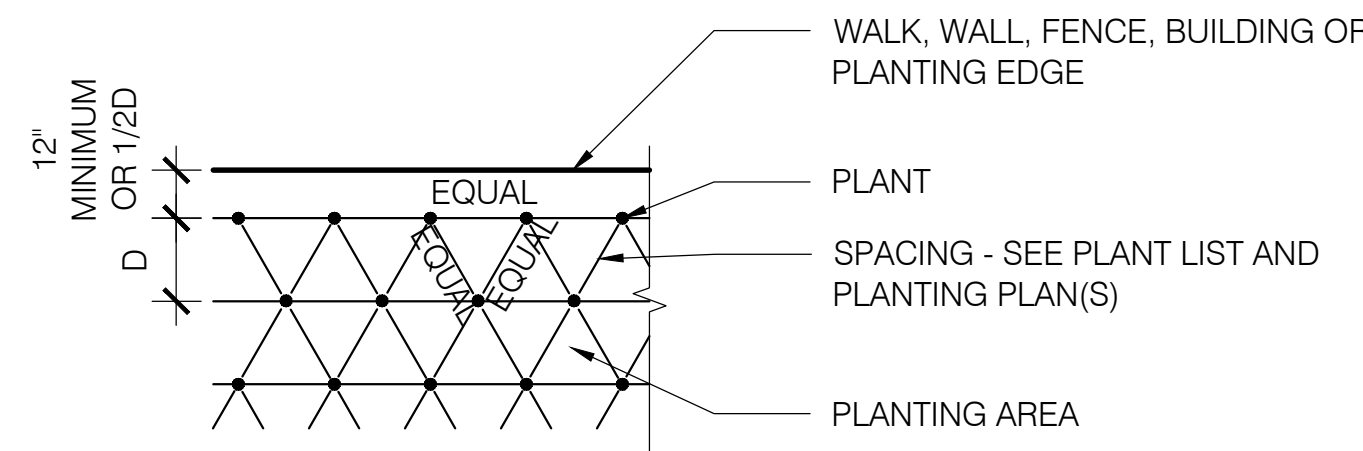
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CHECKED BY: GL  
DATE: 06/21/2022  
SCALE: AS NOTED

TITLE: PLANTING DETAILS

SHEET:

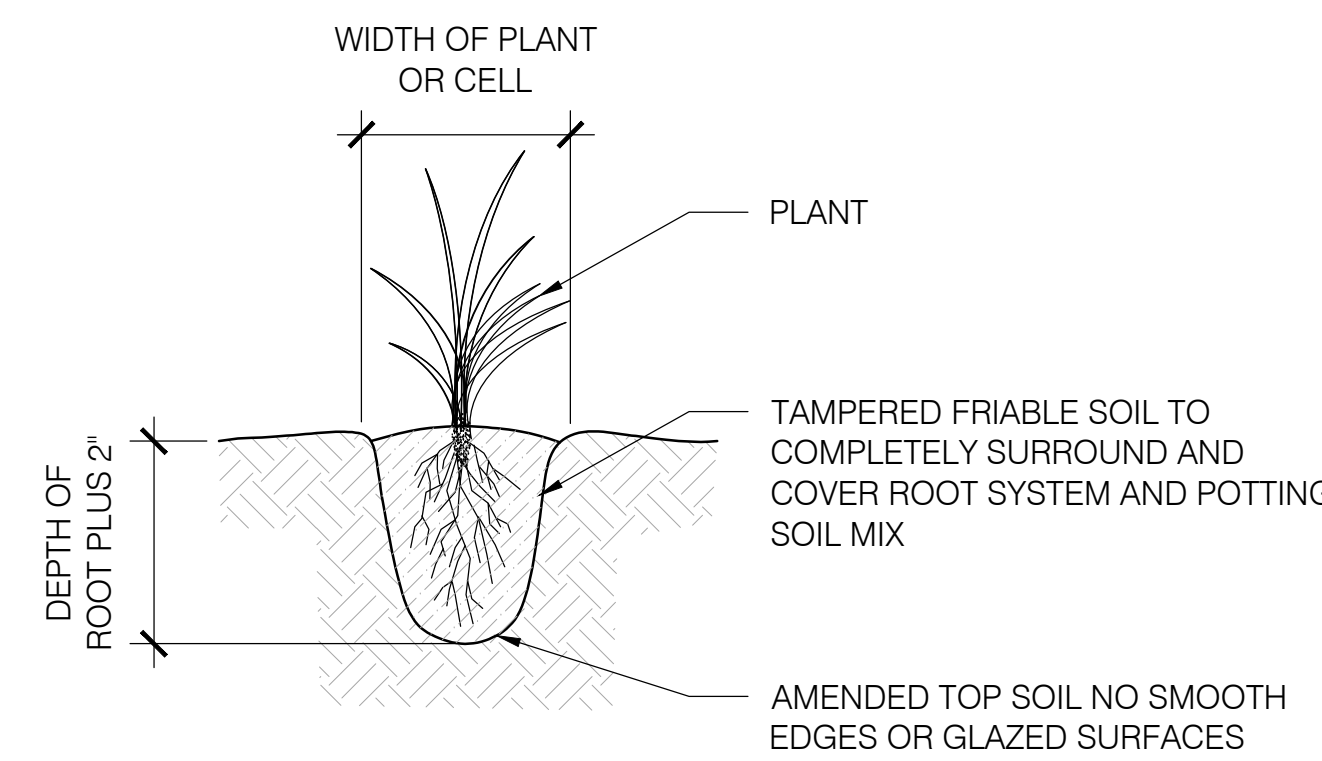
**L1.02**

NOTE:  
1. "D" REFERS TO ON-CENTER SPACING AS SHOWN ON DRAWINGS AND ON PLANT LIST.



**6** TYPICAL PLANT SPACING DETAIL  
NOT TO SCALE

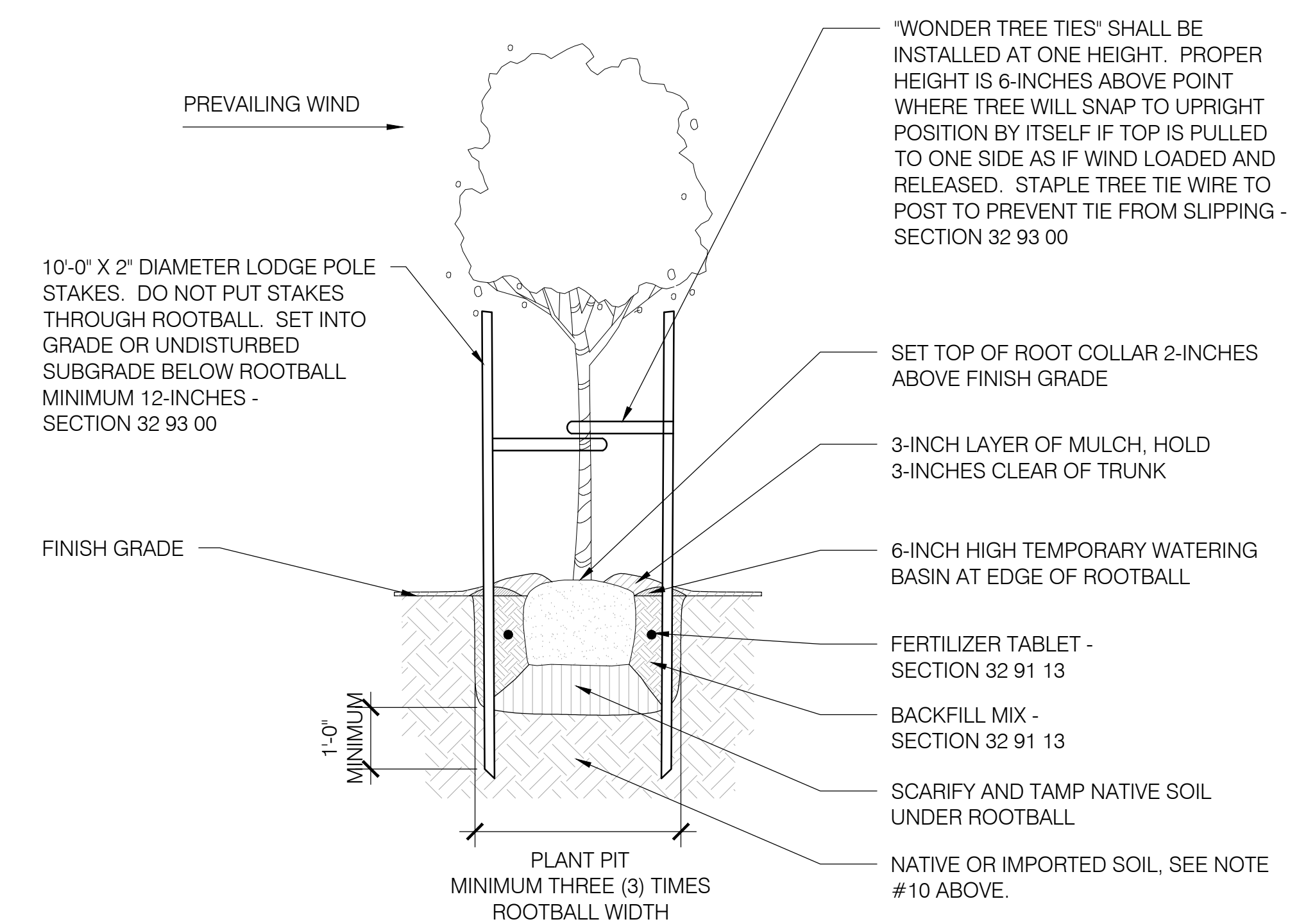
NOTES:  
1. REFER TO DETAIL 1, THIS SHEET, FOR GENERAL NOTES.  
2. SLOPES LESS THAN 3:1 DO NOT REQUIRE TEMPORARY BERMS.



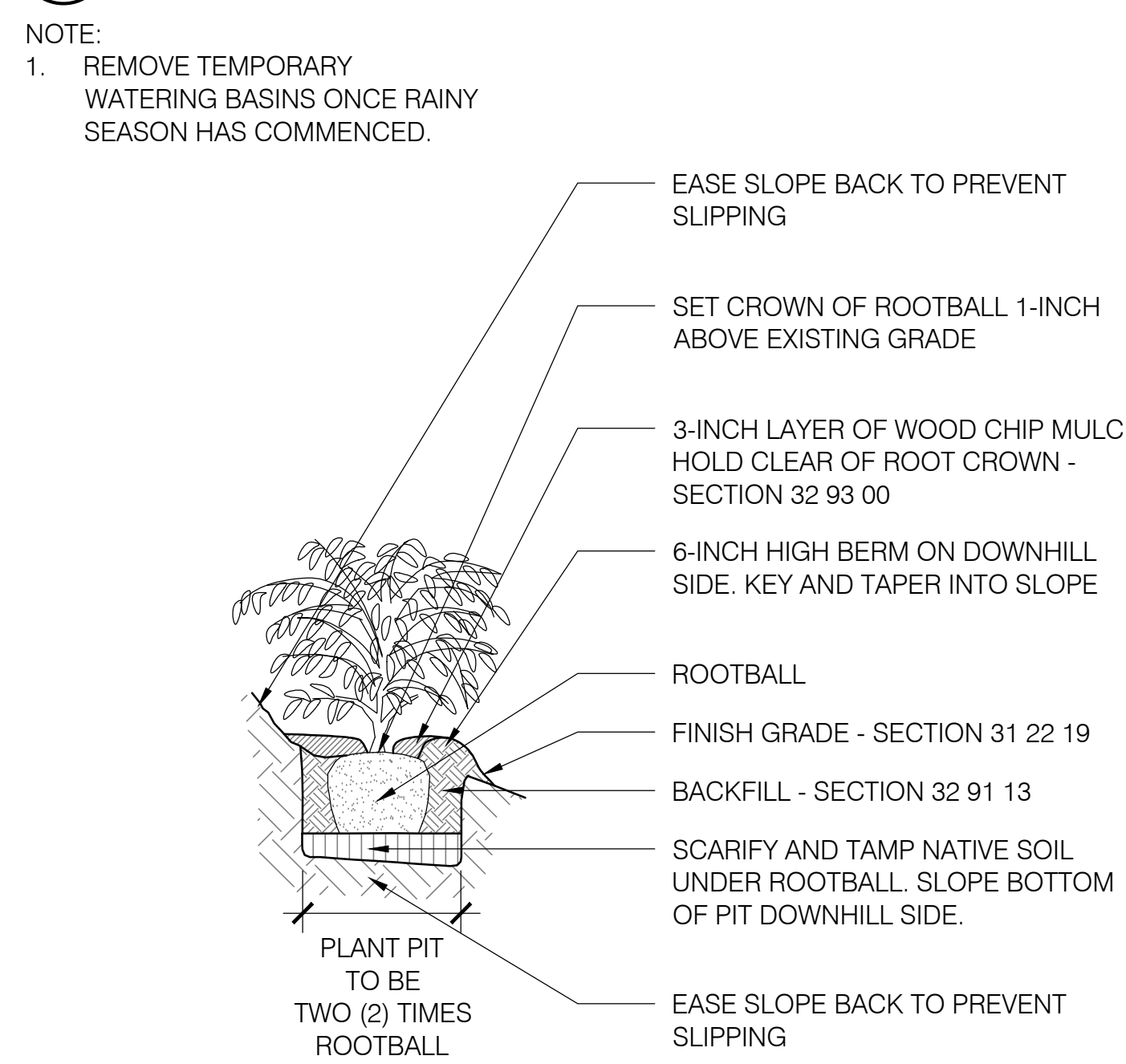
**5** PLUG PLANTING DETAIL  
NOT TO SCALE

**2** TREE PLANTING ON SLOPE DETAIL  
NOT TO SCALE

- NOTES:
- ALL TREES TO BE STAKED ON PREVAILING WIND SIDE WHEN TREE IS IN LEAF. VERIFY ALL CONNECTORS ARE SECURE AND TIGHT.
  - CONTRACTOR SHALL DOUBLE STAKE ALL 15 GALLON, 24-INCH & 36-INCH BOX TREES.
  - CONTRACTOR SHALL REMOVE NURSERY STAKE(S) AND TAGS FROM TREES UPON COMPLETION OF STAKING.
  - "WONDER TREE TIES" SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
  - REMOVE TEMPORARY WATERING BASINS ONCE RAINY SEASON HAS COMMENCED.
  - CONTRACTOR TO COORDINATE AND PROVIDE PHOTOS OF PROPOSED TREES.
  - PLANTS WITH LARGE CIRCLING ROOTS OR KINKED ROOTS ON INTERIOR OF THE ROOTBALL WILL NOT BE ACCEPTED.
  - TREES SHALL BE SUPPLIED WITH WELL TAPERED STRONG TRUNKS WHICH WILL STAND ALONE.
  - TREES SUPPLIED WITH TOPS TOO LARGE FOR TRUNKS TO SUPPORT SHALL BE PRUNED AS DIRECTED BY OWNER'S REPRESENTATIVE TO REDUCE CROWN HEIGHT. DO NOT REMOVE LATERALS ALONG TRUNK. DO NOT PRUNE TREES WITHOUT PRIOR APPROVAL FROM OWNER'S REPRESENTATIVE.
  - IF NATIVE SOIL HAS BEEN TREATED WITH LIME, TREATED SOIL TO BE EXCAVATED AND REPLACED WITH IMPORTED SOIL. DRAINAGE/PERCOLATION TEST TO BE ADMINISTERED. SEE CIVIL AND SECTION 32 91 13 FOR MORE INFORMATION.

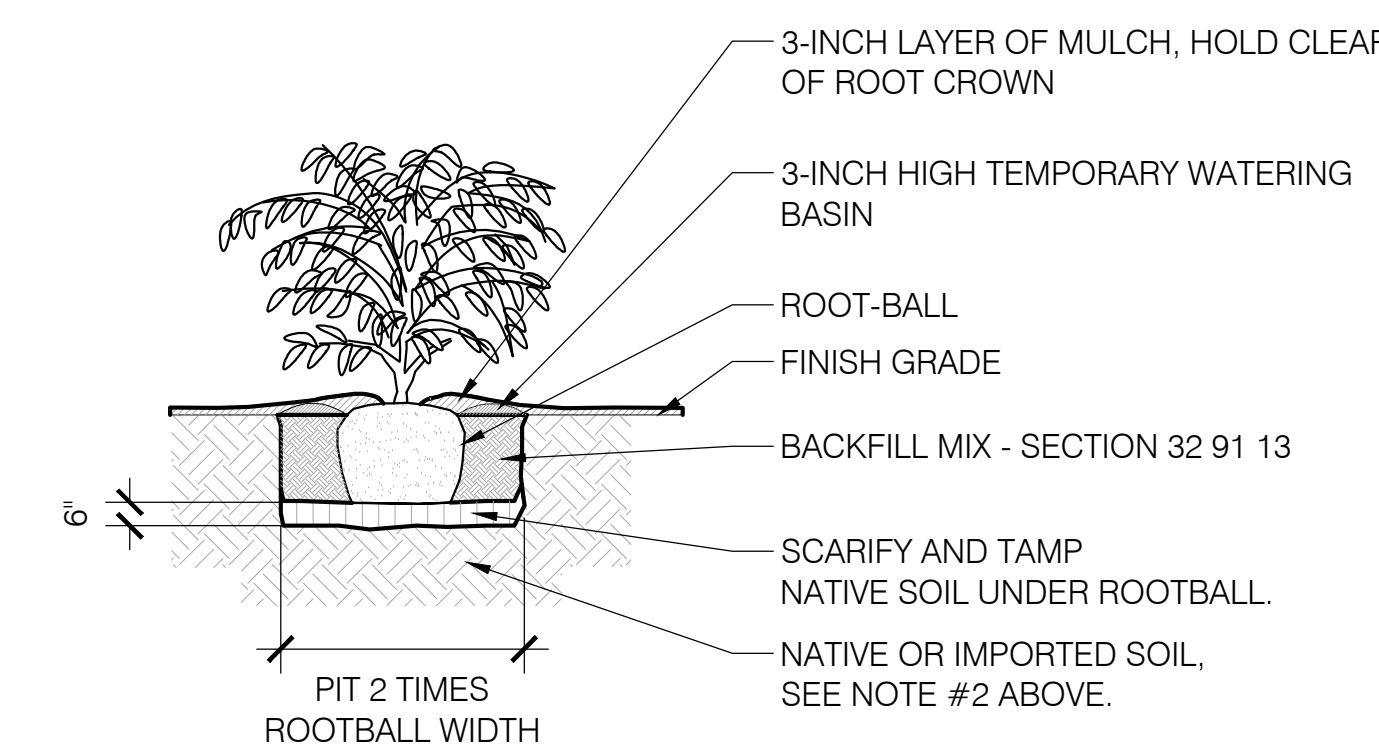


**1** TREE PLANTING DETAIL  
NOT TO SCALE



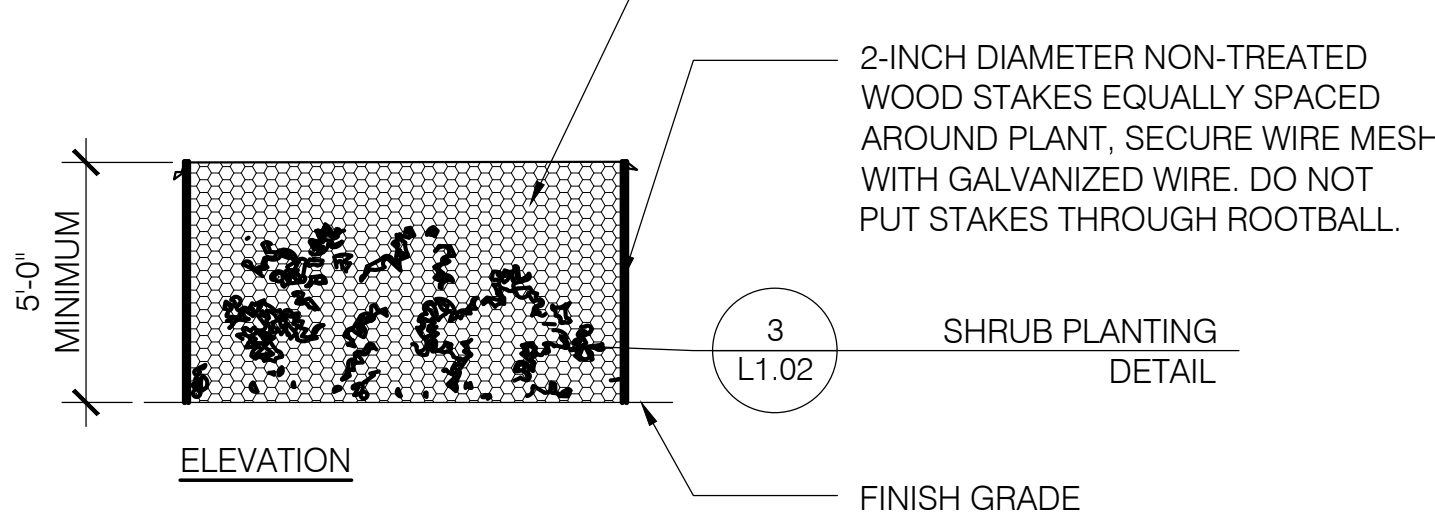
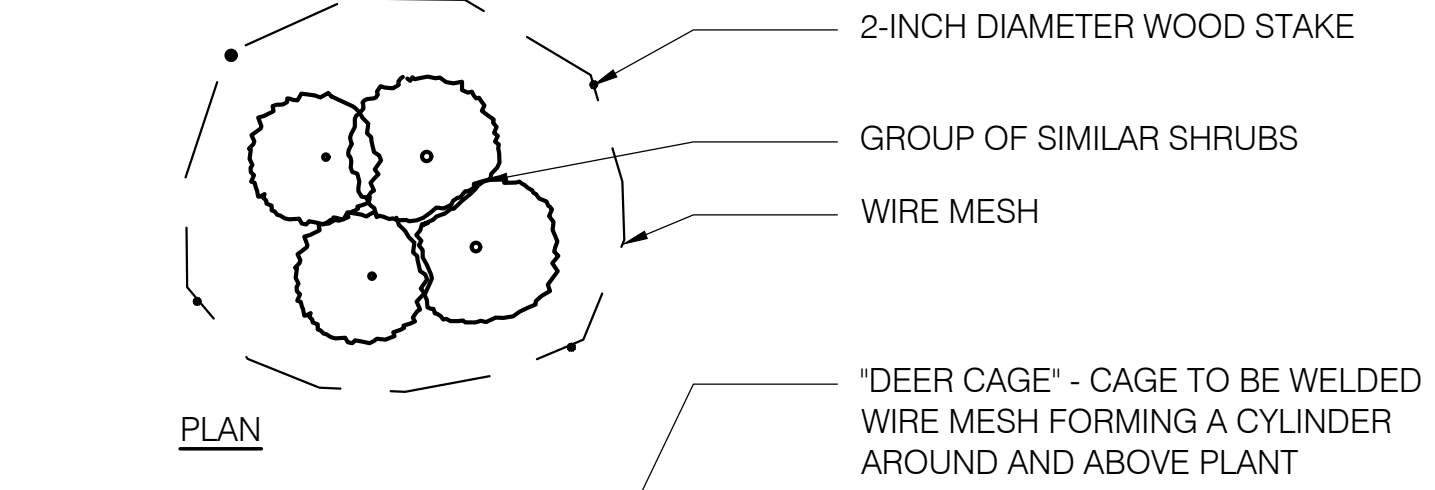
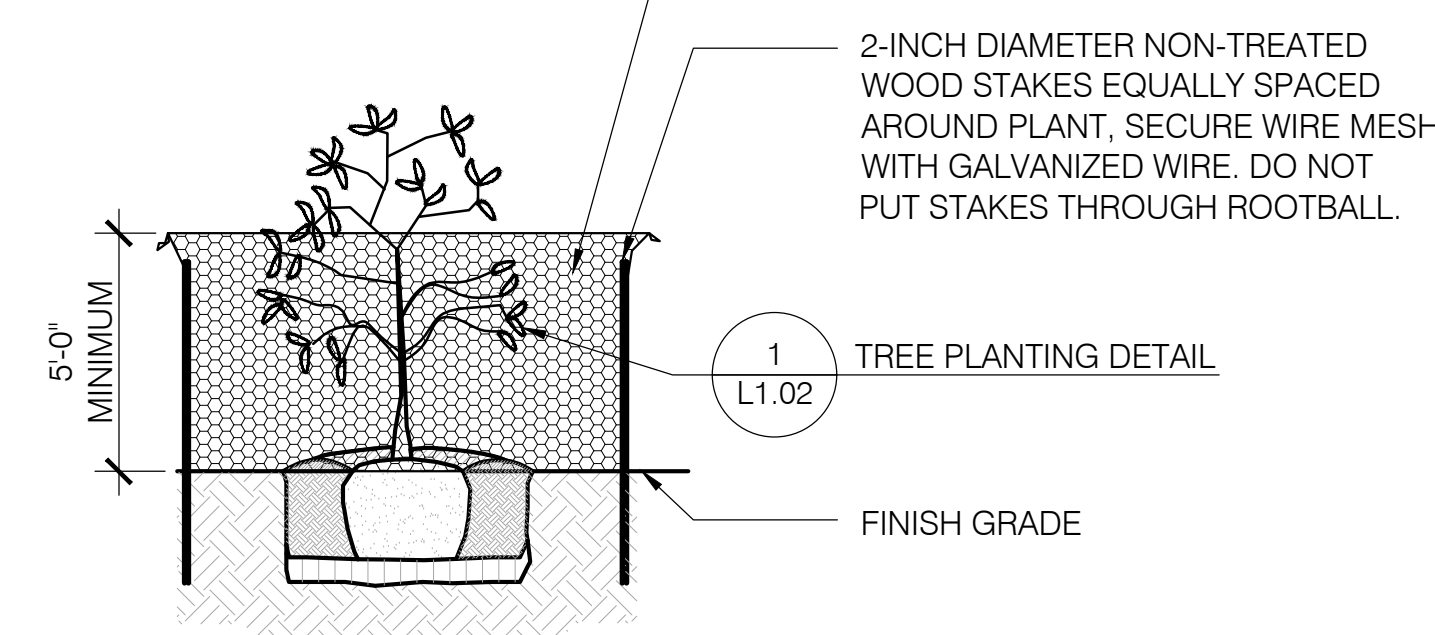
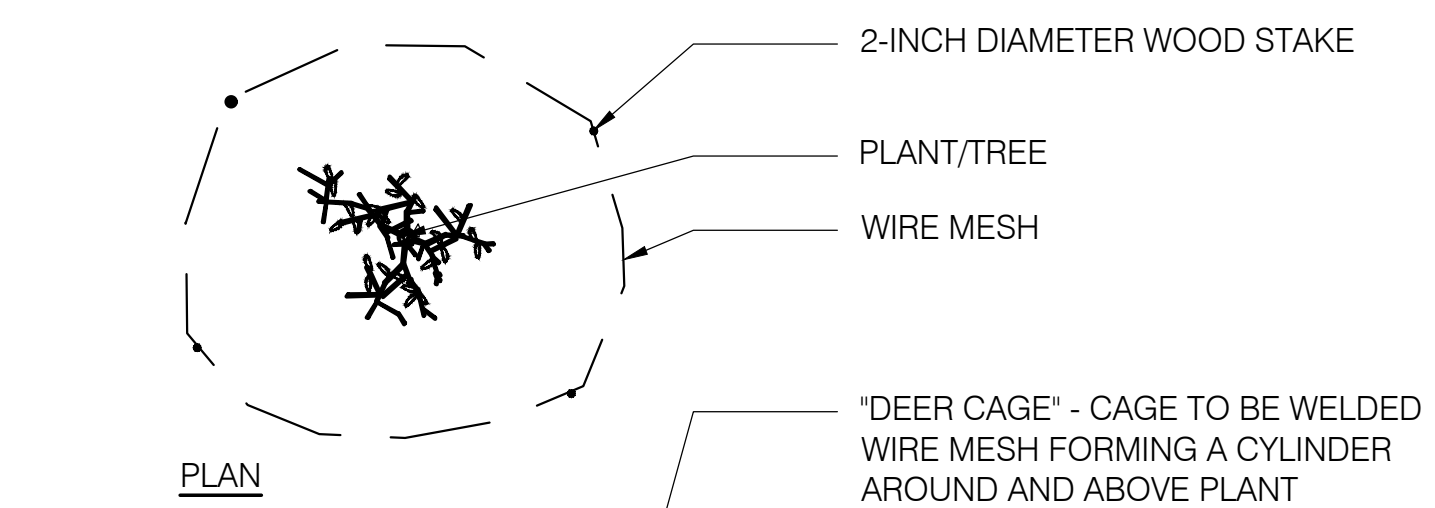
**4** SHRUB PLANTING ON SLOPE DETAIL  
NOT TO SCALE

- NOTES:
- REMOVE TEMPORARY WATERING BASINS ONCE RAINY SEASON HAS COMMENCED.
  - IF NATIVE SOIL HAS BEEN TREATED WITH LIME, TREATED SOIL TO BE EXCAVATED AND REPLACED WITH IMPORTED SOIL. DRAINAGE/PERCOLATION TESTS TO BE ADMINISTERED. SEE CIVIL AND SECTION 32 91 13 FOR MORE INFORMATION.

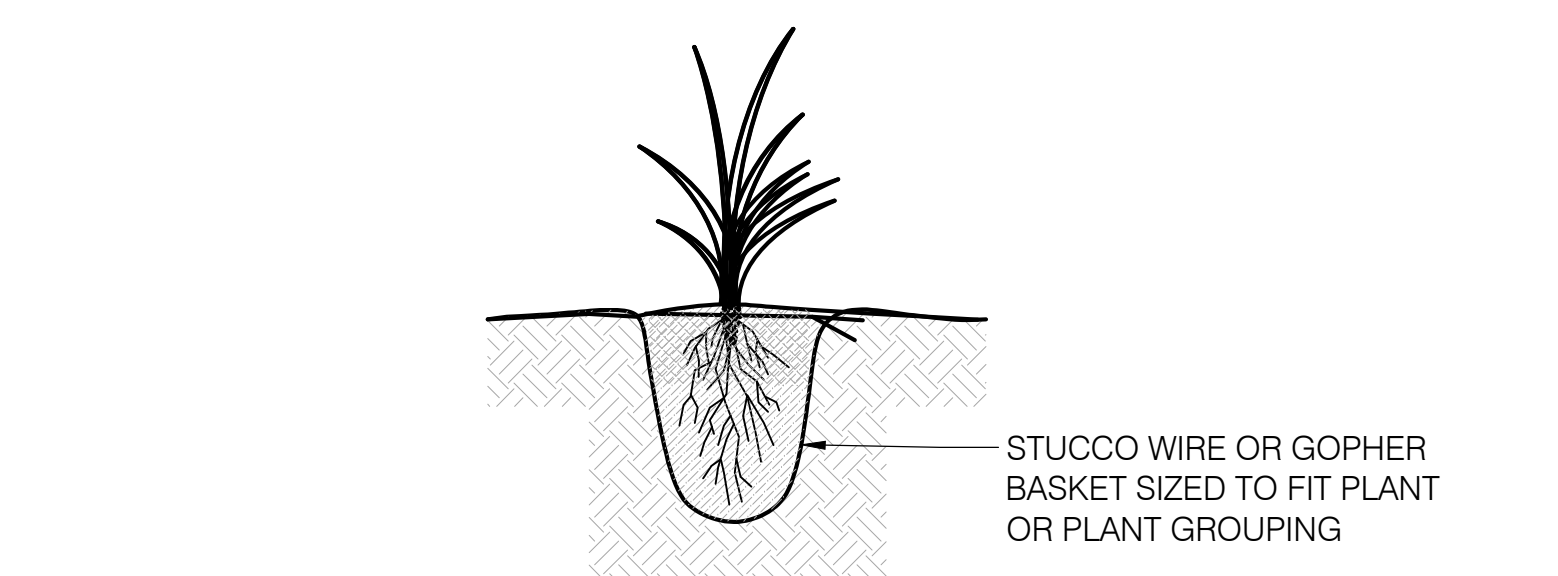


**3** SHRUB PLANTING DETAIL  
NOT TO SCALE

NOTE:  
1. CONTRACTOR TO SUBMIT TREE AND SHRUB PROTECTION PLAN FOR REVIEW AND APPROVED BY OWNER'S REPRESENTATIVE. ALL PLANTS TO BE PROTECTED FROM DEER AND RODENTS.

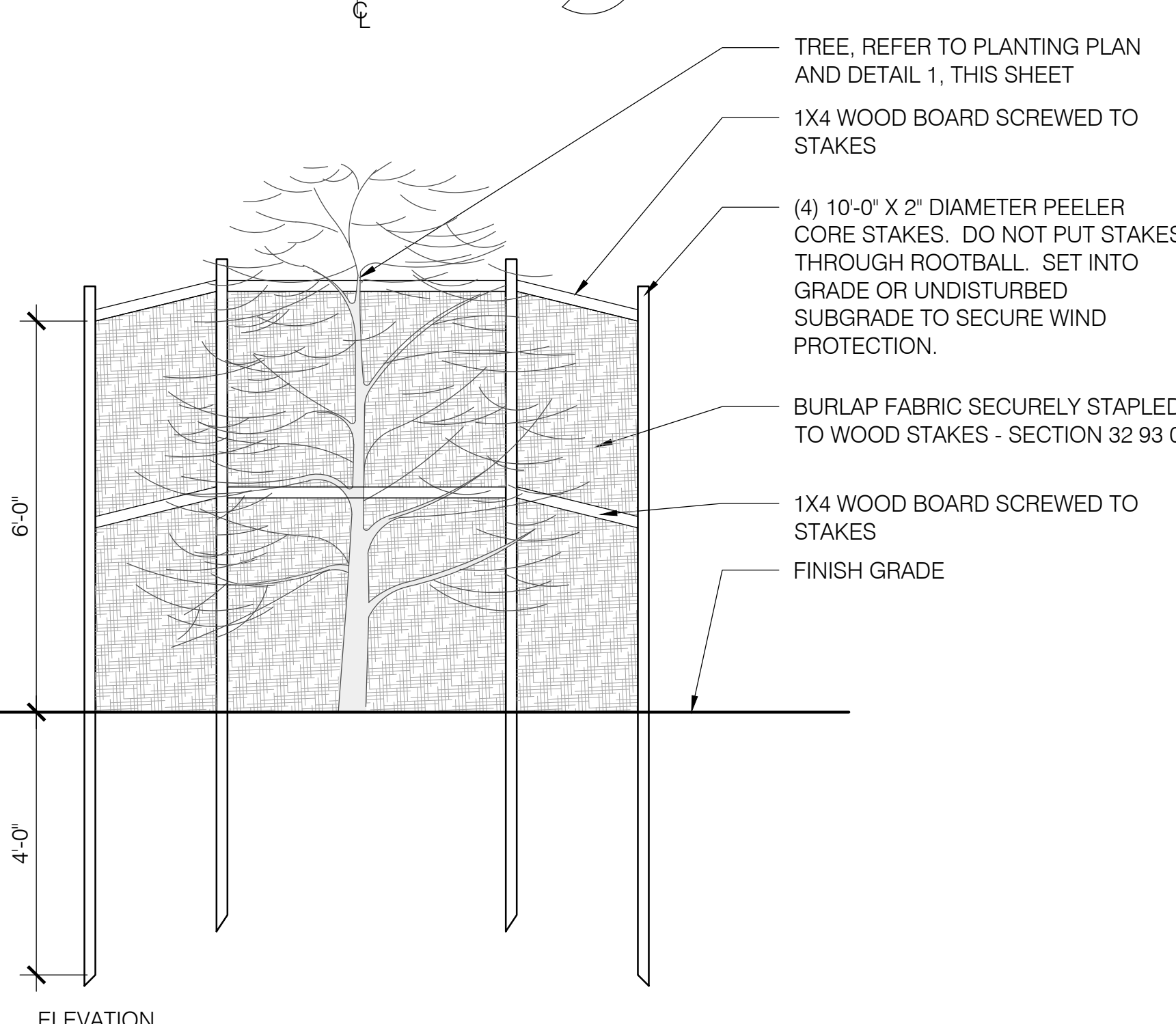
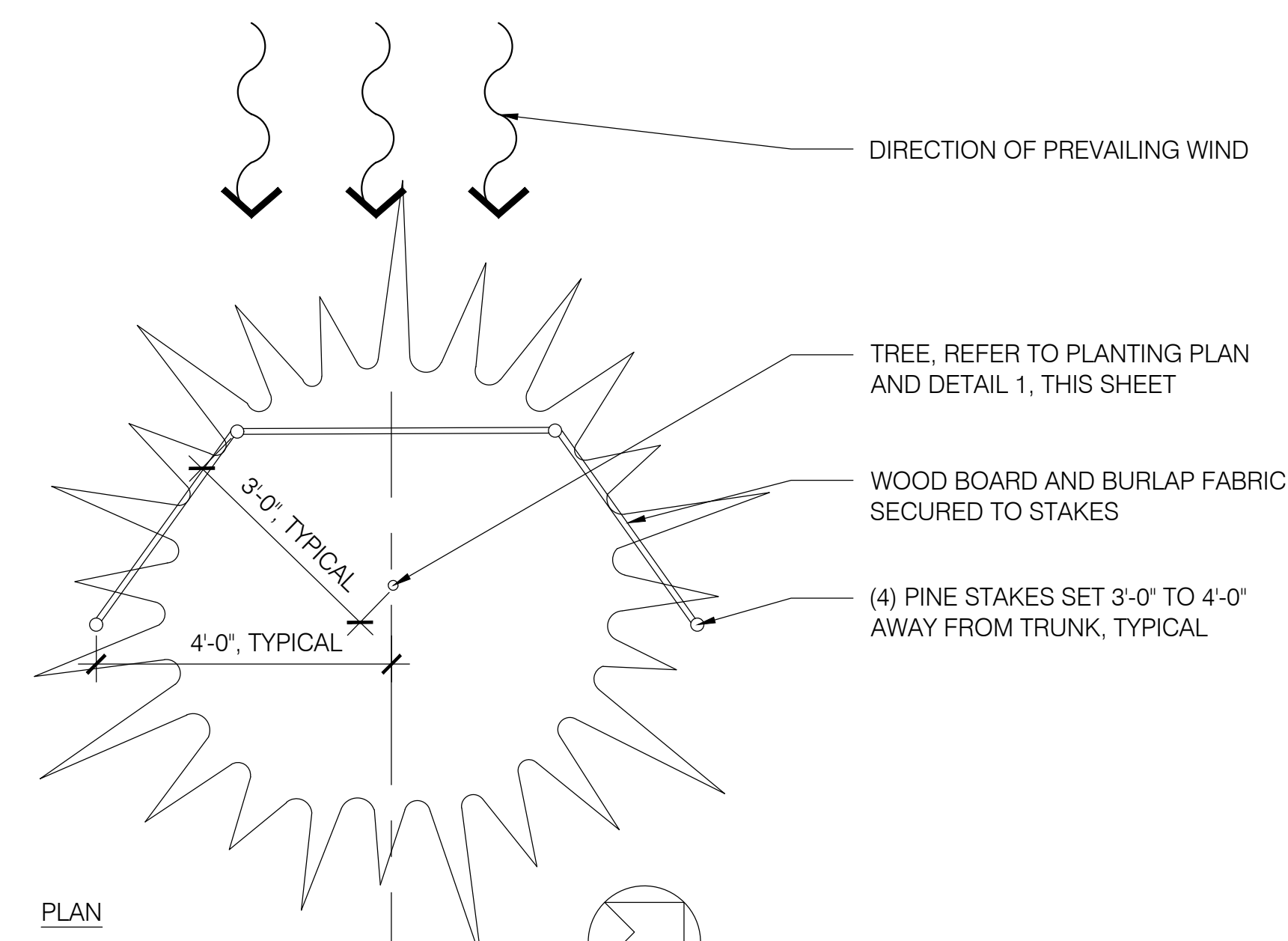


**8** DEER PROTECTION DETAIL  
NOT TO SCALE



**7** RODENT PROTECTION FOR SHRUBS  
NOT TO SCALE

NOTES:  
1. WIND GUARDS ARE TO REMAIN UNTIL TREE IS ESTABLISHED AND FULLY ROOTED.



**9** WIND GUARD DETAIL  
NOT TO SCALE

T:\PROJECTS\171230 Pyatok Moss Beach\Drawings\MIDPEN\BLACK\DETAILS.dwg, L1.02, 06/21/2022, 11:00:16 AM, DWG TO PDF.pc3, ARCHL1.dwg, 11/08/09, 4:50:00 PM, 1:1



IRRIGATION NOTES

- 1. THE IRRIGATION SYSTEM, IN COMPLIANCE WITH STATE AND LOCAL WATER EFFICIENT LANDSCAPE ORDINANCES, WILL BE DESIGNED TO APPLY THE MINIMUM AMOUNT OF WATER REQUIRED TO MAINTAIN GOOD PLANT HEALTH. TO ACCOMPLISH THIS, THE SYSTEM WILL INCLUDE AN AUTOMATIC WEATHER-BASED CONTROLLER, RAIN SHUT-OFF DEVICE, MASTER CONTROL VALVE, FLOW SENSOR, MATCHED PRECIPITATION RATE SPRINKLER HEADS, ROTORS, BUBBLERS, OR DRIP EMITTERS, A PROPER SETBACK FROM NON-PERMEABLE SURFACES, AND SEPARATE SOLENOID CONTROL VALVES FOR DIFFERENT HYDROZONES (PLANT WATER USE LEVELS); IT WILL BE DESIGNED TO PREVENT RUNOFF AND OVERSPRAY. THE IRRIGATION SYSTEM WILL INCLUDE WATERING SCHEDULES BASED ON LOCAL EVAPOTRANSPIRATION DATA TAKEN FROM CIMIS AND WILL BE REGULATED BY THE AUTOMATIC IRRIGATION CONTROLLER.

PLANTING NOTES

- 1. CONTRACTOR SHALL PROCURE PLANT SPECIES WITHIN THIRTY (30) DAYS OF AWARD OF THE CONTRACT. CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING REQUIRED DEPOSITS TO ENSURE TIMELY PROCUREMENT OF THE SPECIFIED PLANTS. CONTRACTOR SHALL PROVIDE OWNERS REPRESENTATIVE WITH WRITTEN VERIFICATION (RECEIPTS) SHOWING PROCUREMENT TO MEET THE PLANTING REQUIREMENTS. CONTRACTOR TO SUBMIT PHOTOGRAPHS OF ALL PLANTS FOR REVIEW AND APPROVAL BY OWNERS REPRESENTATIVE. PLANTS MAY NEED TO BE CONTRACT GROWN TO ENSURE PLANT AVAILABILITY.
2. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED IN PLACE UNLESS NOTED OTHERWISE. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE OF ANY KIND TO EXISTING TREES DURING THE COURSE OF CONSTRUCTION.
3. HOLD FINISHED GRADES FOR SHRUB AREAS 1 1/2 INCHES BELOW TOP OF ADJACENT PAVEMENT OR WALLS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
4. GRADUALLY ROUND OFF TOPS AND TOES OF ALL PLANTED SLOPES TO PRODUCE A SMOOTH AND NATURAL TRANSITION BETWEEN EXISTING PLANTING, FINISH GRADES, AND NEW PLANTING.
5. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE A MINIMUM OF FIVE (5) DAYS IN ADVANCE TO SCHEDULE PLANT DELIVERY DATES. OWNERS REPRESENTATIVE SHALL INSPECT PLANTS UPON ARRIVAL AND RESERVES THE RIGHT TO REJECT PLANTS.
6. CONTRACTOR SHALL PLACE PLANTS AS SHOWN ON PLAN AND VERIFY LOCATION WITH OWNER'S REPRESENTATIVE. OWNER'S REPRESENTATIVE MAY REQUEST THAT CONTRACTOR ADJUST OR RELOCATE PLANTS ON-SITE AS NEEDED TO PROPERLY COMPLETE DESIGN.
7. CONTRACTOR TO PROTECT ALL NEW PLANTS FROM GOPHERS, RODENTS, DEER, AND OTHER ANIMALS. TYPE AND EXTENT OF PROTECTION MEASURES SHALL BE DETERMINED BY CONTRACTOR AND SUBMITTED TO OWNERS REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
8. TYPICAL OF ALL TREES - KEEP ALL SHRUBS, GRASSES, PERENNIALS, GROUNDCOVER, VINES, OR SUCCULENTS PLANTINGS 18 INCHES CLEAR FROM ANY EXISTING OR NEW TREE TRUNK.
9. IF SOIL IS LIME TREATED, PLANTING AREAS TO BE EXCAVATED WITHIN 3 INCHES OF THE EDGE OF PAVING/CURB TO A DEPTH OF MINIMUM 18 INCHES AND DISPOSED OF OFF-SITE. PLANTING AREAS TO BE FILLED WITH IMPORTED TOPSOIL AMENDED PER SOILS REPORT. PLANTING AREAS TO BE TESTED FOR PROPER DRAINAGE PRIOR TO PLANTING.
10. COMPACTED SOILS MUST BE TRANSFORMED TO A FRIABLE CONDITION TO MAXIMIZE WATER RETENTION.
11. INCORPORATE COMPOST INTO THE SOIL TO A MINIMUM OF 8 INCHES AT A MINIMUM RATE OF 6 CUBIC YARDS PER 1000 SQUARE FEET. SOILS WITH GREATER THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL ARE EXEMPT FROM ADDING COMPOST AND TILLING.
12. PROVIDE A MINIMUM OF 3 INCHES OF WOOD CHIP MULCH TO SOIL SURFACE AFTER PLANTING, AROUND EXISTING TREES AND SHRUBS TO REMAIN. MULCH SHALL NOT BE PLACED WITHIN A 12-INCH DIAMETER OF TREE TRUNKS AND SHOULD BE KEPT FREE FROM THE CROWN OF ALL SHRUBS, GRASSES, AND PERENNIALS. DO NOT MULCH SEEDED AREAS. MULCH FOR RAIN GARDENS SHALL BE NON-FLOATING, AS ACCEPTED BY LANDSCAPE ARCHITECT. MULCH FOR ALL OTHER PLANTING AREAS SHALL BE 1/2-INCH TO 1-INCH DIAMETER COMPOSTED REDWOOD, FREE OF STICKS, DIRT, AND OTHER DEBRIS, AS ACCEPTED BY LANDSCAPE ARCHITECT.
13. SOIL AMENDMENTS MUST BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE SOIL ANALYSIS REPORT AND WHAT IS APPROPRIATE FOR THE PLANTS SELECTED.
14. CONTRACTOR TO REVIEW ALL PLANS AND SPECIFICATIONS FOR SUBMITTALS, TESTING, AND OTHER REQUIREMENTS. CONTRACTOR TO IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN SITE CONDITIONS AND INTENT OF THESE DRAWINGS. ANY CONFLICTS WILL BE RESOLVED PRIOR TO COMPLETING WORK.

PLANT LIST

- ENTRY TREE - 15 GALLON
• LAGUNARIA PATERSONIA (PYRAMID TREE)
• LOPHOSTEMON CONFERTUS (BRISBANE BOX)
• MAGNOLIA LITTLE GEM (DWARF SOUTHERN MAGNOLIA)
• PISTACIA CHINENSIS (CHINESE PISTACHE)
• QUERCUS RUBRA (NORTHERN RED OAK)

- PARKING LOT SHADE TREE - 15 GALLON
• LOPHOSTEMON CONFERTUS (BRISBANE BOX)

- BUILDING ENTRY TREE - 15 GALLON
• CERCIS CANADENSIS FOREST PANSY
• GEJERA PARVIFLORA (AUSTRALIAN WILLOW)
• LAGERSTROEMIA INDICA NATCHEZ (CRAPE MYRTLE)
• LAURUS SARATOGA (SARATOGA LAUREL)

- NATIVE TREE - 15 GALLON
• QUERCUS AGRIFOLIA (COAST LIVE OAK)

- ACCENT TREE - 15 GALLON
• CERCIS CANADENSIS FOREST PANSY (EASTERN REDBUD)

- EVERGREEN SCREENING - MIX OF 15, 5, AND 1 GALLONS
• CEANOTHUS THYRSIFLORUS (BLUE BLOSSOM)
• GARRYA ELLIPTICA (COAST SILKTASSEL)
• HESPEROCYPARIS MACROCARPA (MONTEREY CYPRESS)
• HETEROMELES ARBUTIFOLIA (TOYON)
• RHUS INTEGRIFOLIA (LEMONADE BERRY)

- GROUNDCOVER AND SHRUBS - MIX OF 1 AND 5 GALLONS
• ACHILLEA MILLEFOLIUM (YARROW)
• ARCTOSTAPHYLOS PAJAROENSIS (PAJARO MANZANITA)
• ARTEMISIA PYCNOCEPHALA 'DAVID'S CHOICE' (COASTAL SAGEWORT)
• BACCHARIS PILULARIS (COYOTE BRUSH)
• CALAMAGROSTIS NUTKAENSIS (PACIFIC REED GRASS)
• CEANOTHUS THYRSIFLORUS (BLUE BLOSSOM)
• ERIGERON GLAUCUS (BEACH DAISY)
• ERIOPHYLLUM STAECHADIFOLIUM (LIZARD-TAIL)
• GARRYA ELLIPTICA (COAST SILKTASSEL)
• GRINDELIA STRICTA VAR. PLATYPHYLLA 'RAY'S CARPET' (COASTAL GUM PLANT)
• HETEROMELES ARBUTIFOLIA (TOYON)
• RHUS INTEGRIFOLIA (LEMONADE BERRY)
• RIBES SANGUINEUM (RED FLOWERING CURRANT)
• SATUREJA DOUGLASII (YERBA BUENA)

- DETENTION BASINS - MIX OF 1 AND 5 GALLONS
• CAREX PANSA (SANDDUNE SEDGE)
• CORNUS STOLONIFERA (RED STEM DOGWOOD)
• ELYMUS CONDENSATUS (GIANT WILD RYE)
• ELYMUS GLAUCUS (BLUE WILD RYE)
• IRIS DOUGLASIANA (DOUGLAS IRIS)

- SLOPE PLANTING - SEED
• FESTUCA RUBRA (RED FESCUE) 95%
• ESCHSCHOLZIA CALIFORNICA (CALIFORNIA POPPY) 5%



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California Landscape Architect License 5163

CYPRESS POINT FAMILY COMMUNITY
Carlos Way, Moss Beach

STAMP:

REVISION SCHEDULE table with columns NO., ISSUE, DATE and rows for Planting, Revisit, Adjusted Heights, Footprint Reduction

JOB NUMBER: 1603
DRAWN BY: OWMO
CHECKED BY: GL
DATE: 06/21/2022
SCALE: AS NOTED
TITLE: PLANT LIST, IRRIGATION AND PLANTING NOTES

SHEET: L1.03







**CYPRESS POINT FAMILY COMMUNITY**  
Carlos Street, Moss Beach

STAMP:

REVISION SCHEDULE

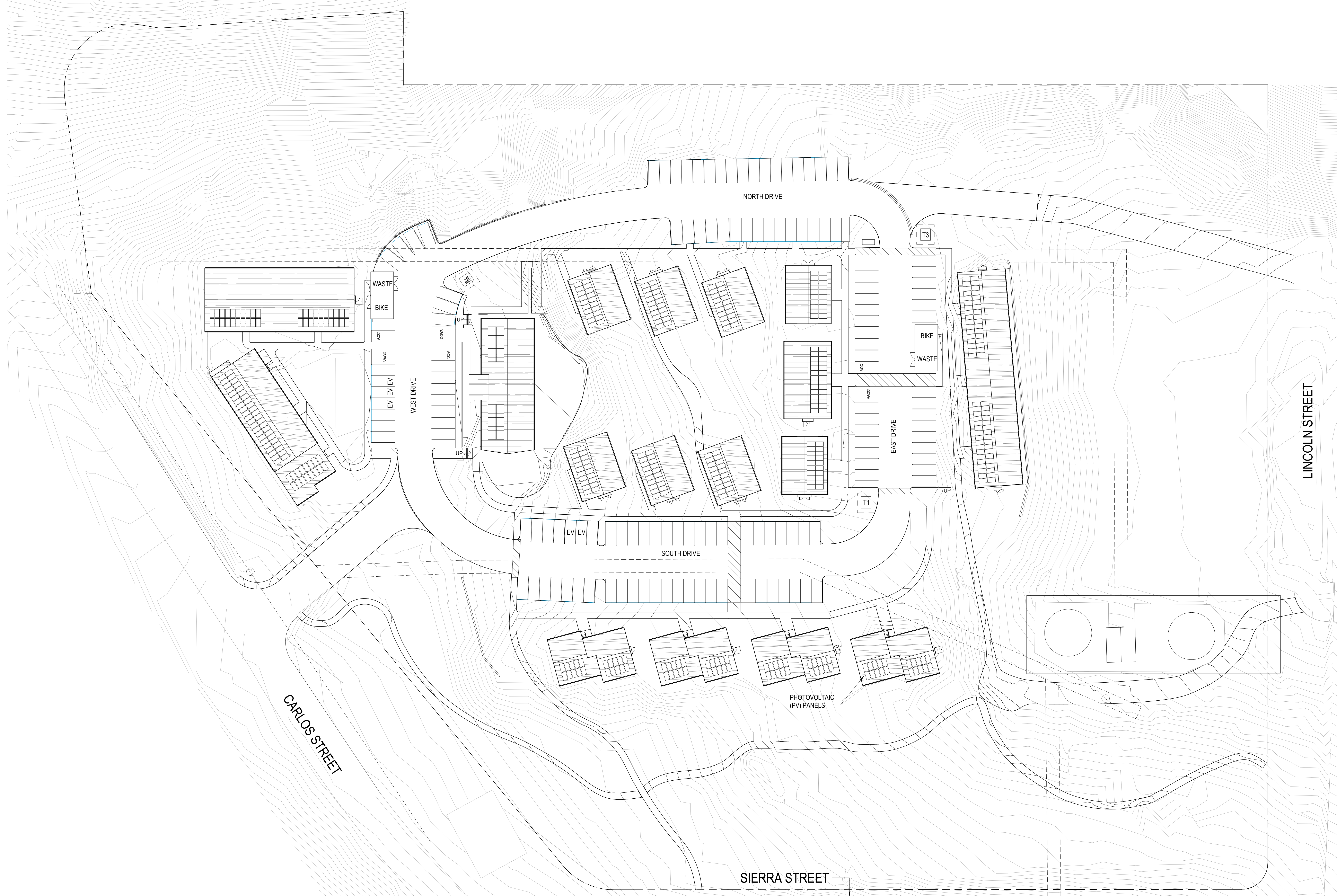
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1	Planning Resubmittal	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/21/22

JOB NUMBER: 1603  
DRAWN BY: GP/SC  
CHECKED BY: PW  
DATE: June 24, 2022  
SCALE: 1" = 30'-0"

TITLE:  
**ROOF PLAN**

SHEET:

**A2.01**



ROOF PLAN 1  
1" = 30'-0"



**CYPRESS POINT FAMILY COMMUNITY**  
Carlos Street, Moss Beach

STAMP:

REVISION SCHEDULE

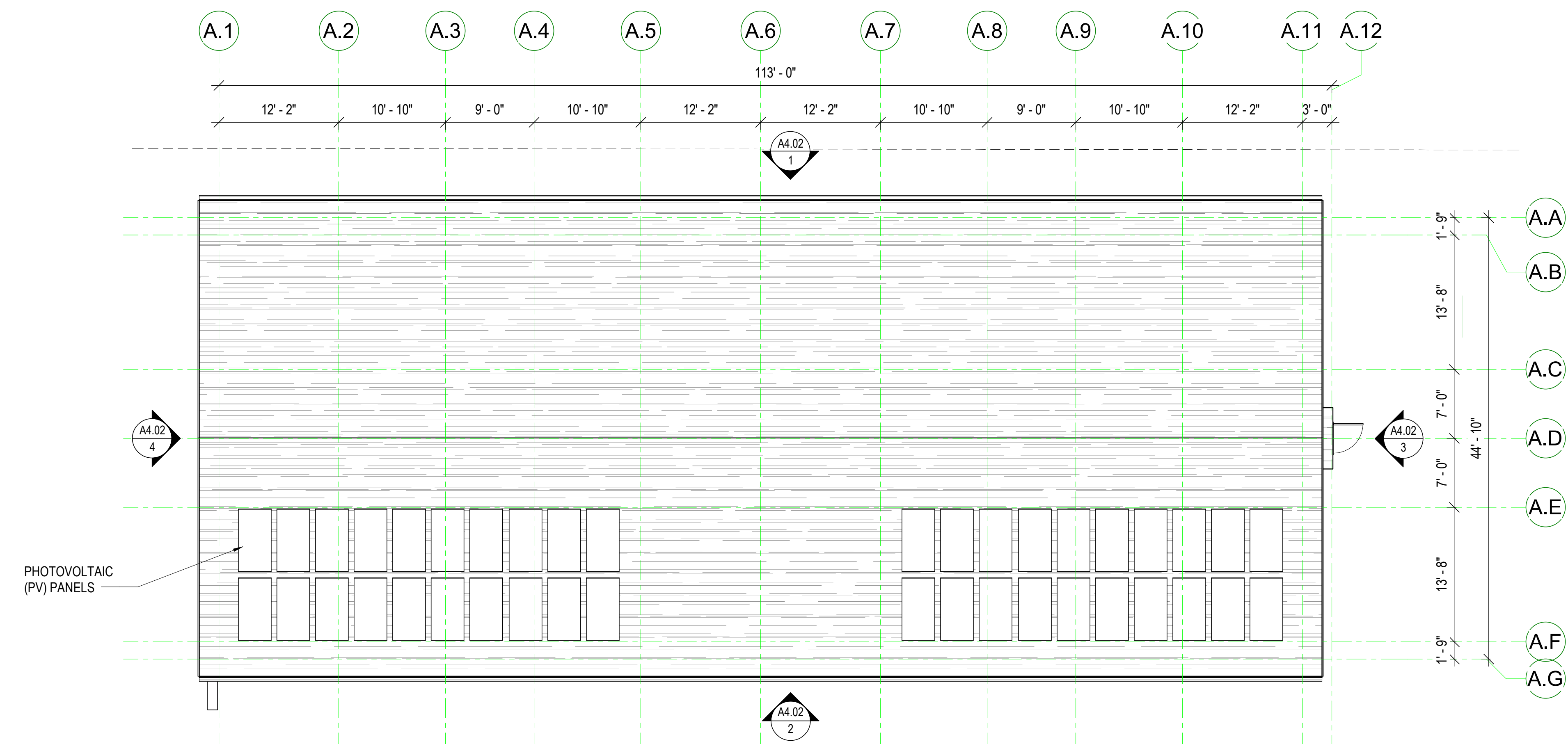
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2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/21/22

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DATE: June 24, 2022  
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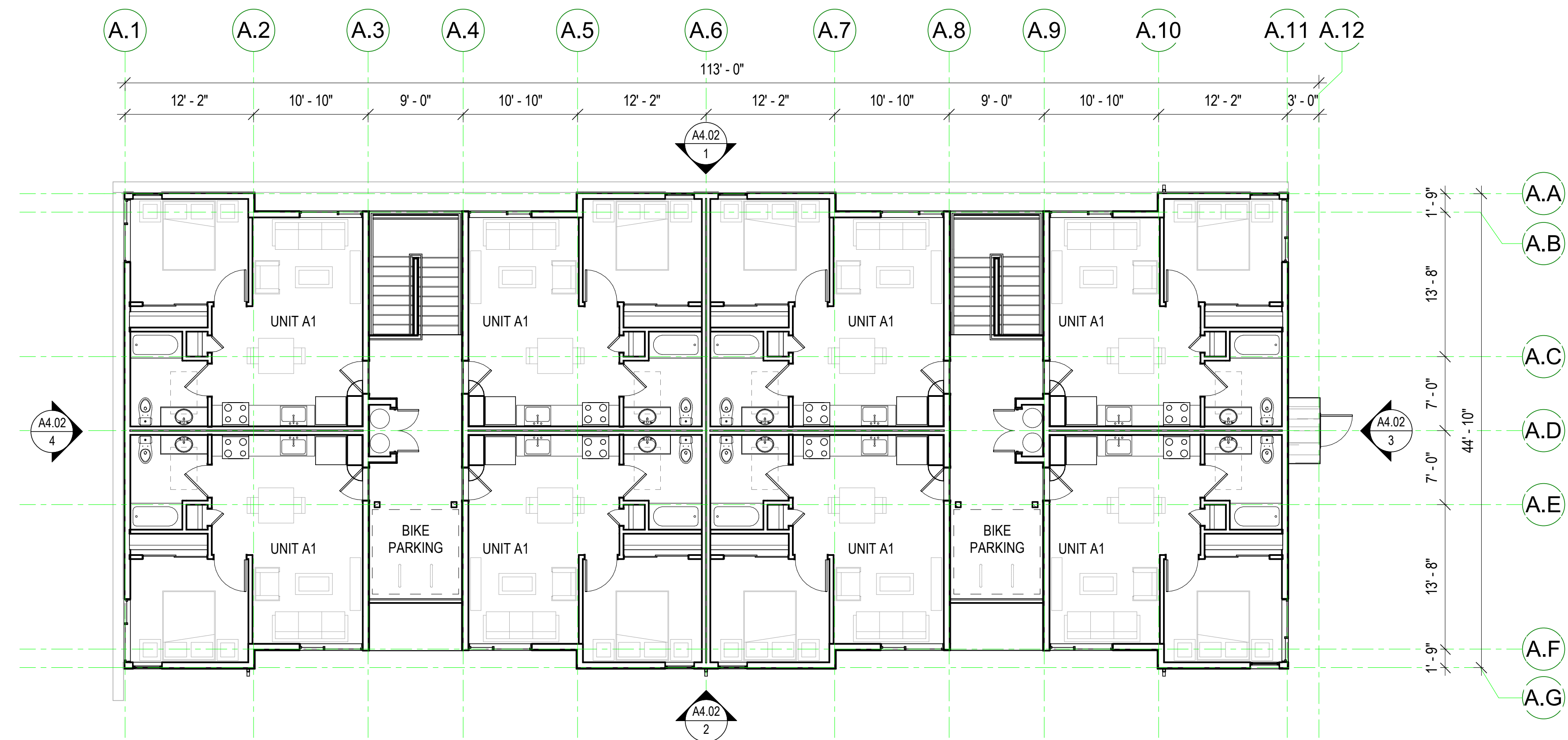
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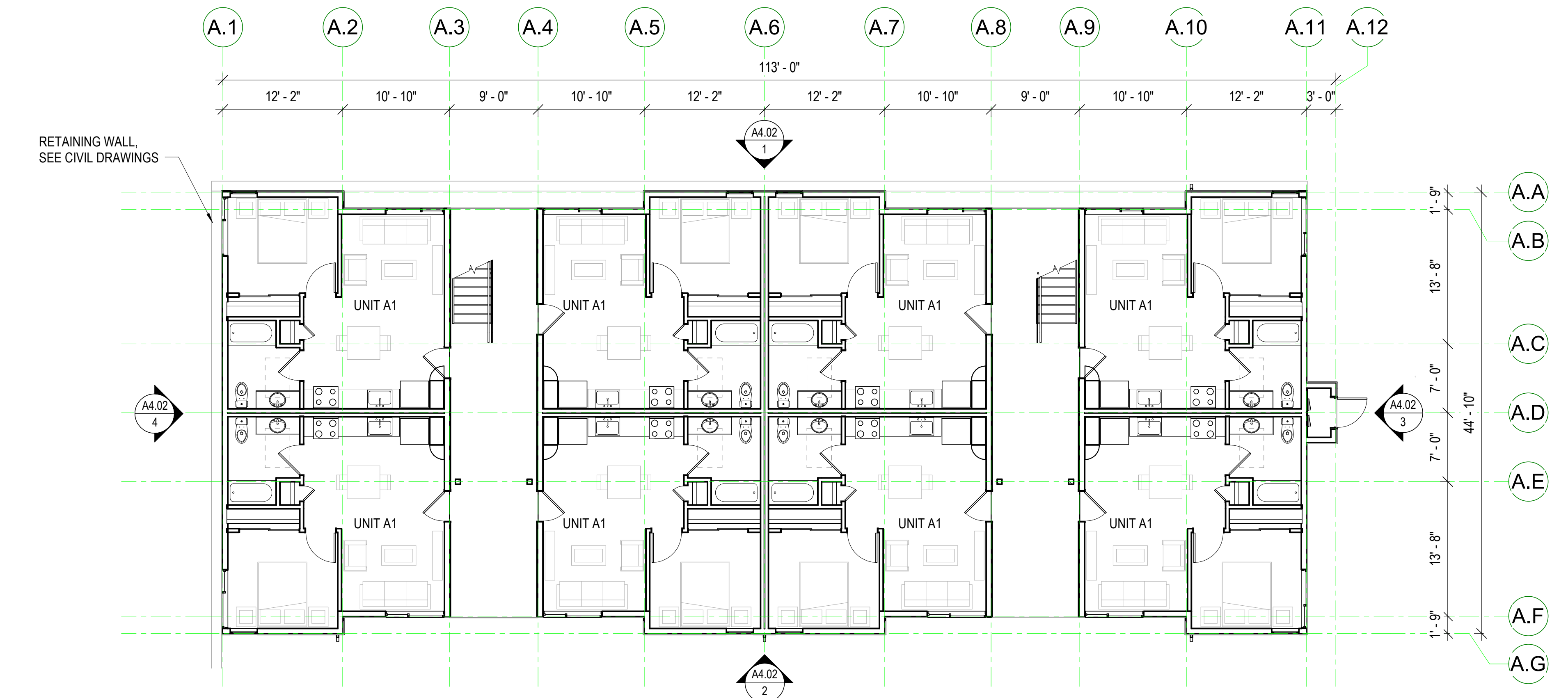
**A4.01**



**BUILDING TYPE A - ROOF PLAN**  
1/8" = 1'-0" 3



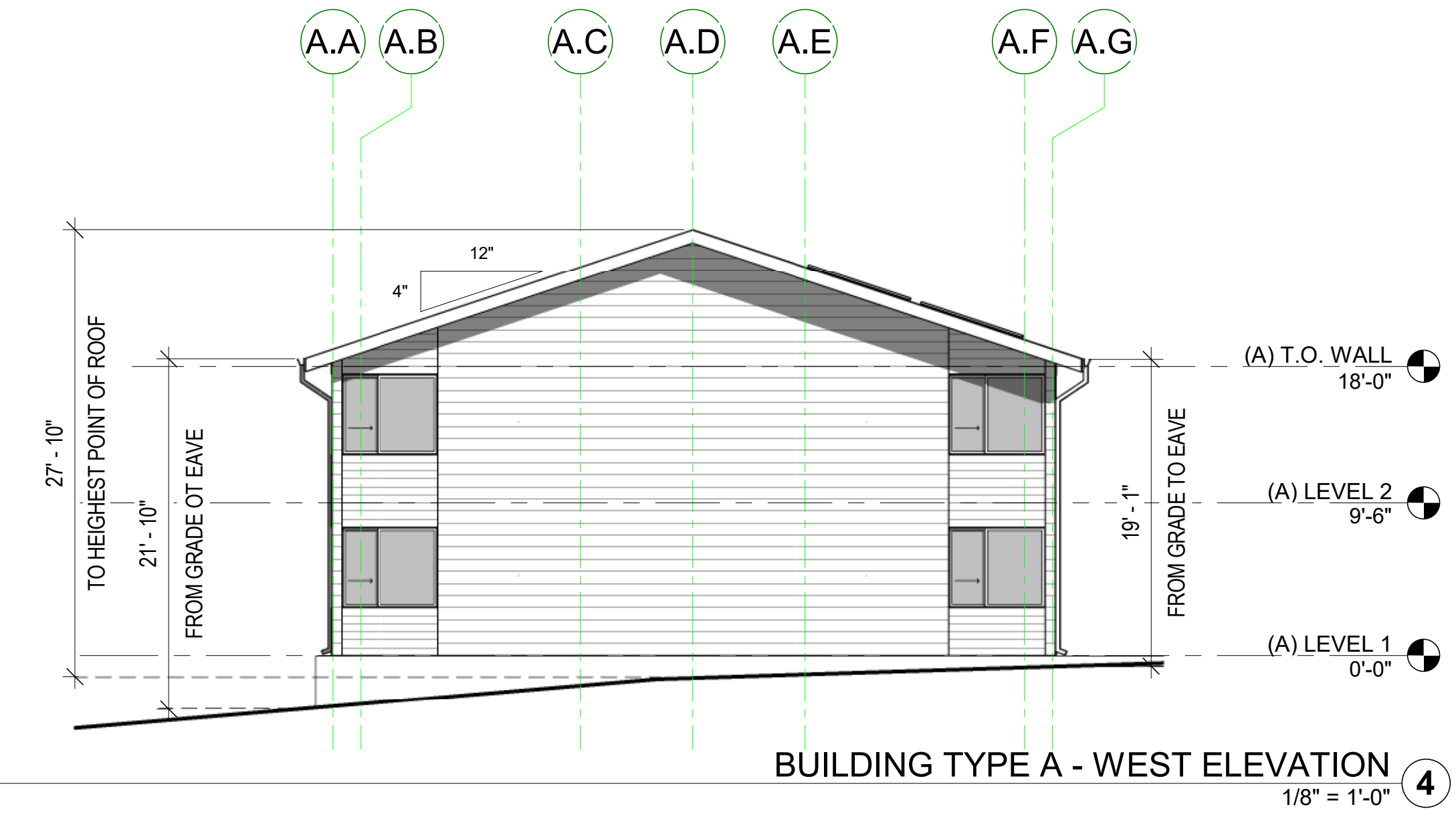
**BUILDING TYPE A - LEVEL 2 PLAN**  
1/8" = 1'-0" 2



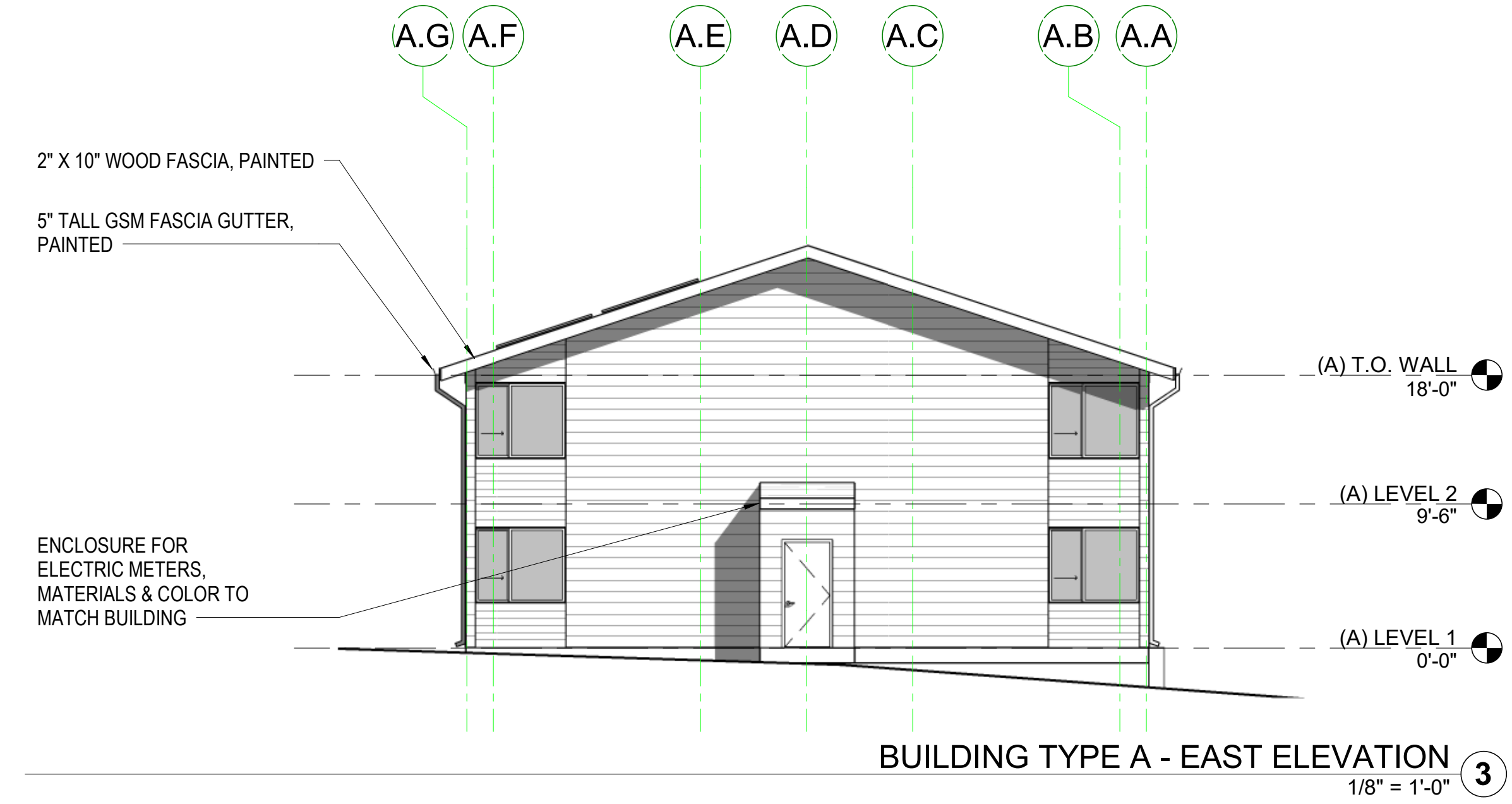
**BUILDING TYPE A - LEVEL 1 PLAN**  
1/8" = 1'-0" 1



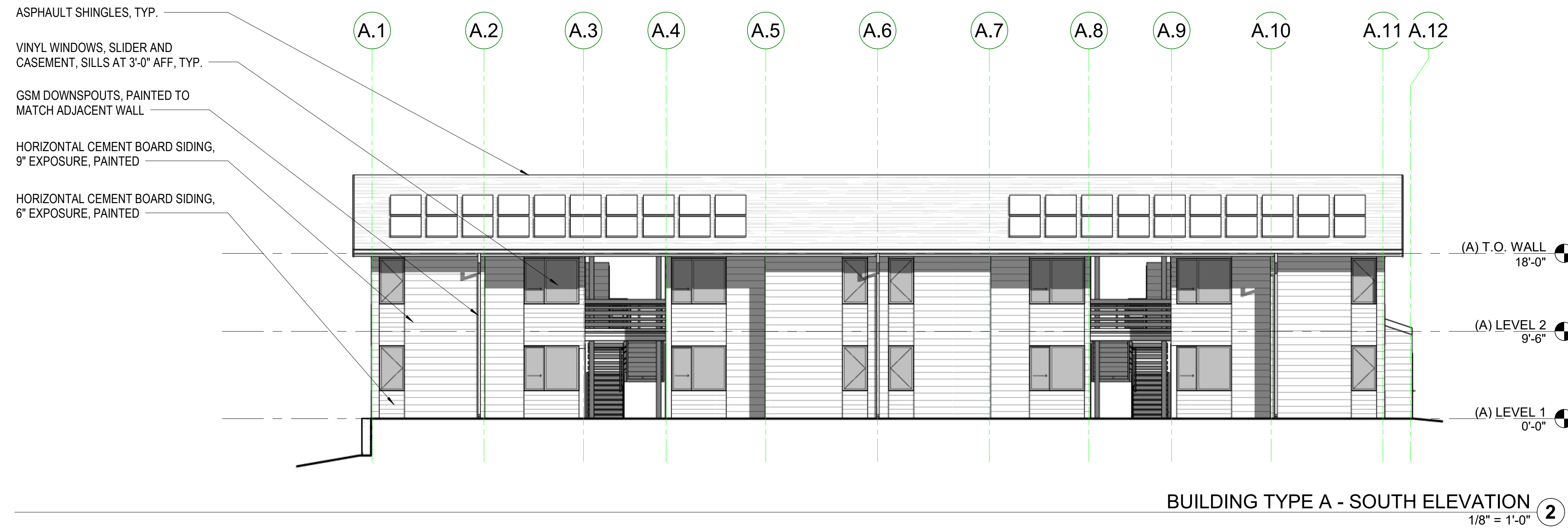
**CYPRESS POINT FAMILY COMMUNITY**  
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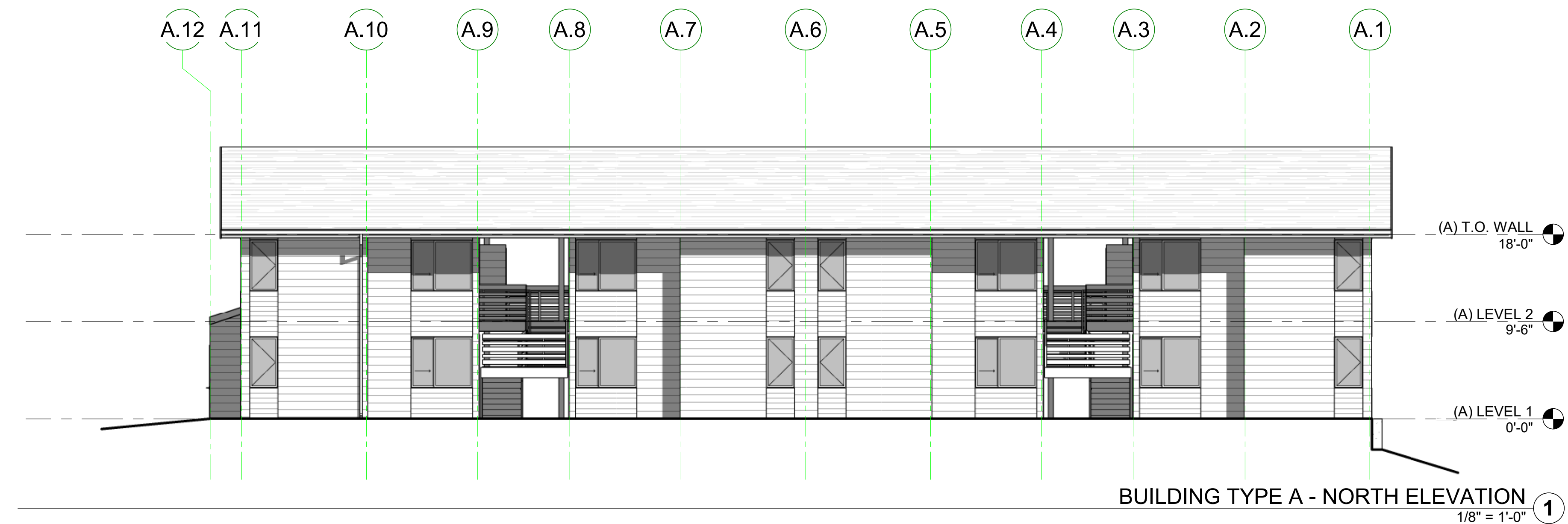
**BUILDING TYPE A - WEST ELEVATION**  
1/8" = 1'-0" ④



**BUILDING TYPE A - EAST ELEVATION**  
1/8" = 1'-0" ③



**BUILDING TYPE A - SOUTH ELEVATION**  
1/8" = 1'-0" ②



**BUILDING TYPE A - NORTH ELEVATION**  
1/8" = 1'-0" ①

STAMP:

REVISION SCHEDULE

NO.	ISSUE	DATE
1	Planning Resolution	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/11/22

JOB NUMBER: 1603  
DRAWN BY: GP/SC  
CHECKED BY: PW  
DATE: June 24, 2022  
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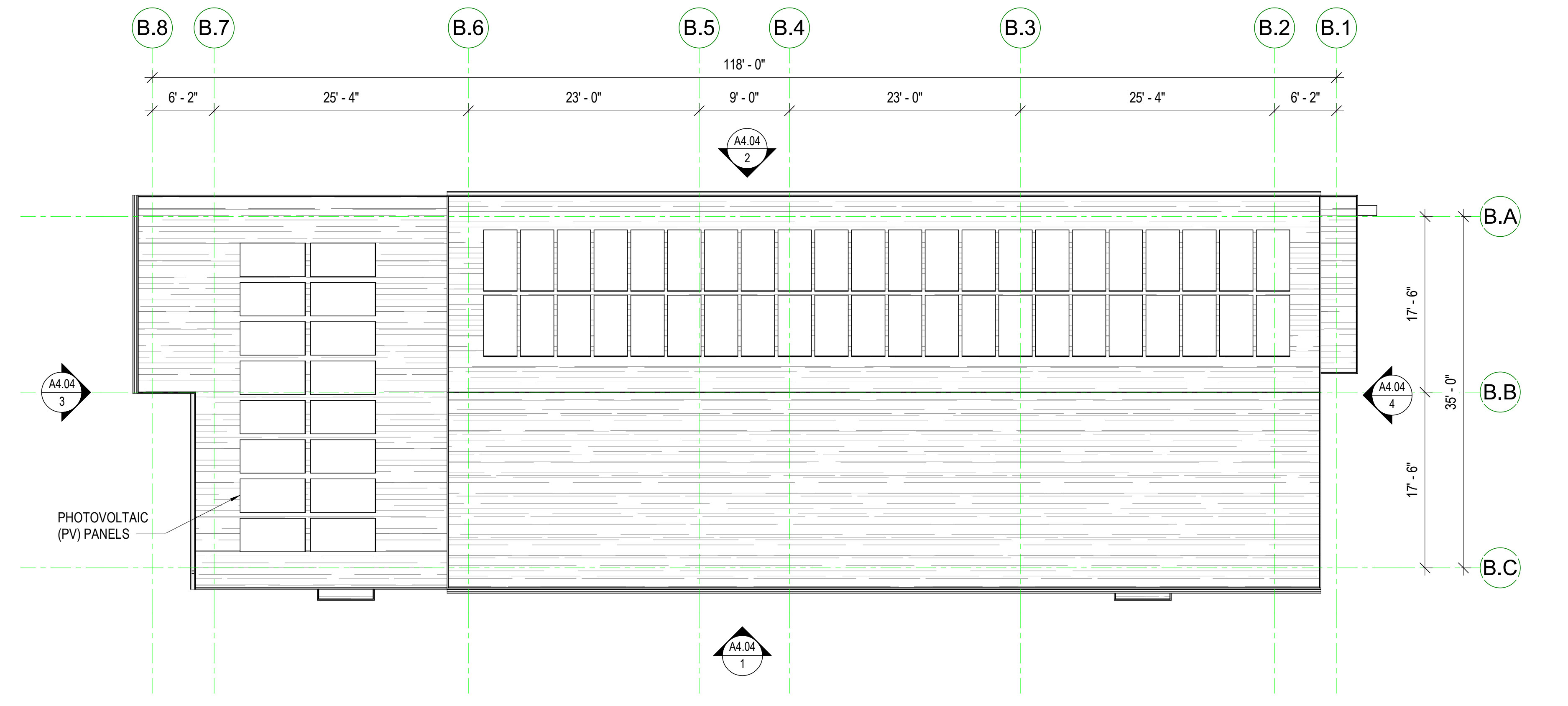
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SHEET:

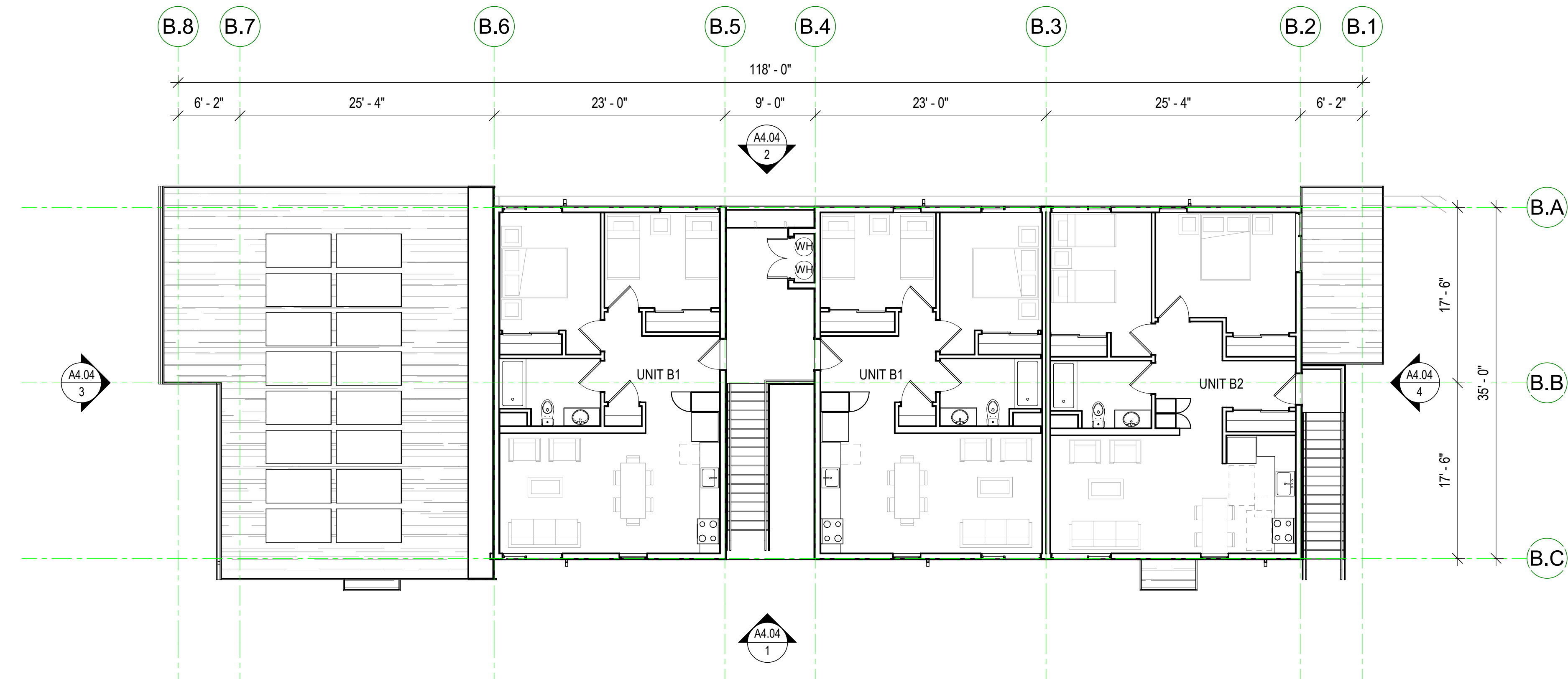
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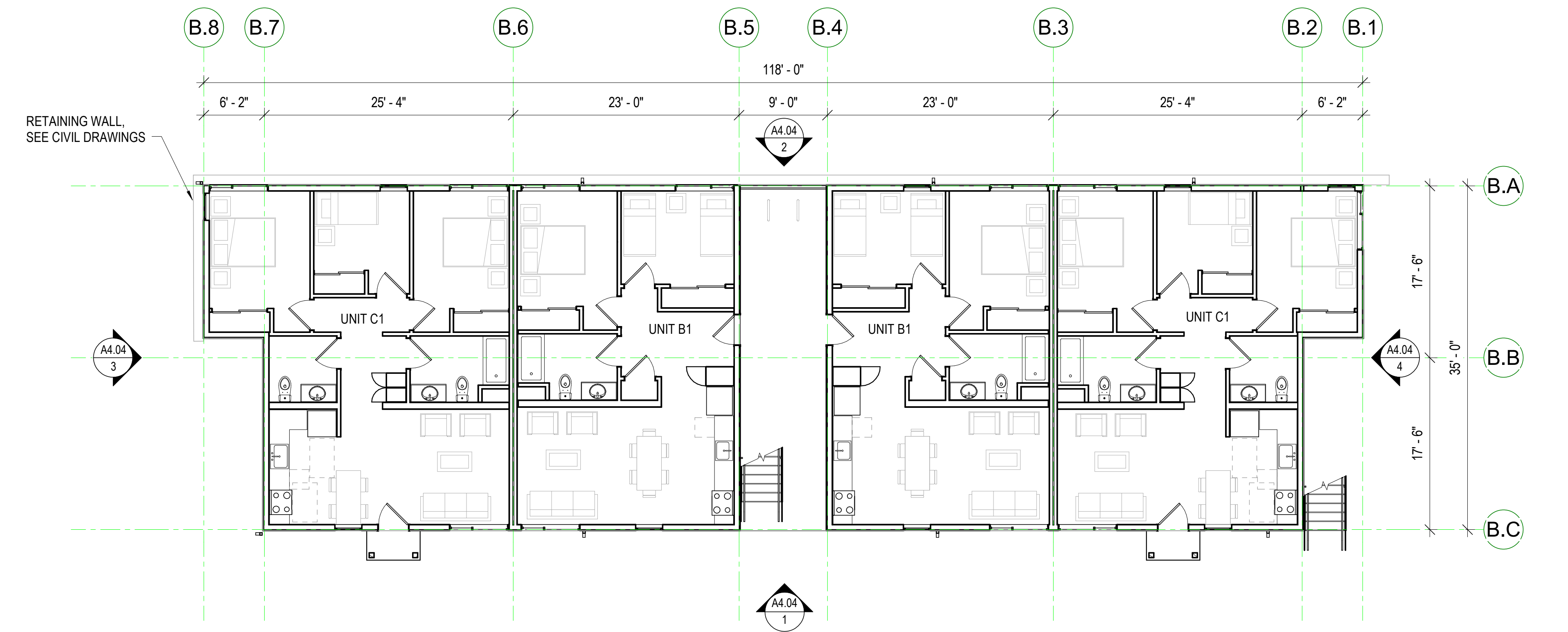
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Carlos Street, Moss Beach



**BLDG TYPE B - ROOF PLAN**  
1/8" = 1'-0" ③



**BUILDING TYPE B - UNIT PLAN - LEVEL 2**  
1/8" = 1'-0" ②



**BUILDING TYPE B - UNIT PLAN - LEVEL 1**  
1/8" = 1'-0" ①

STAMP:

REVISION SCHEDULE

NO.	ISSUE	DATE
1	Planning Resolution	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/21/22

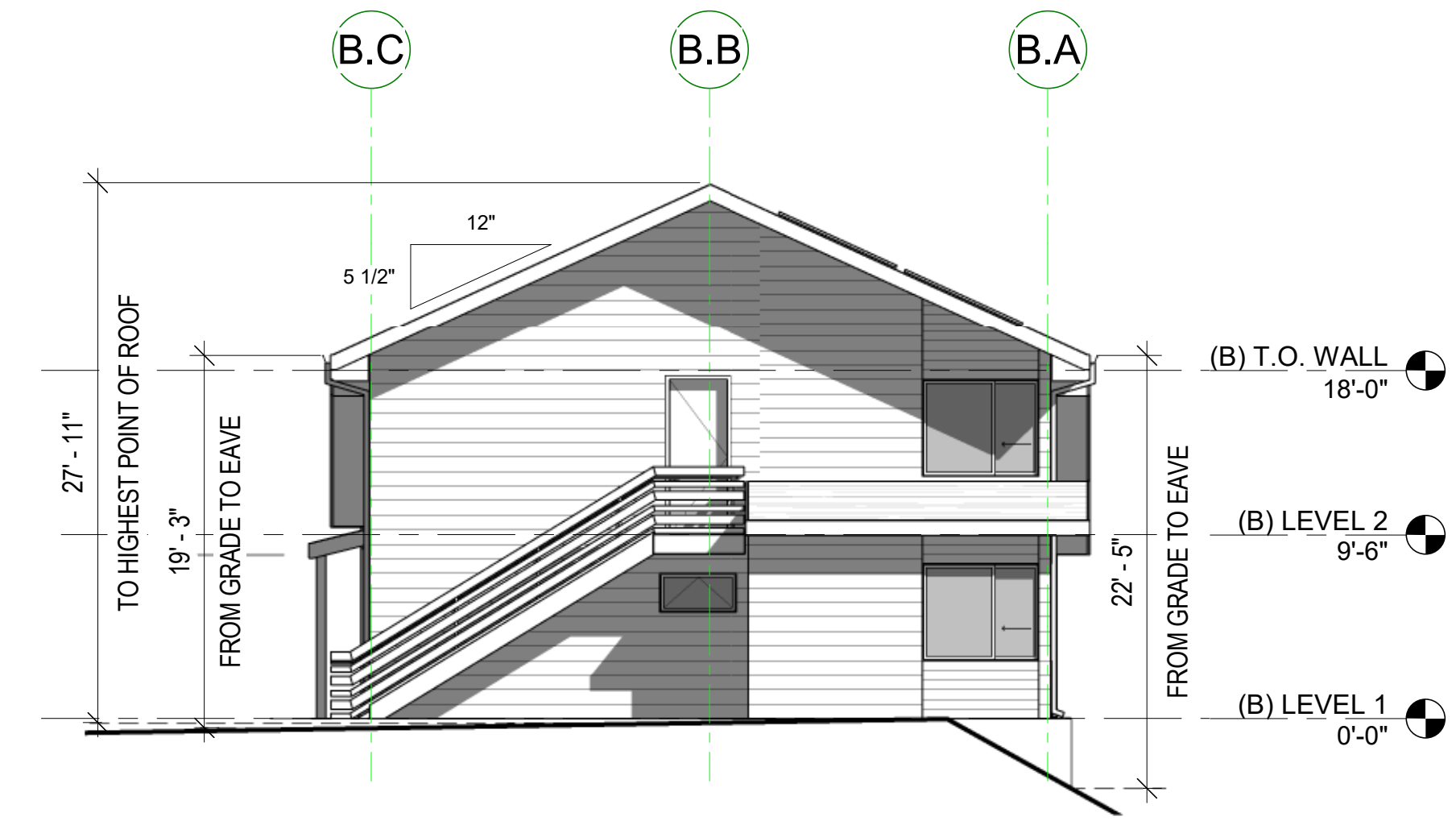
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TITLE:  
**BUILDING TYPE B - FLOOR PLANS**

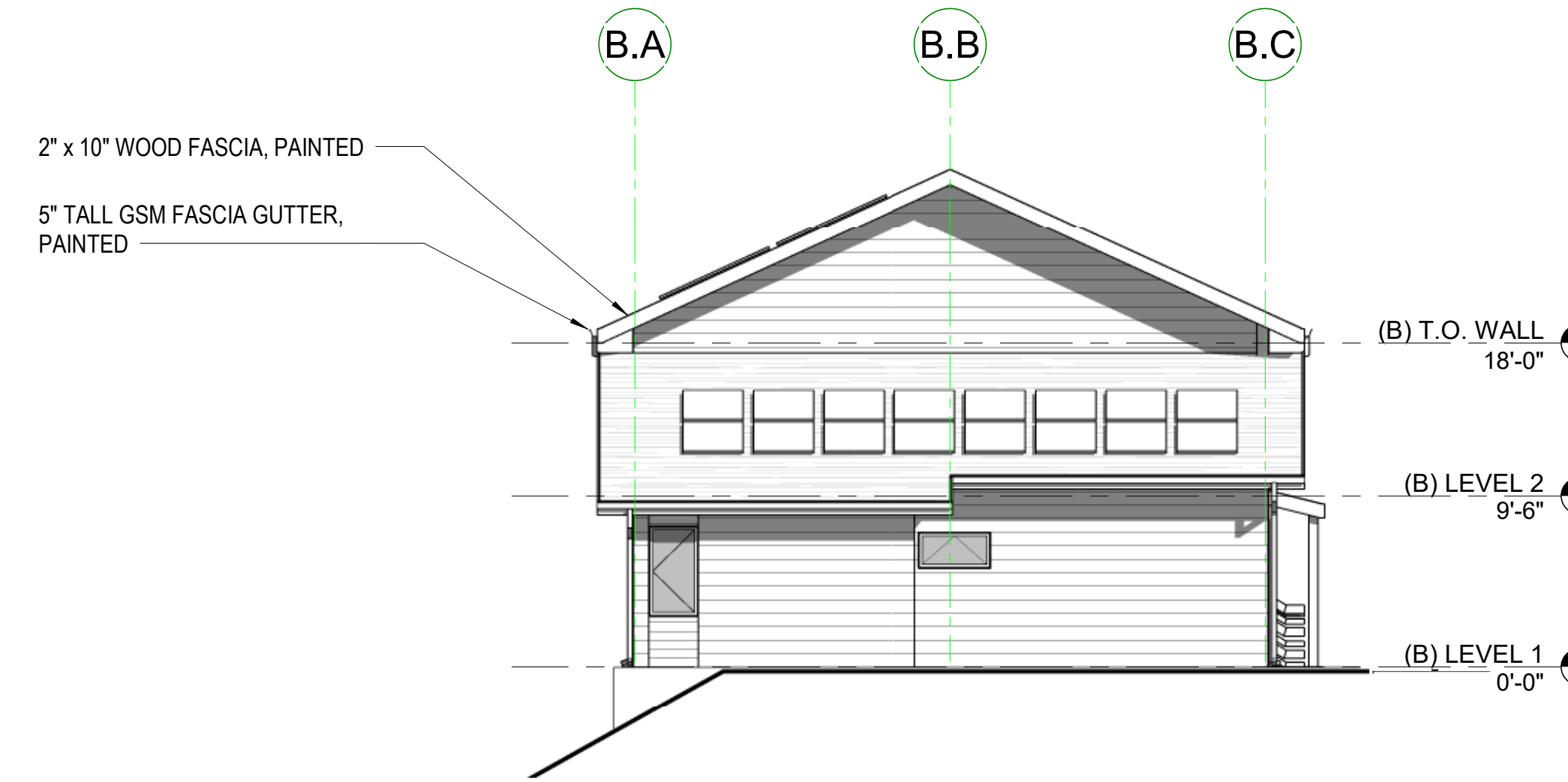
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**A4.03**





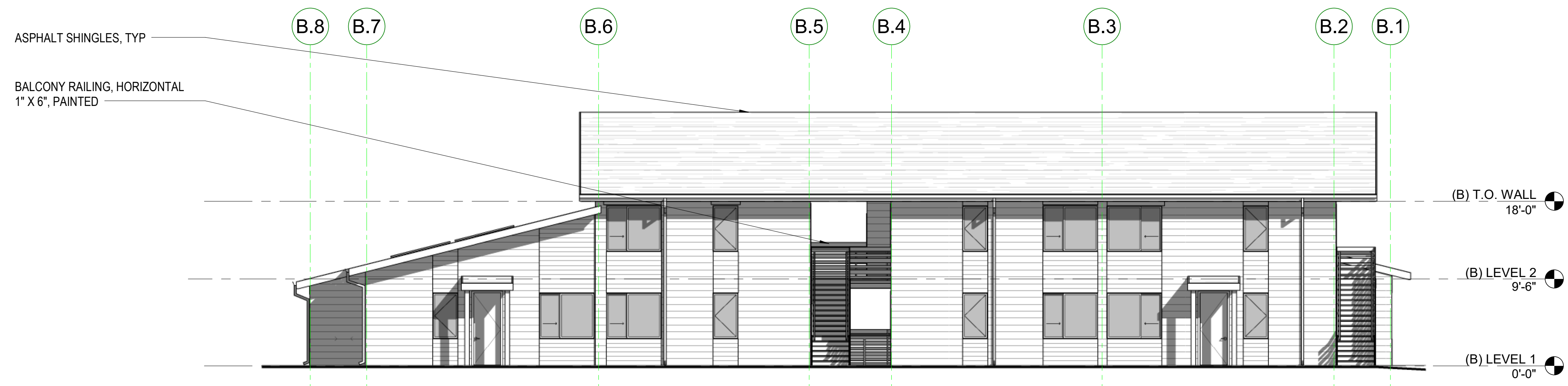
**BUILDING TYPE B - NORTH ELEVATION** ④  
1/8" = 1'-0"



**BUILDING TYPE B - SOUTH ELEVATION** ③  
1/8" = 1'-0"



**BUILDING TYPE B - WEST ELEVATION** ②  
1/8" = 1'-0"



**BUILDING TYPE B - EAST ELEVATION** ①  
1/8" = 1'-0"

STAMP:

REVISION SCHEDULE		
NO.	ISSUE	DATE
1	Planning Resolution	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/11/22

JOB NUMBER: 1603  
DRAWN BY: GP/SC  
CHECKED BY: PW  
DATE: June 24, 2022  
SCALE: 1/8" = 1'-0"  
TITLE:

**BUILDING TYPE B - ELEVATIONS**

SHEET:

**A4.04**



**CYPRESS POINT FAMILY COMMUNITY**  
Carlos Street, Moss Beach

STAMP:

REVISION SCHEDULE

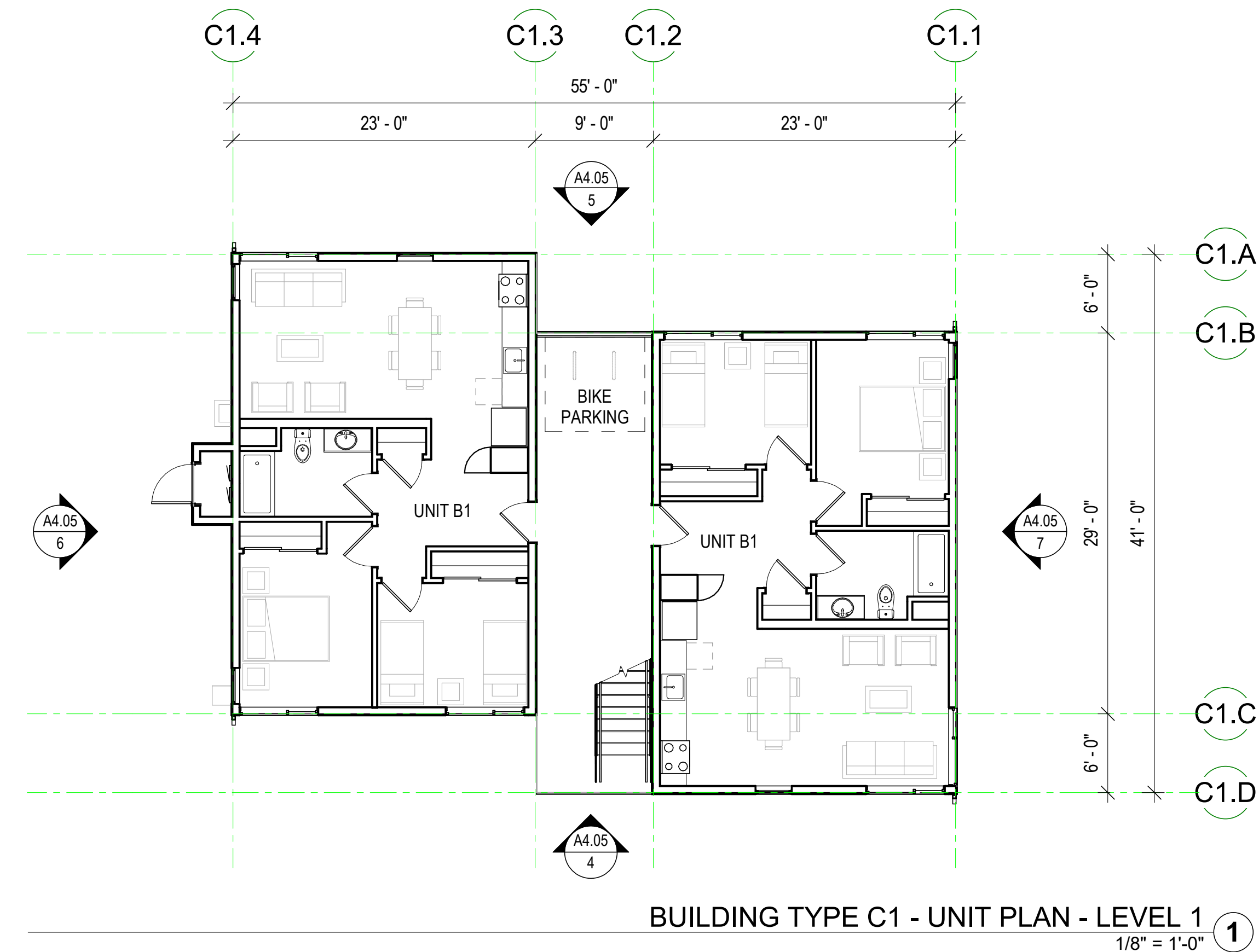
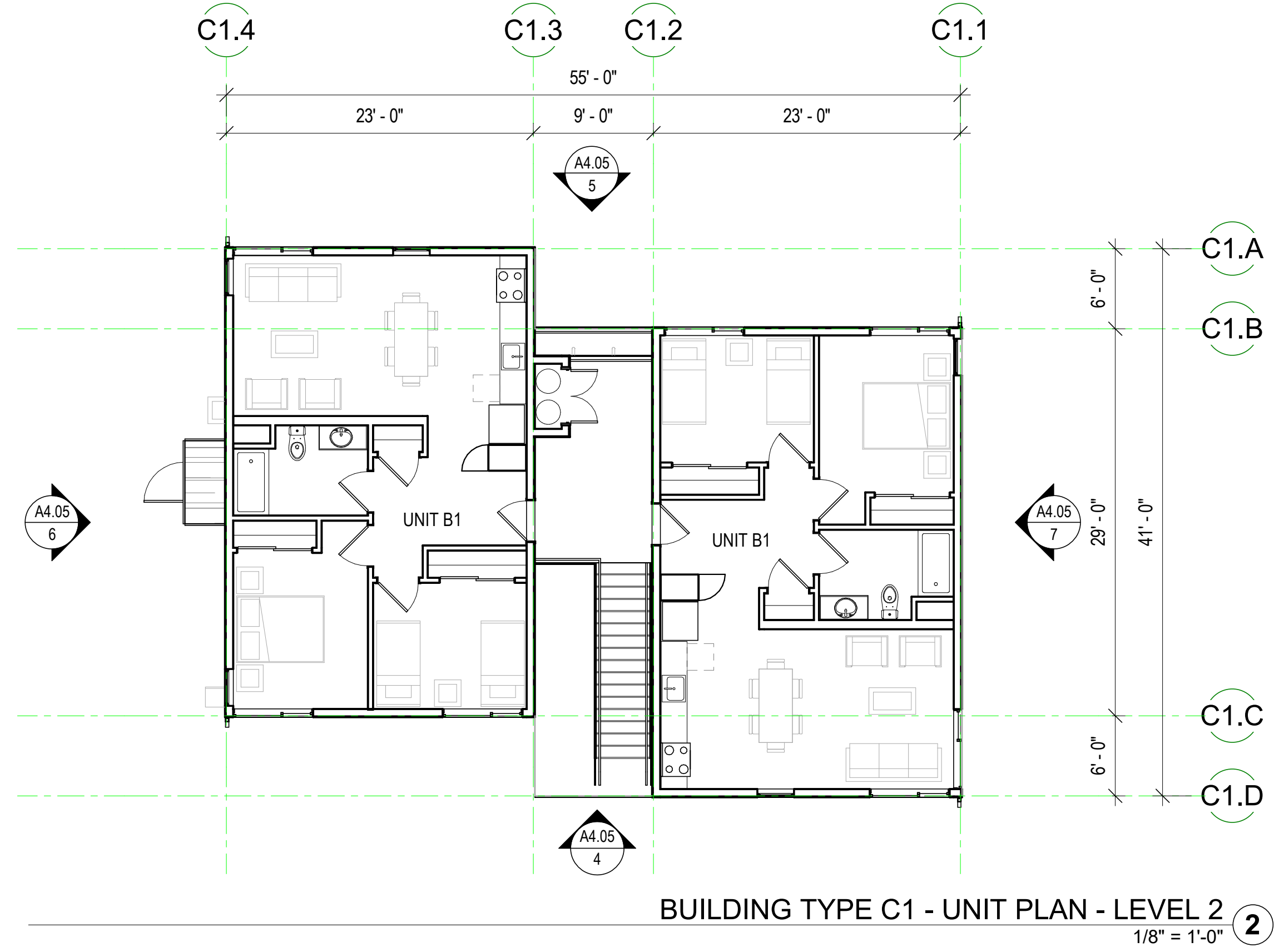
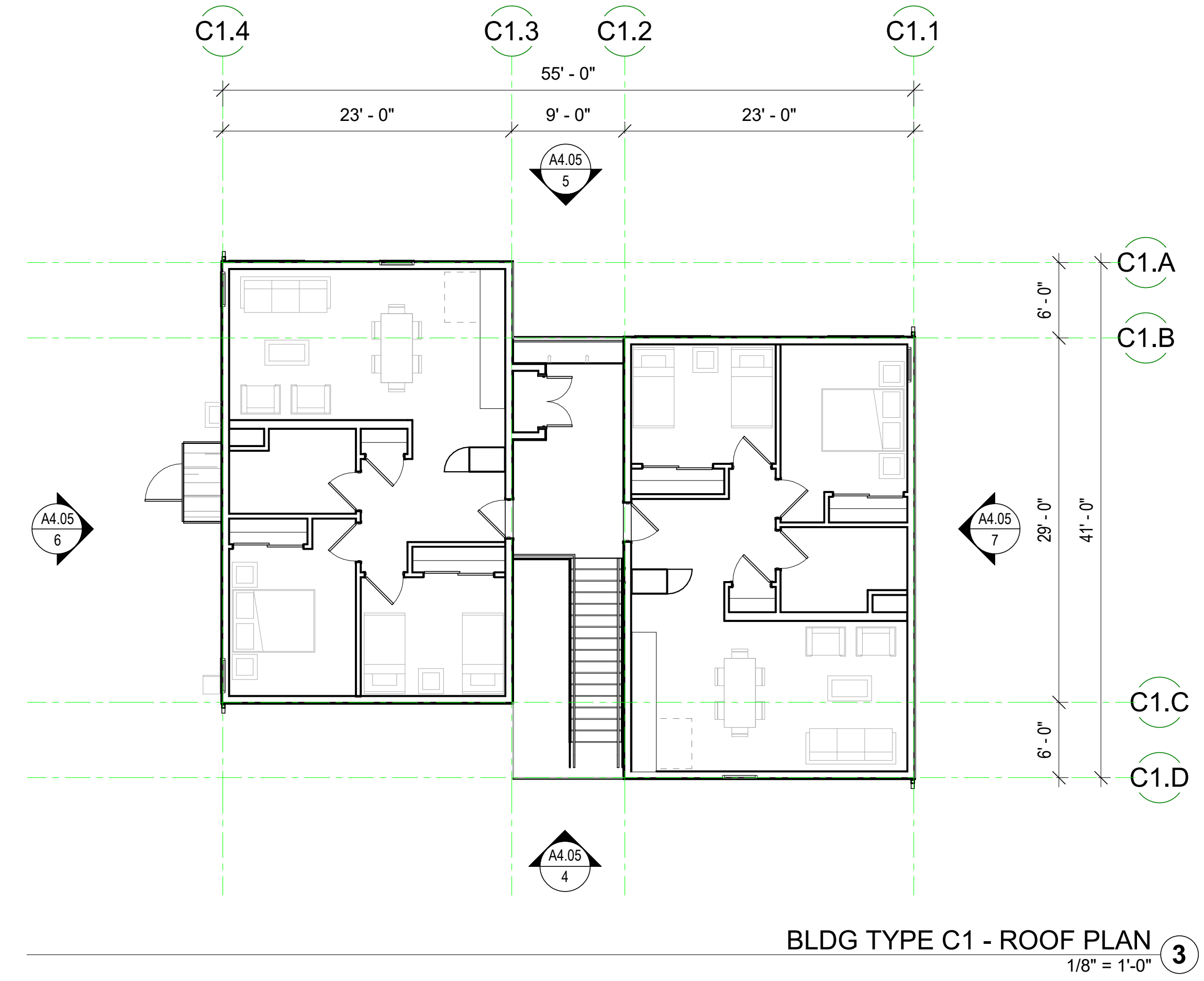
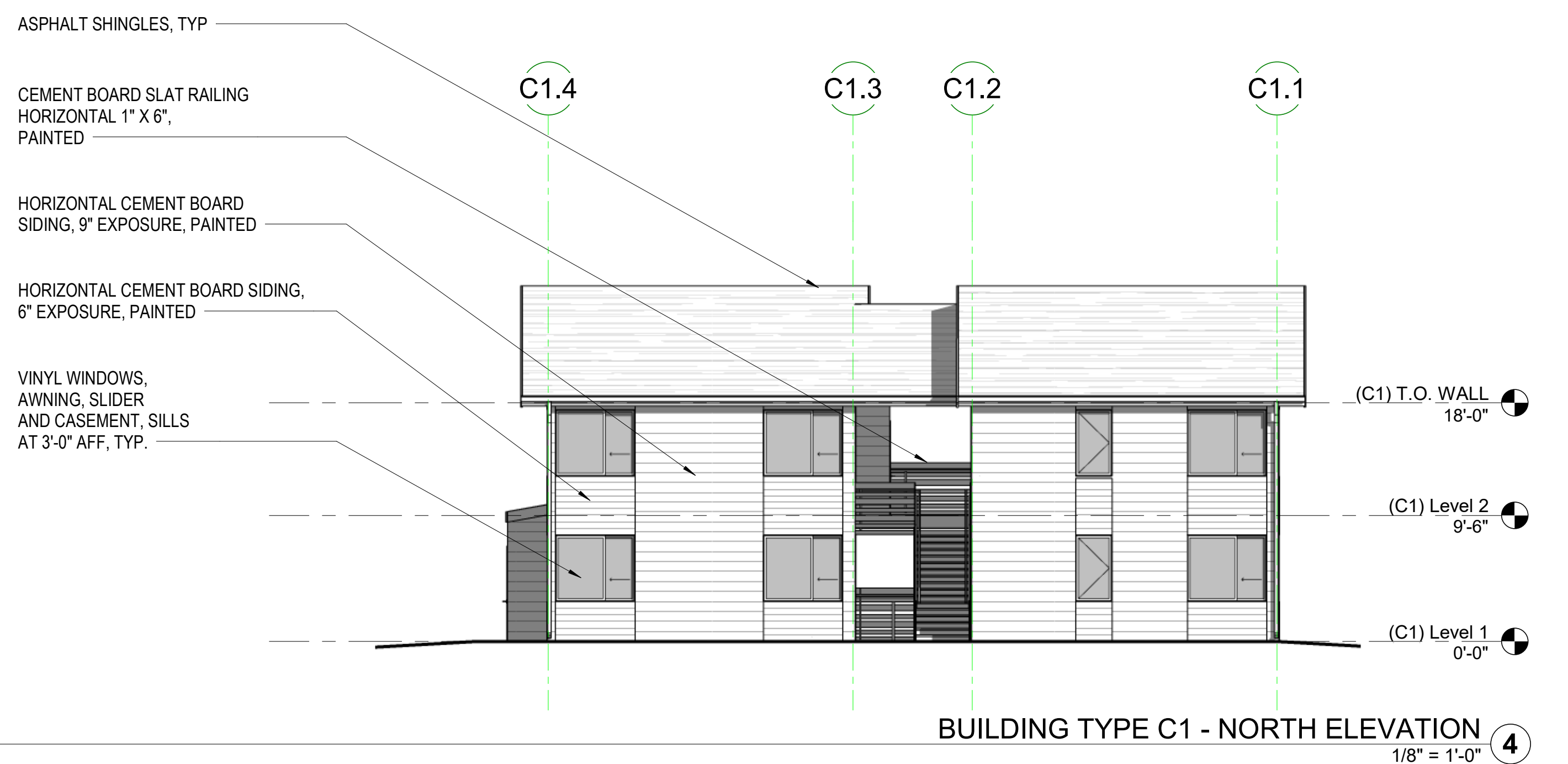
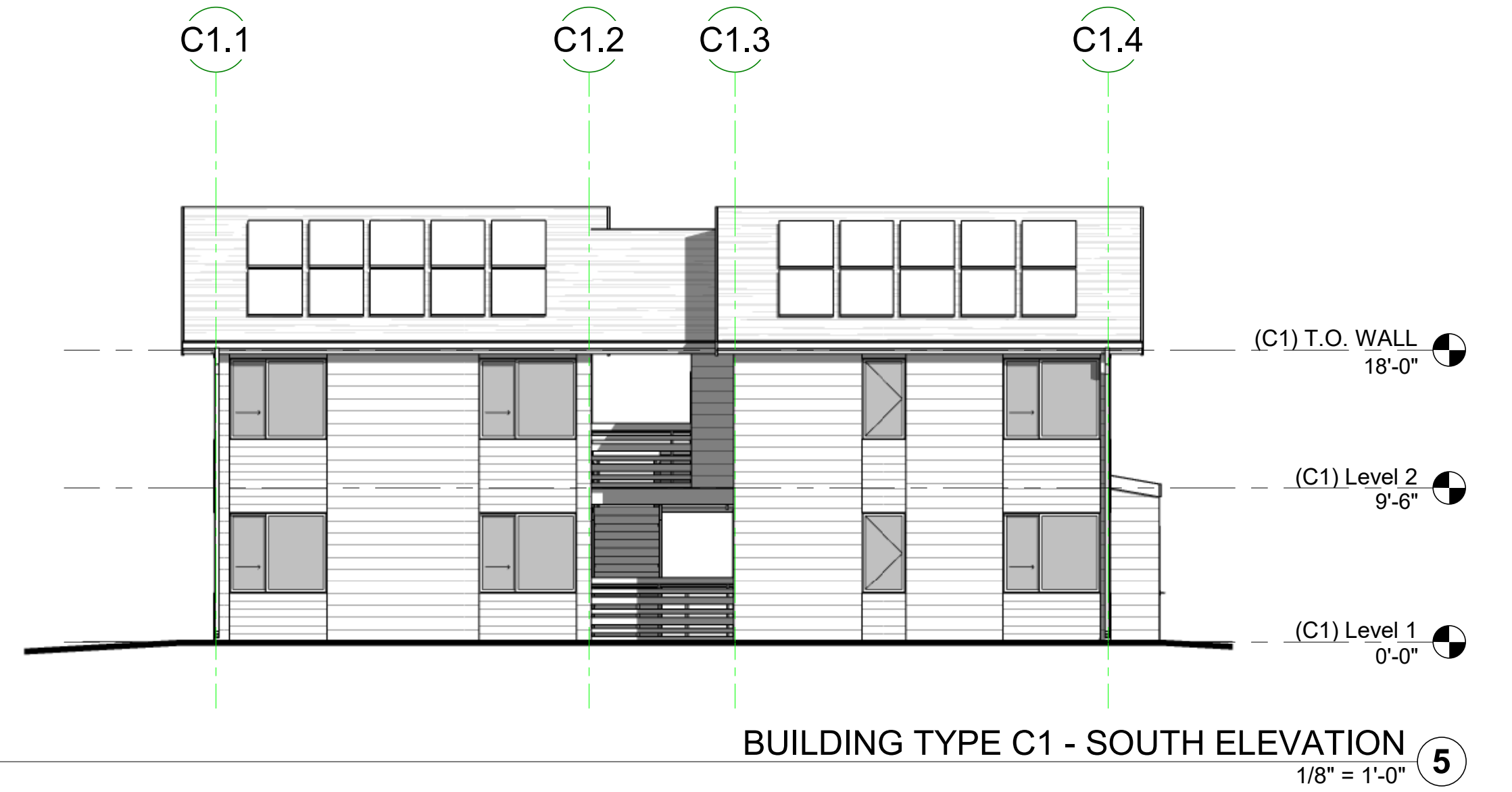
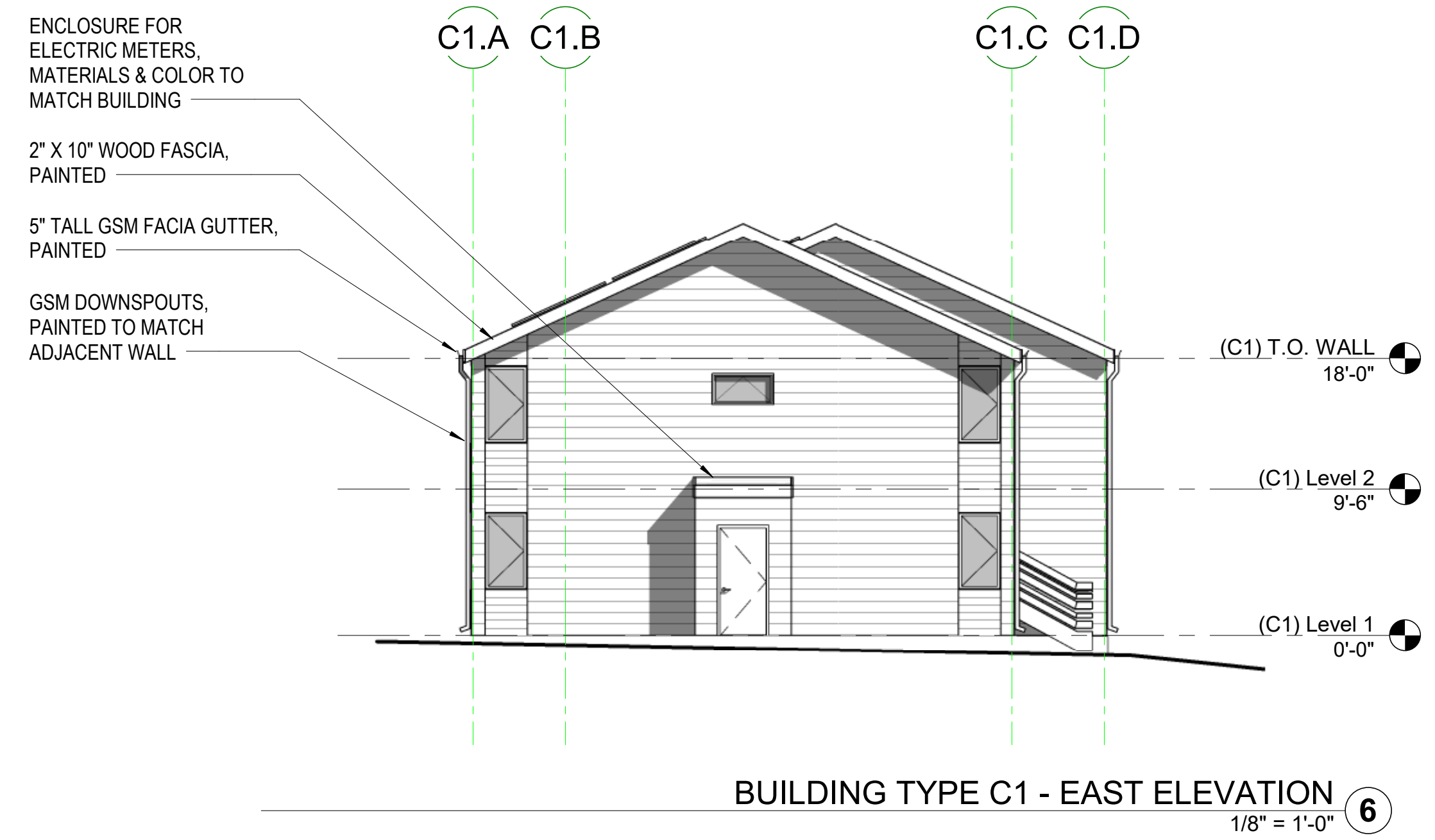
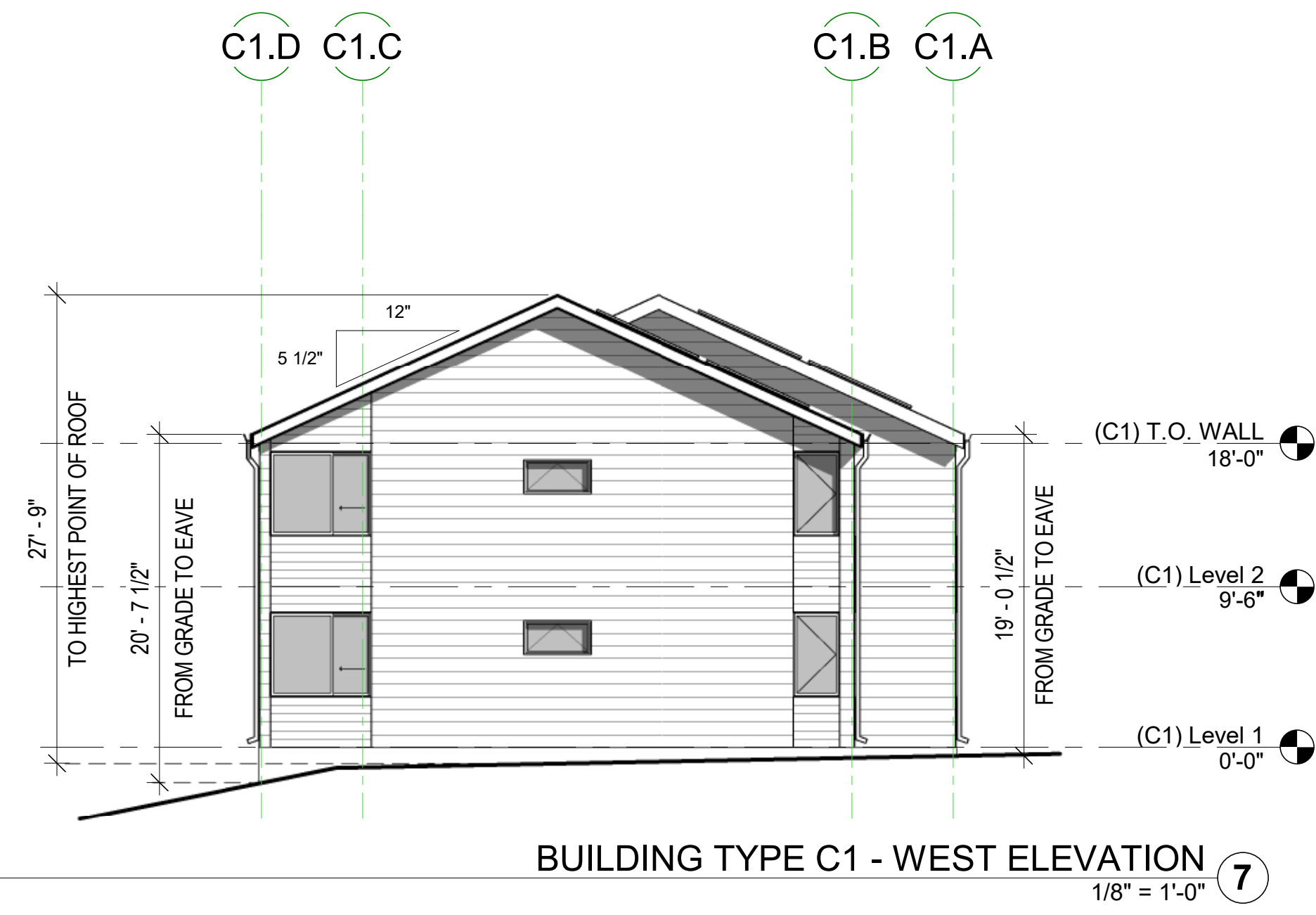
NO.	ISSUE	DATE
1	Planning Resubmittal	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/21/22

JOB NUMBER: 1603  
DRAWN BY: GP/SC  
CHECKED BY: PW  
DATE: June 24, 2022  
SCALE: 1/8" = 1'-0"

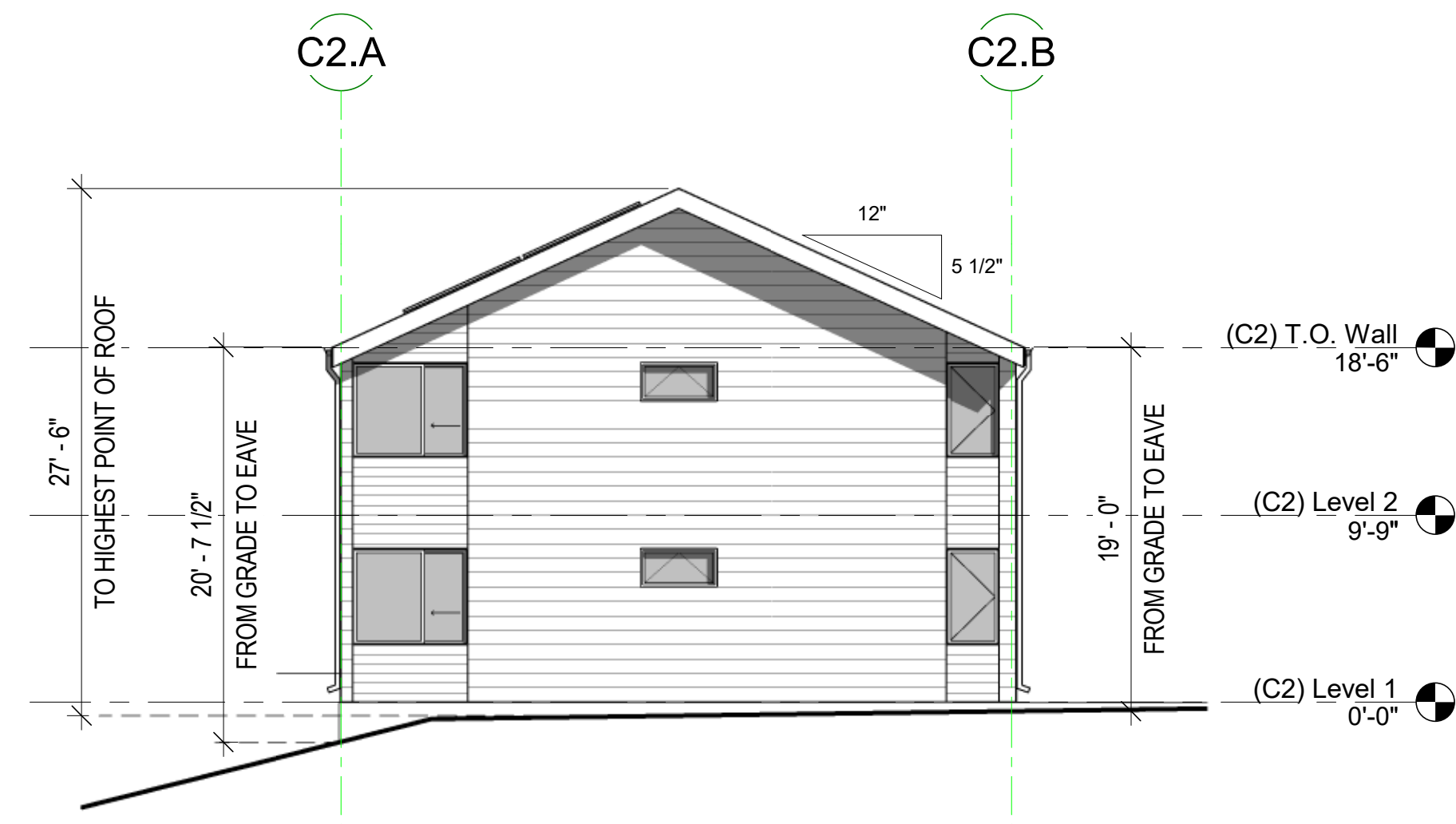
TITLE:  
**BUILDING TYPE C1 - FLOOR  
PLANS AND ELEVATIONS**

SHEET:

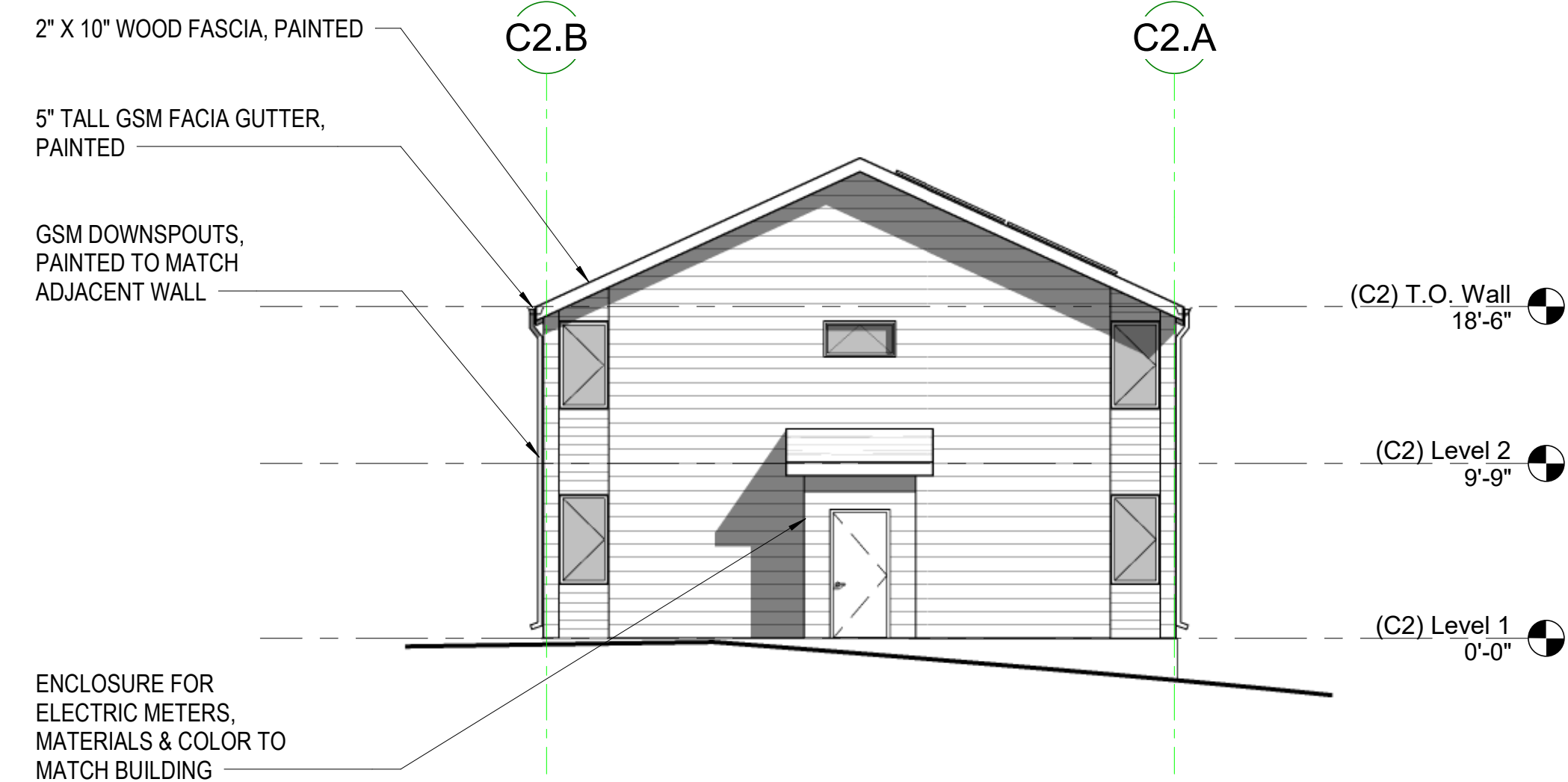
**A4.05**



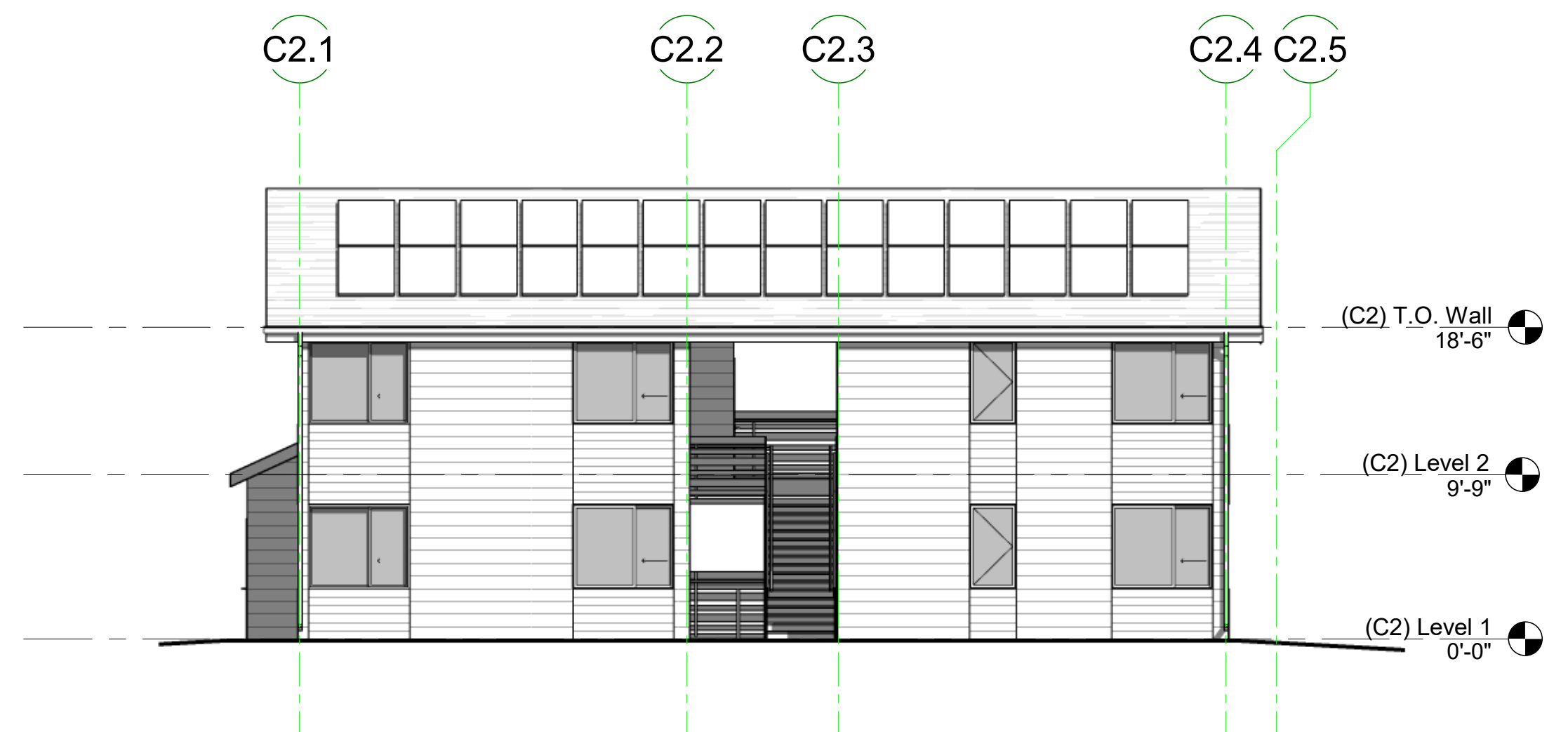




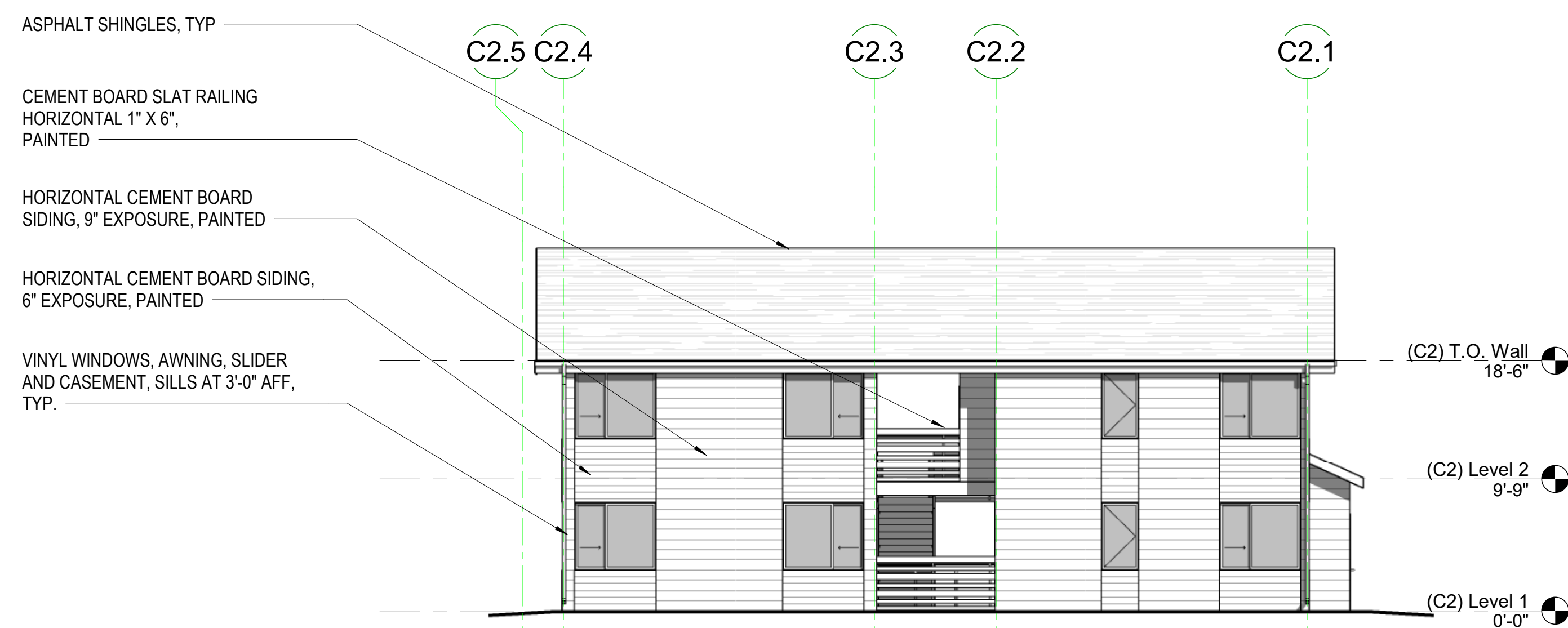
**BUILDING TYPE C2 - NORTH ELEVATION**  
1/8" = 1'-0" 7



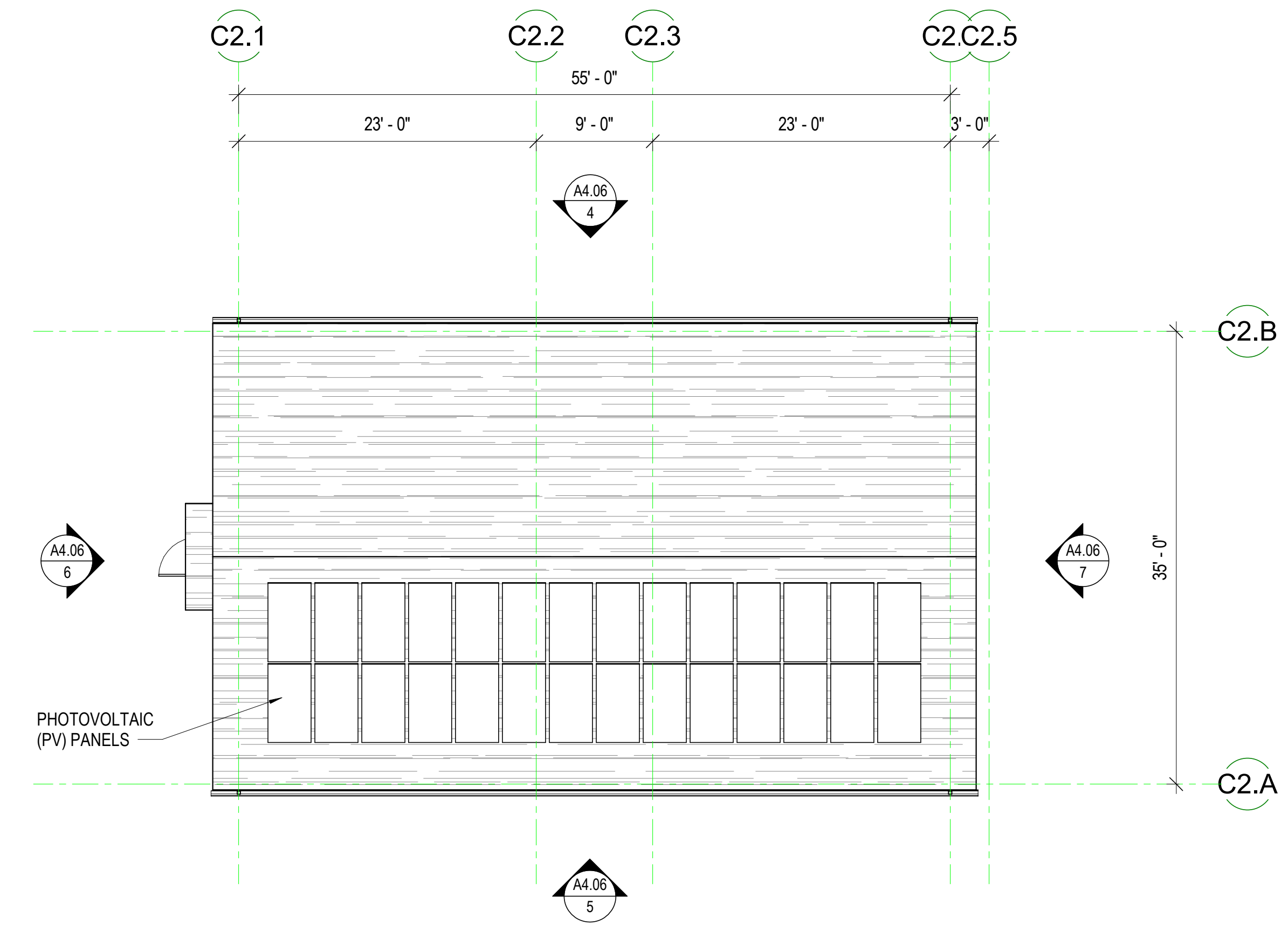
**BUILDING TYPE C2 - SOUTH ELEVATION**  
1/8" = 1'-0" 6



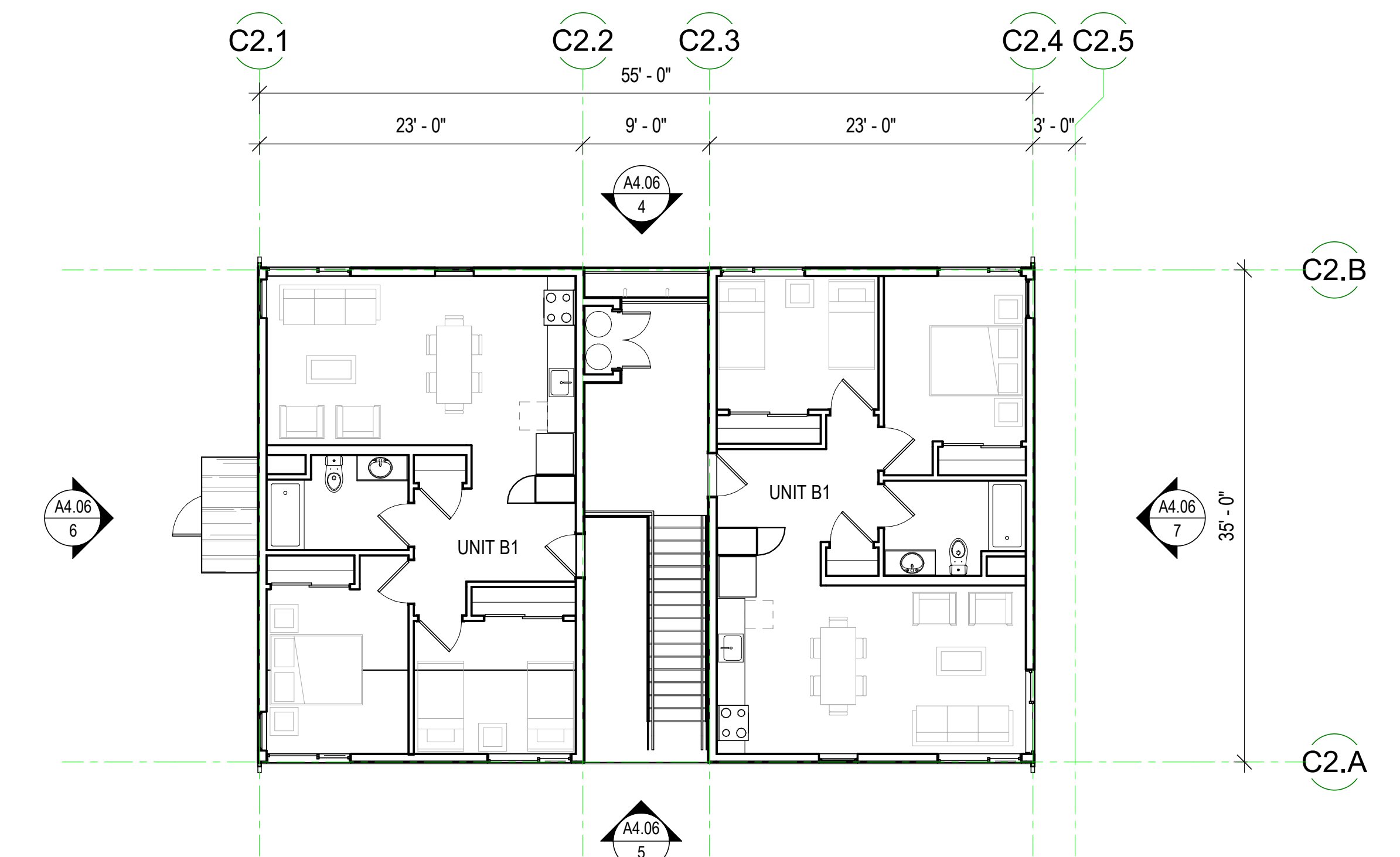
**BUILDING TYPE C2 - EAST ELEVATION**  
1/8" = 1'-0" 5



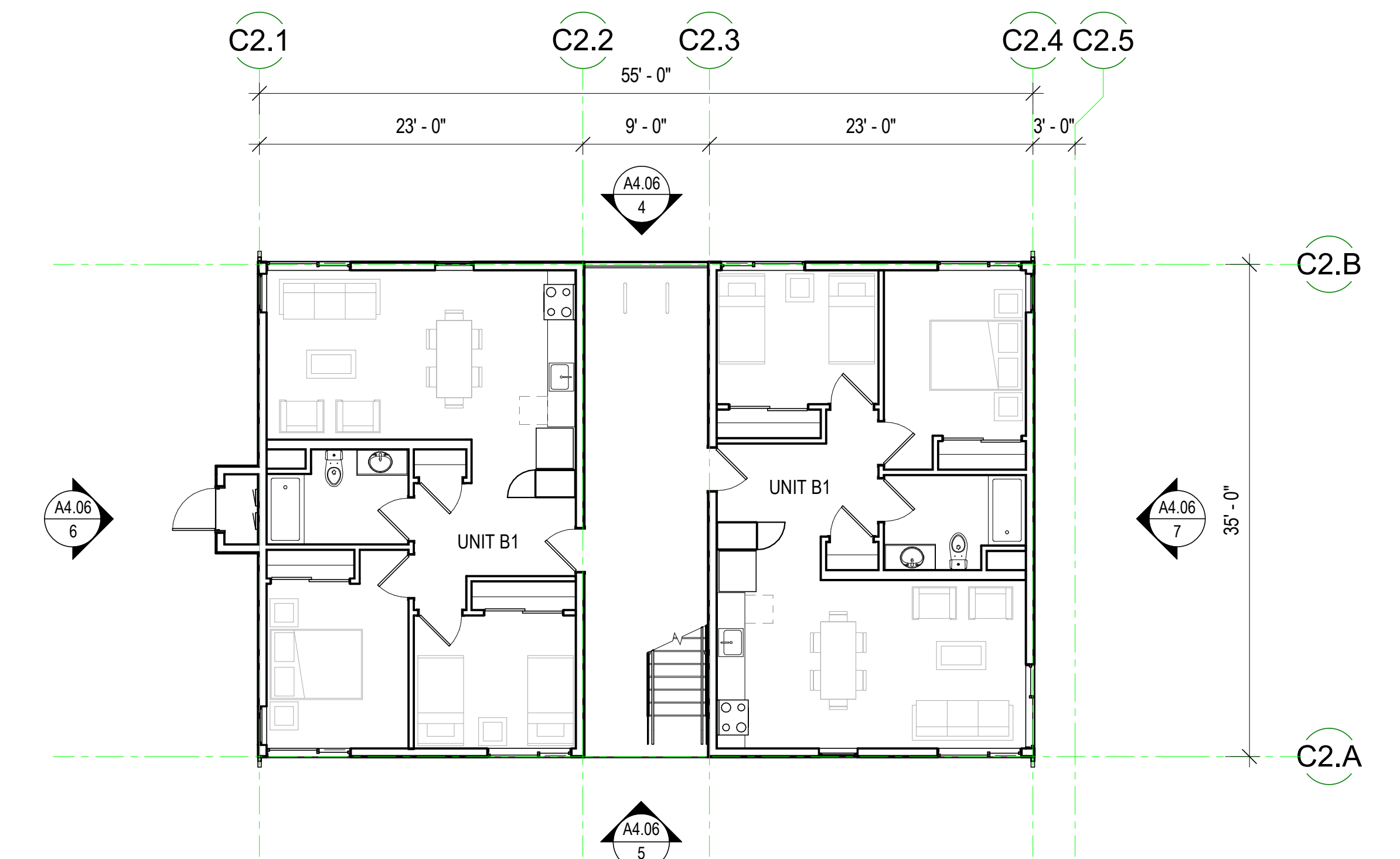
**BUILDING TYPE C2 - WEST ELEVATION**  
1/8" = 1'-0" 4



**BLDG TYPE C2 - ROOF PLAN**  
1/8" = 1'-0" 3



**BUILDING TYPE C2 - UNIT PLANT - LEVEL 2**  
1/8" = 1'-0" 2



**BUILDING TYPE C2 - UNIT PLANT - LEVEL 1**  
1/8" = 1'-0" 1

STAMP:

REVISION SCHEDULE		
NO.	ISSUE	DATE
1	Planning Resolution	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/21/22

JOB NUMBER: 1603  
DRAWN BY: GP/SC  
CHECKED BY: PW  
DATE: June 24, 2022  
SCALE: 1/8" = 1'-0"

TITLE:  
**BUILDING TYPE C2 - FLOOR PLANS AND ELEVATIONS**

SHEET:

**A4.06**



STAMP:

REVISION SCHEDULE

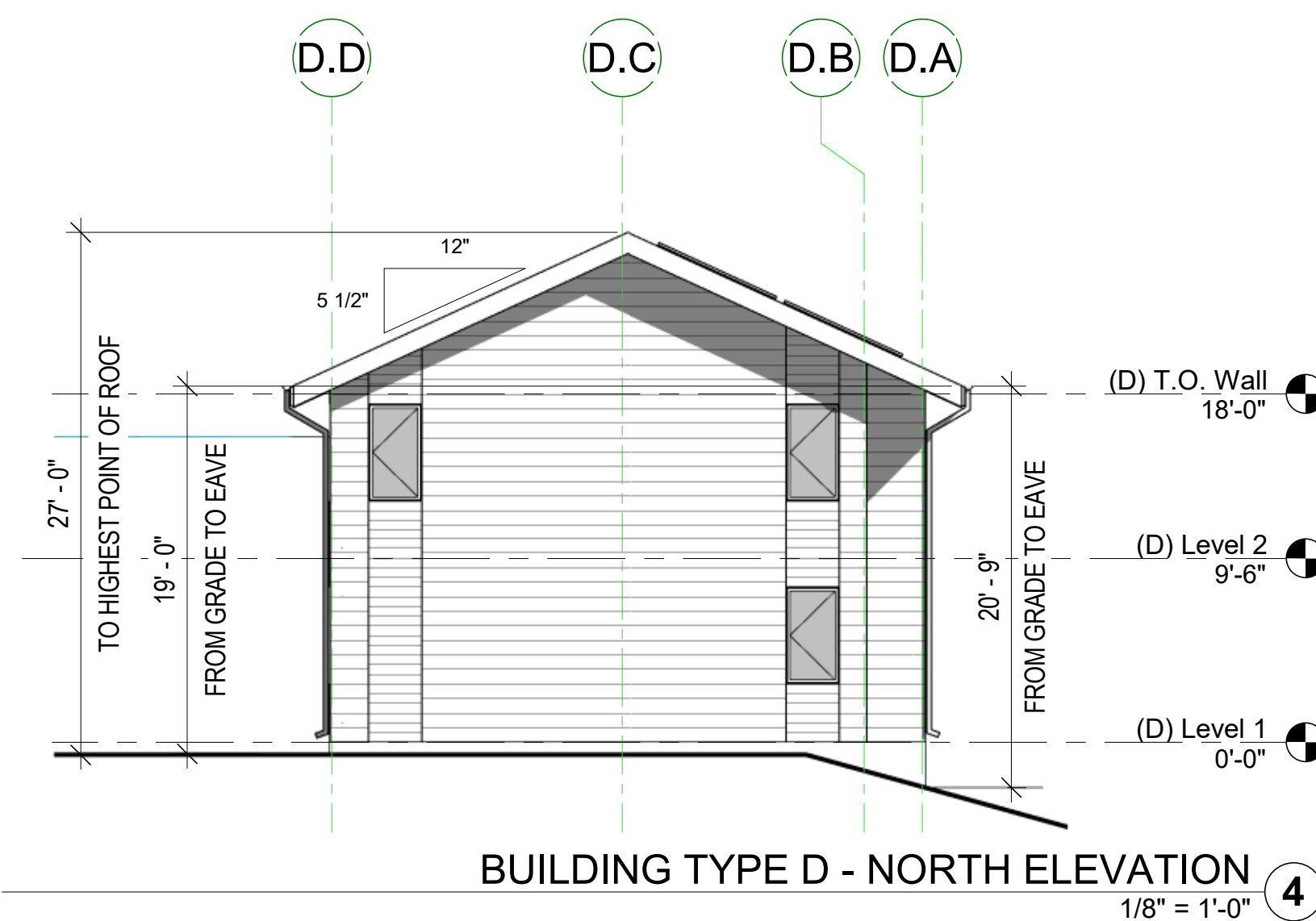
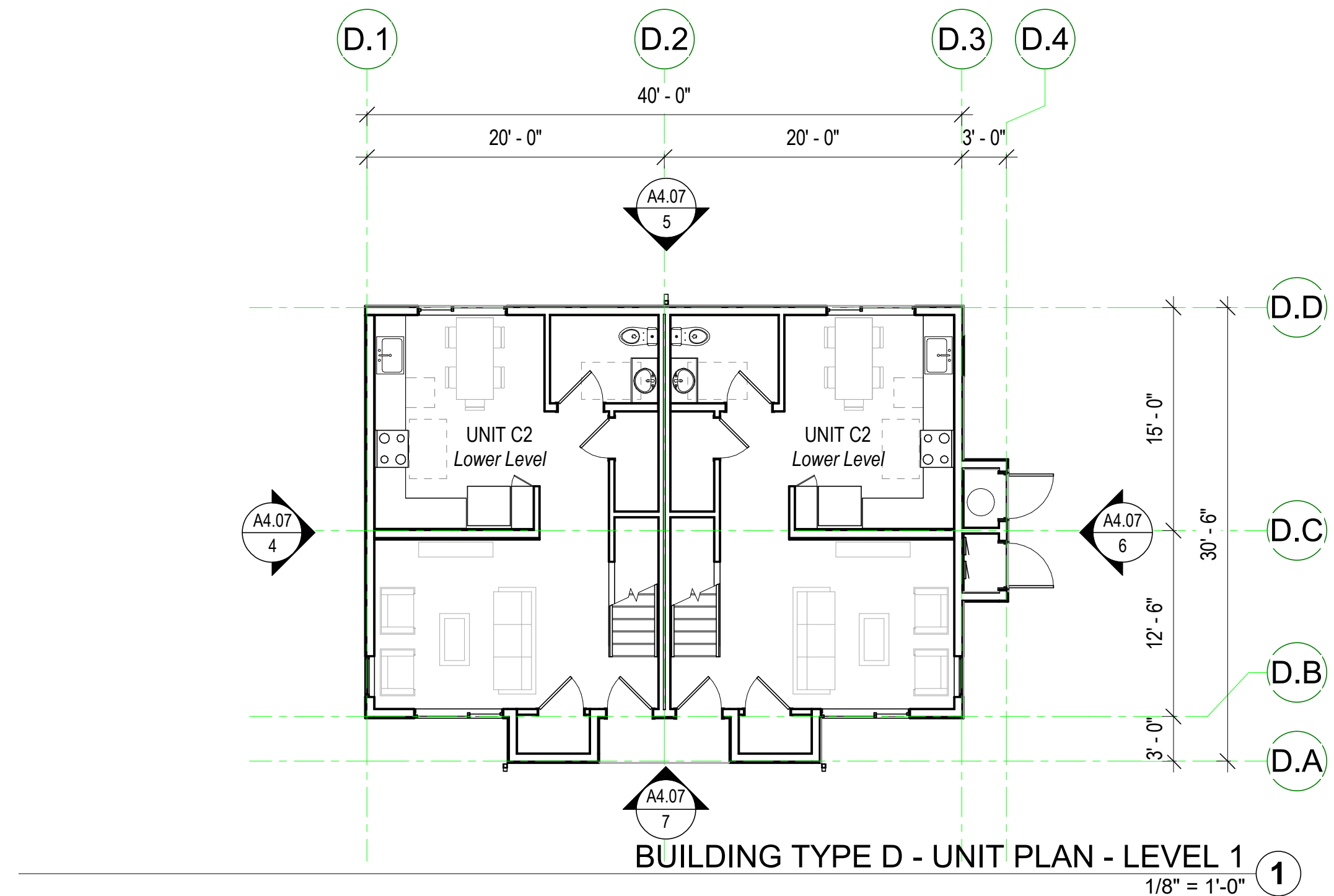
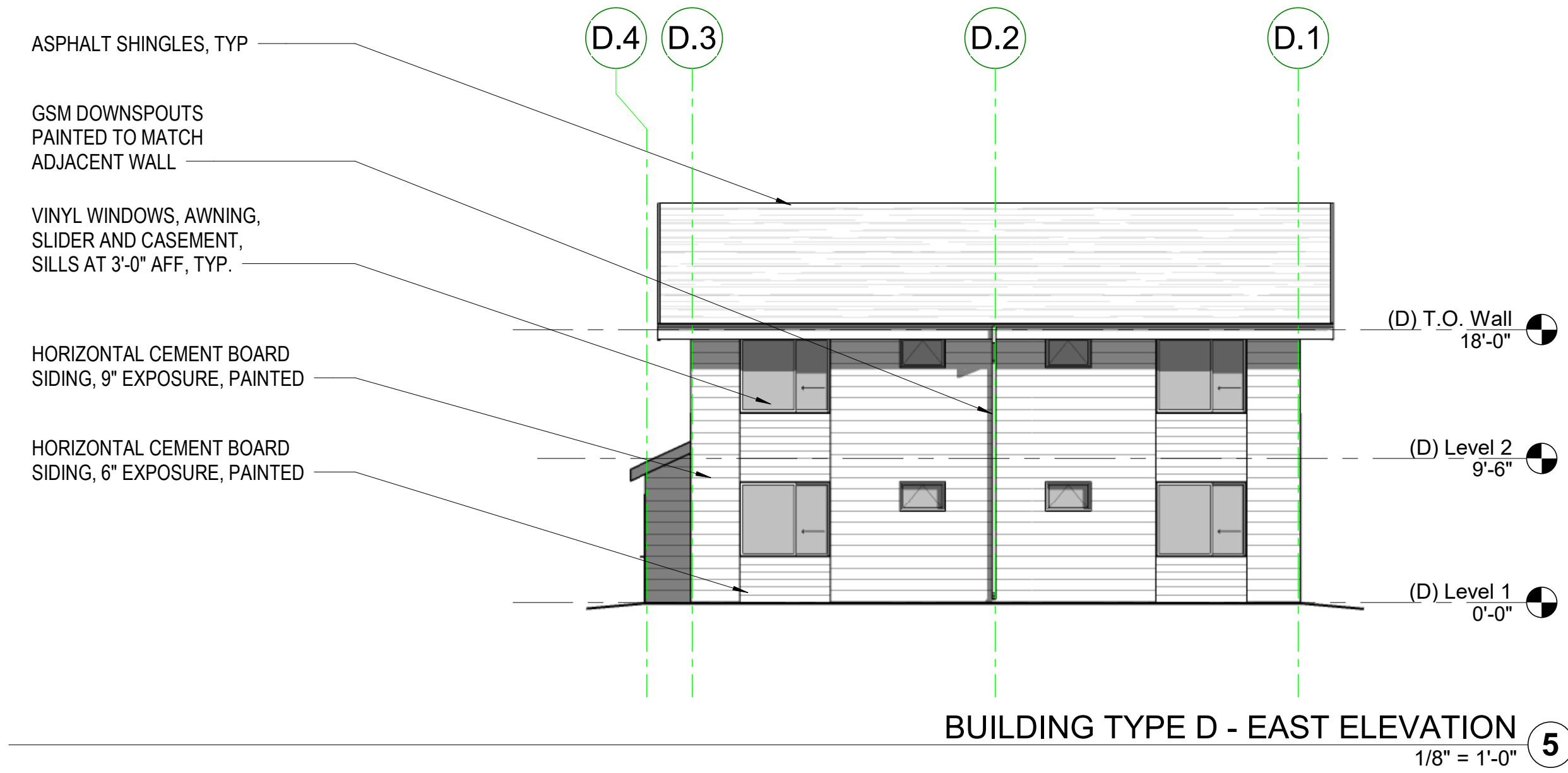
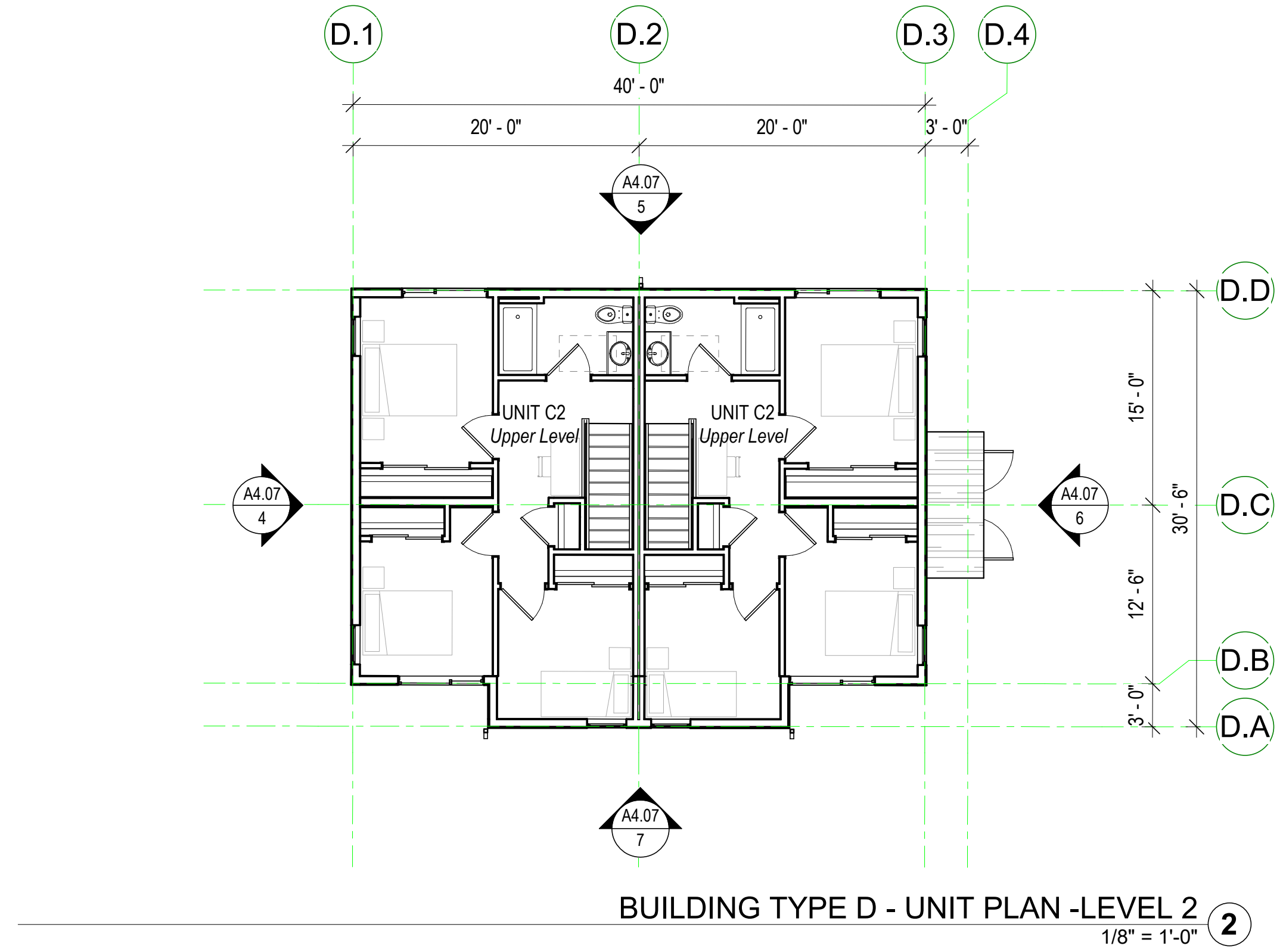
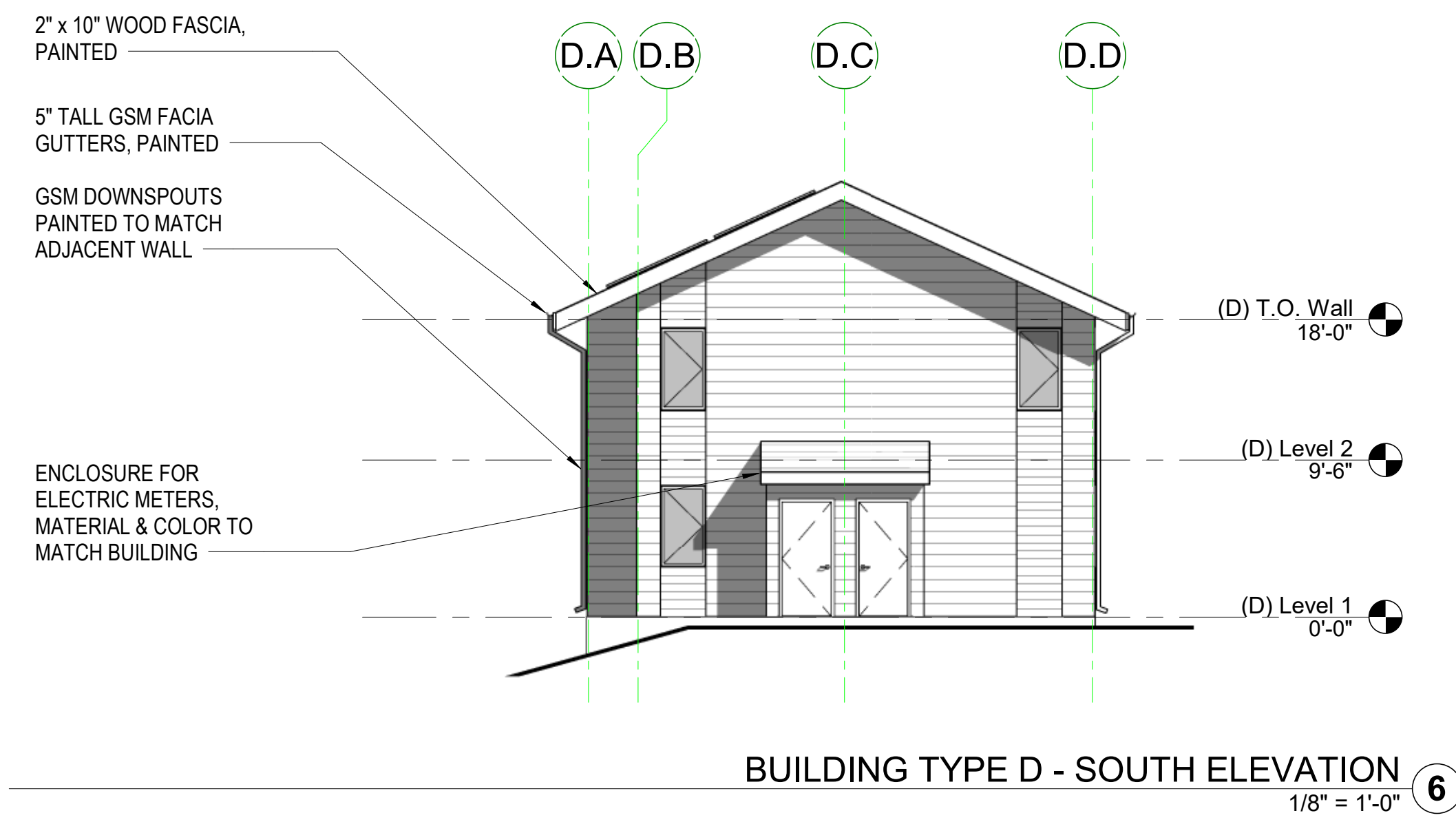
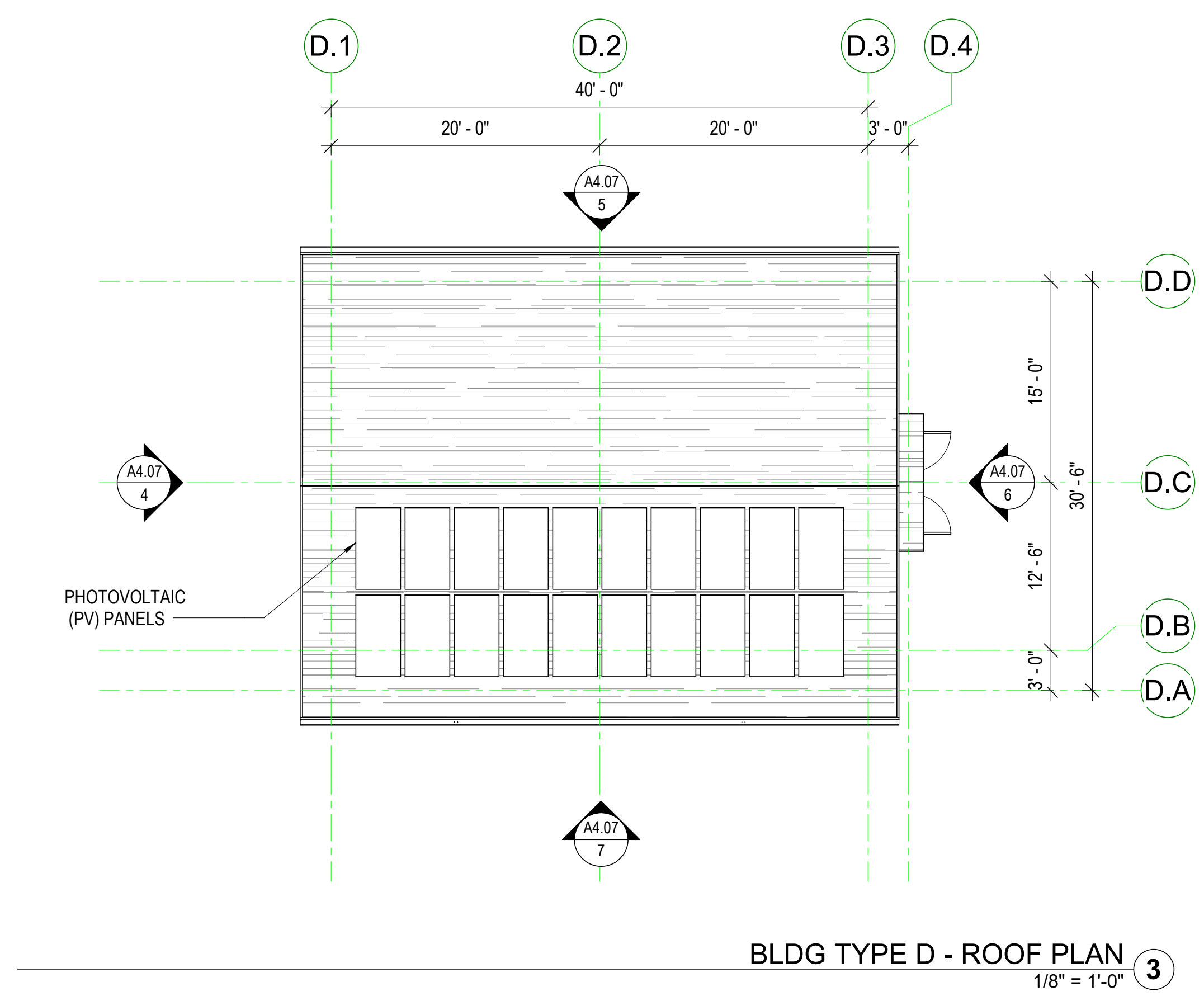
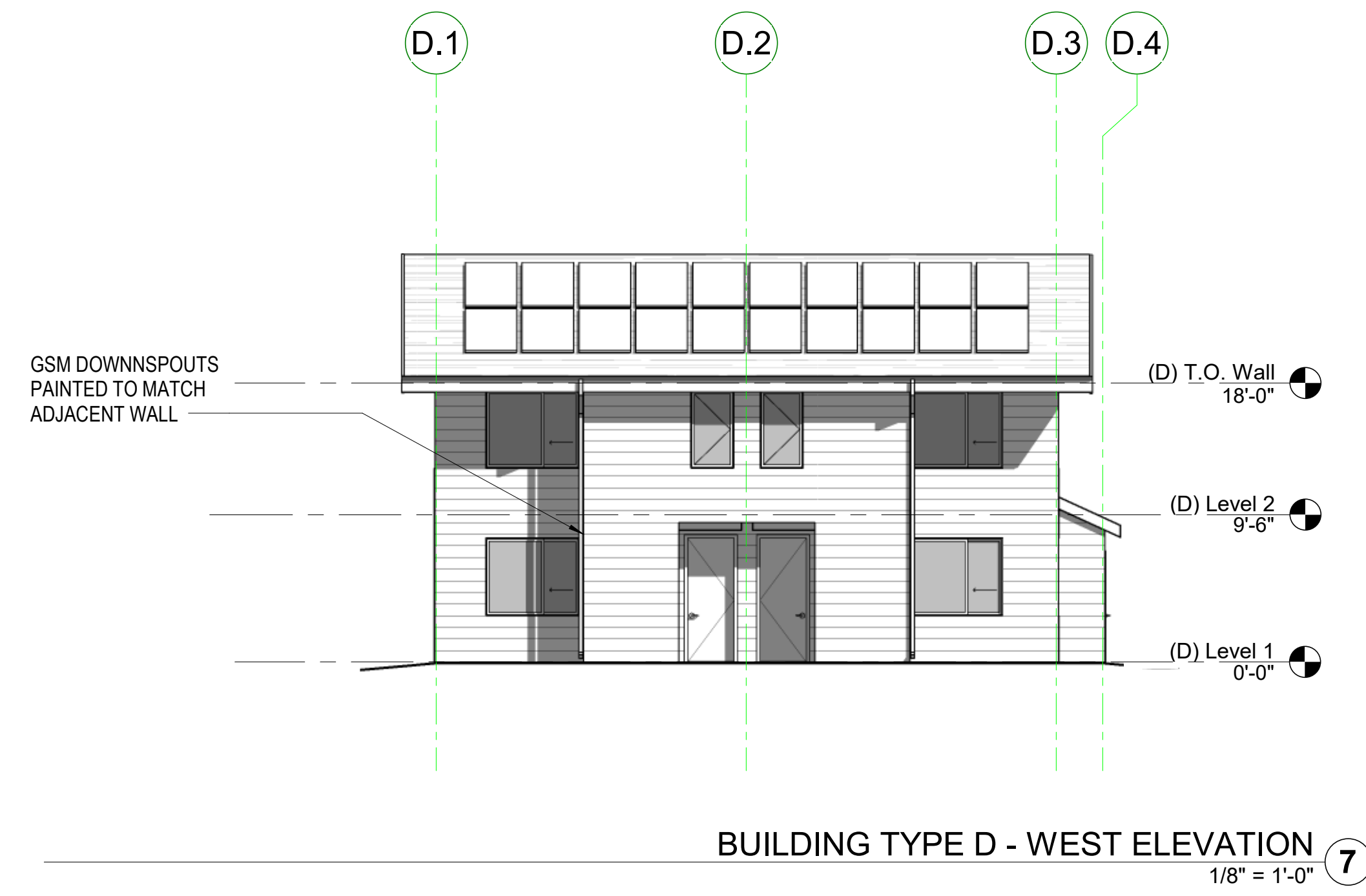
NO.	ISSUE	DATE
1	Planning Resubmittal	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/21/22

JOB NUMBER: 1603  
DRAWN BY: GP/SC  
CHECKED BY: PW  
DATE: June 24, 2022  
SCALE: 1/8" = 1'-0"

TITLE:  
**BUILDING TYPE D - FLOOR  
PLANS AND ELEVATIONS**

SHEET:

**A4.07**

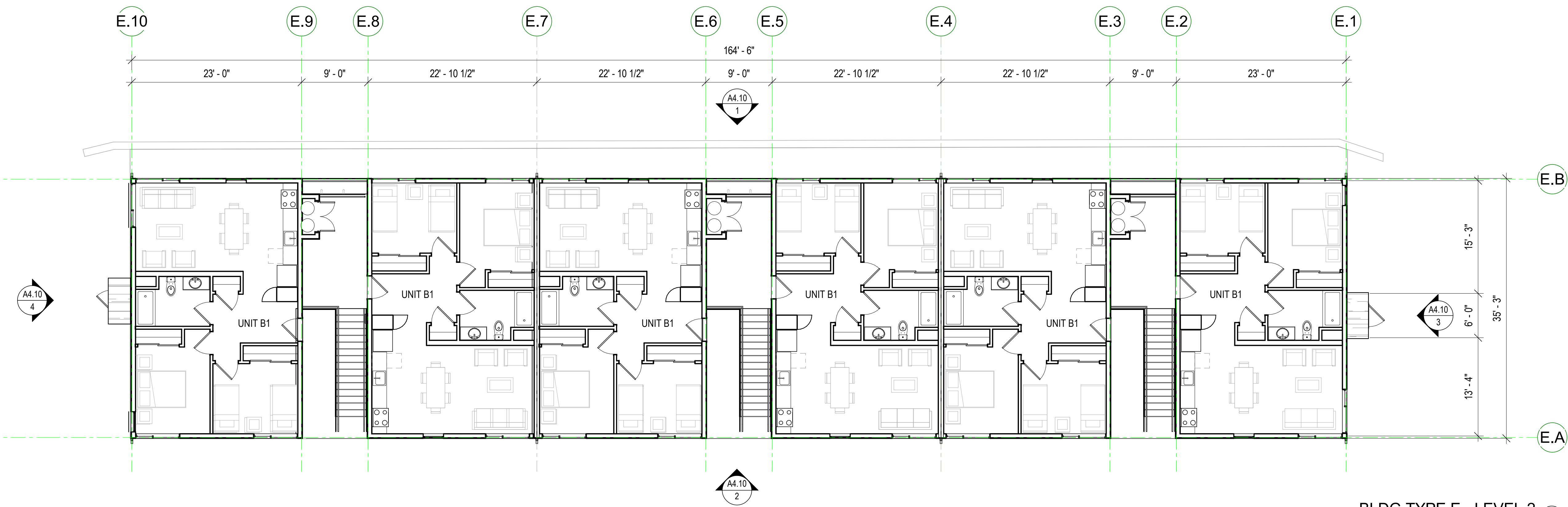




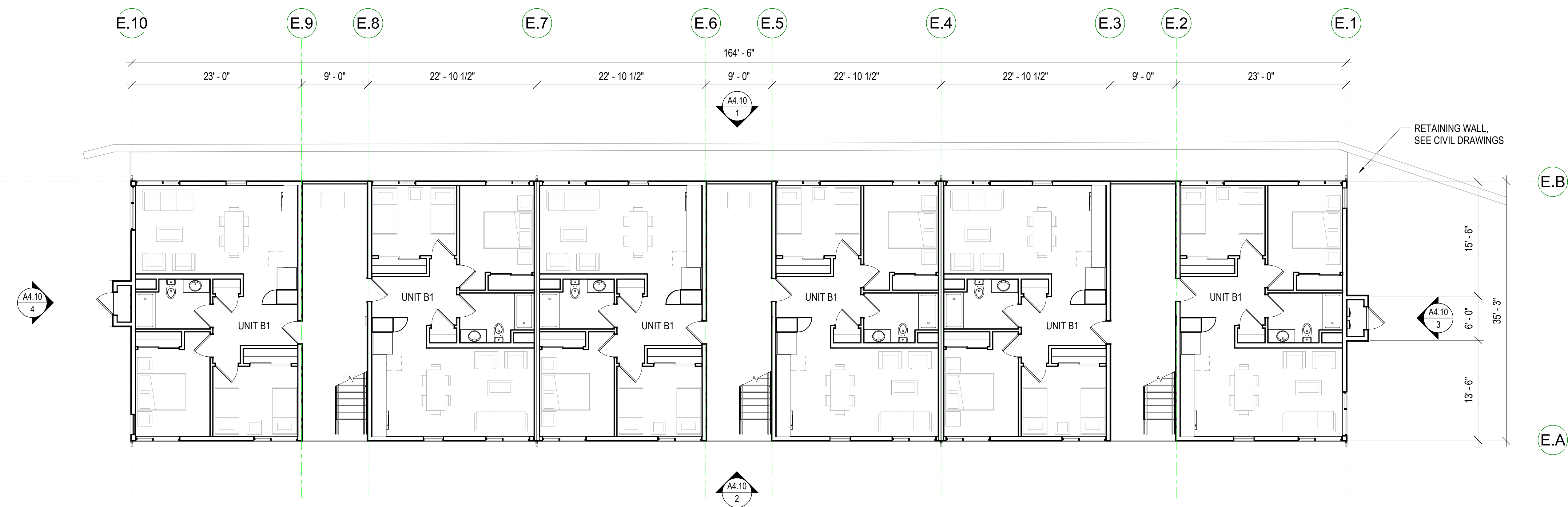
**CYPRESS POINT FAMILY COMMUNITY**  
Carlos Street, Moss Beach



**BLDG TYPE E - ROOF PLAN**  
1/8" = 1'-0" ③



**BLDG TYPE E - LEVEL 2**  
1/8" = 1'-0" ②



**BLDG TYPE E - LEVEL 1**  
1/8" = 1'-0" ①

STAMP:

REVISION SCHEDULE

NO.	ISSUE	DATE
1	Planning Resolution	03/25/19
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3	Coastal Development Permit	06/21/22

JOB NUMBER: 1603  
DRAWN BY: GP/SC  
CHECKED BY: PW  
DATE: June 24, 2022  
SCALE: 1/8" = 1'-0"

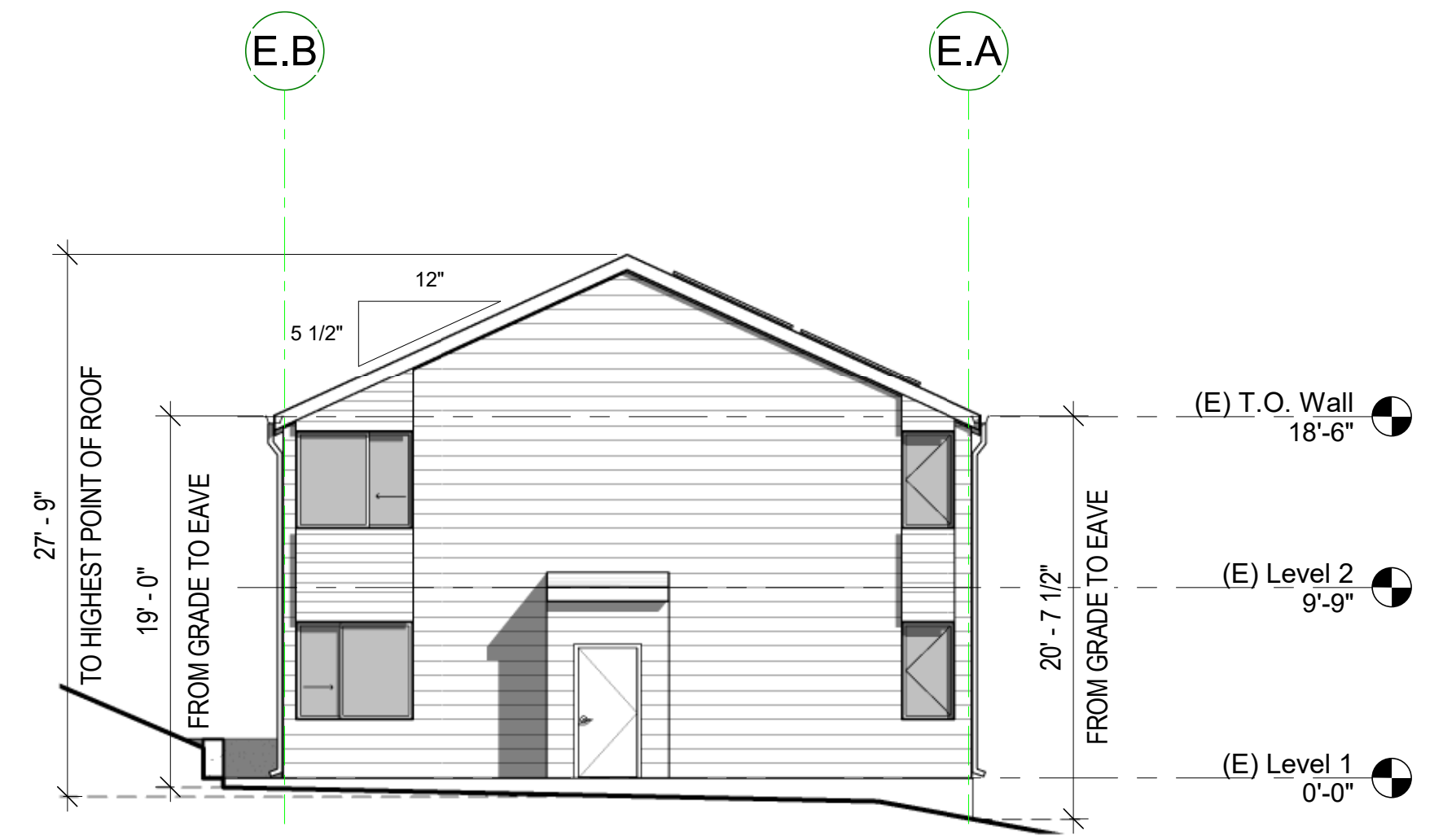
TITLE:  
**BUILDING TYPE E - FLOOR PLANS**

SHEET:

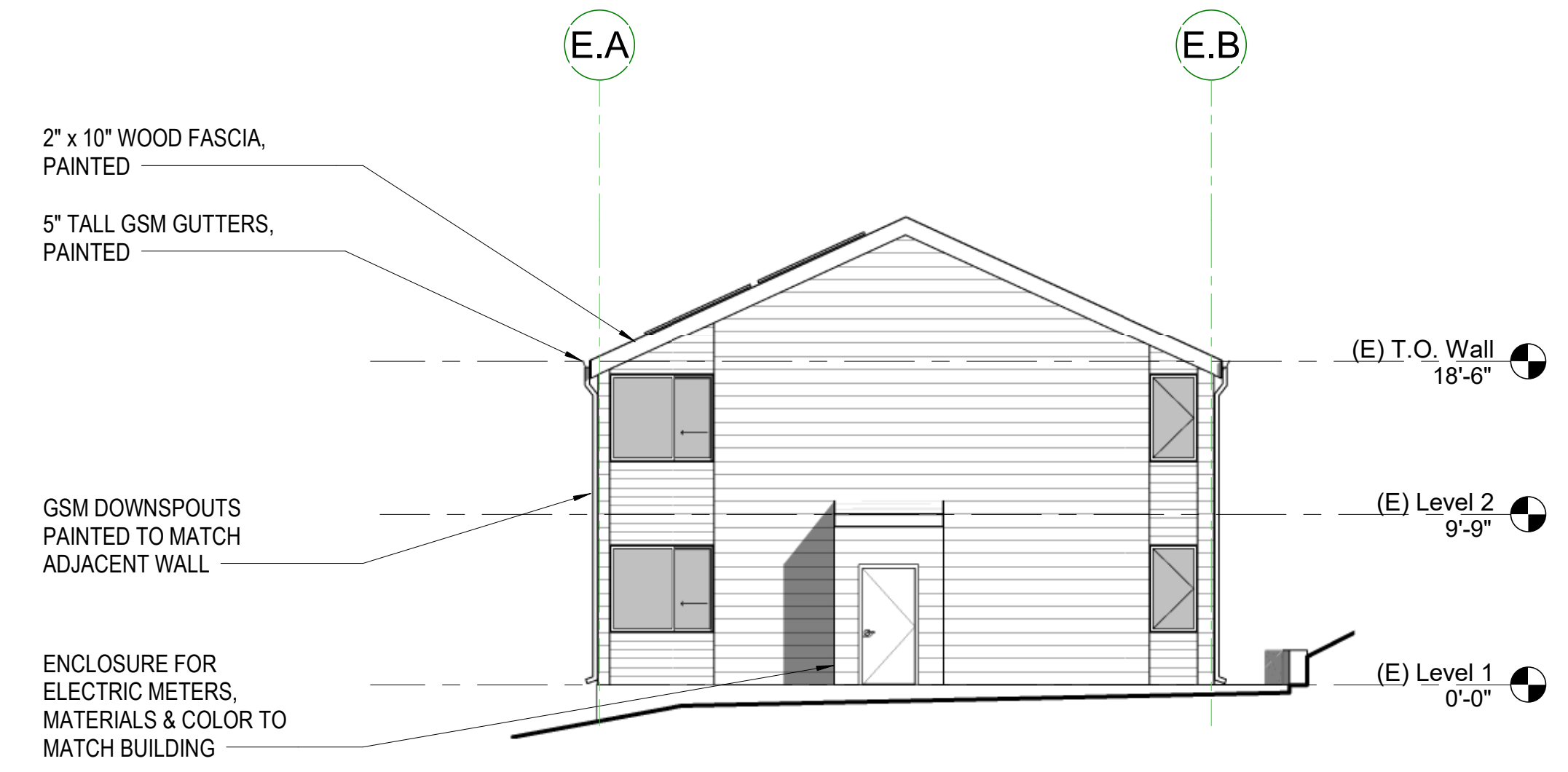
**A4.08**



**CYPRESS POINT FAMILY COMMUNITY**  
Carlos Street, Moss Beach



**BUILDING TYPE E - NORTH ELEVATION**  
1/8" = 1'-0" 4



**BUILDING TYPE E - SOUTH ELEVATION**  
1/8" = 1'-0" 3



**BUILDING TYPE E - WEST ELEVATION**  
1/8" = 1'-0" 2



**BUILDING TYPE E - EAST ELEVATION**  
1/8" = 1'-0" 1

STAMP:

REVISION SCHEDULE		
NO.	ISSUE	DATE
1	Planning Resolution	03/25/19
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3	Coastal Development Permit	06/11/22

JOB NUMBER: 1603  
DRAWN BY: GP/SC  
CHECKED BY: PW  
DATE: June 24, 2022  
SCALE: 1/8" = 1'-0"  
TITLE: BUILDING TYPE E - ELEVATIONS

SHEET:

**A4.09**



**CYPRESS POINT FAMILY COMMUNITY**  
Carlos Street, Moss Beach

STAMP:

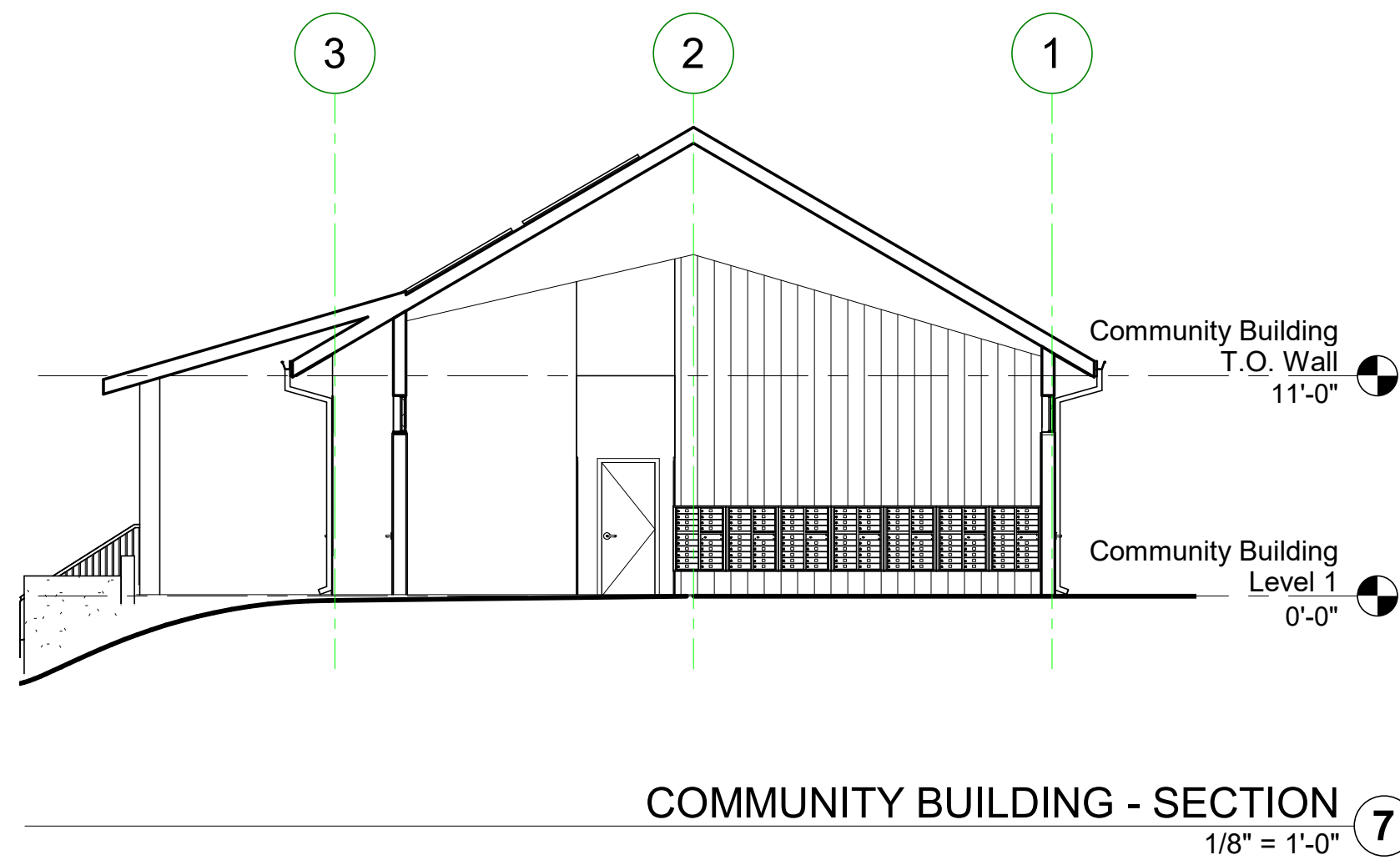
REVISION SCHEDULE		
NO.	ISSUE	DATE
1	Planning Resolution	03/25/19
2	Adjusted Heights	07/10/20
3	Coastal Development Permit	06/21/22

JOB NUMBER: 1603  
DRAWN BY: GP/SC  
CHECKED BY: PW  
DATE: June 24, 2022  
SCALE: 1/8" = 1'-0"

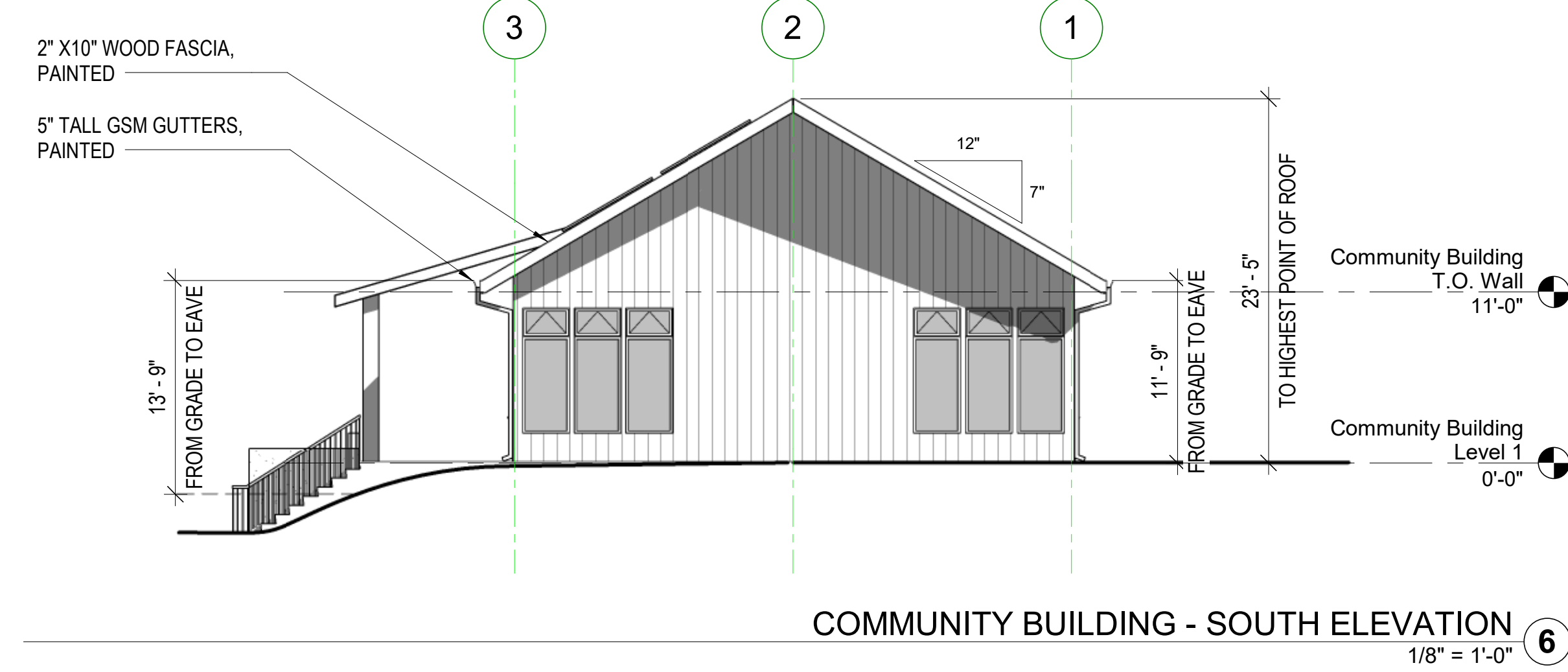
TITLE:  
**COMMUNITY BUILDING - FLOOR  
PLANS AND ELEVATIONS**

SHEET:

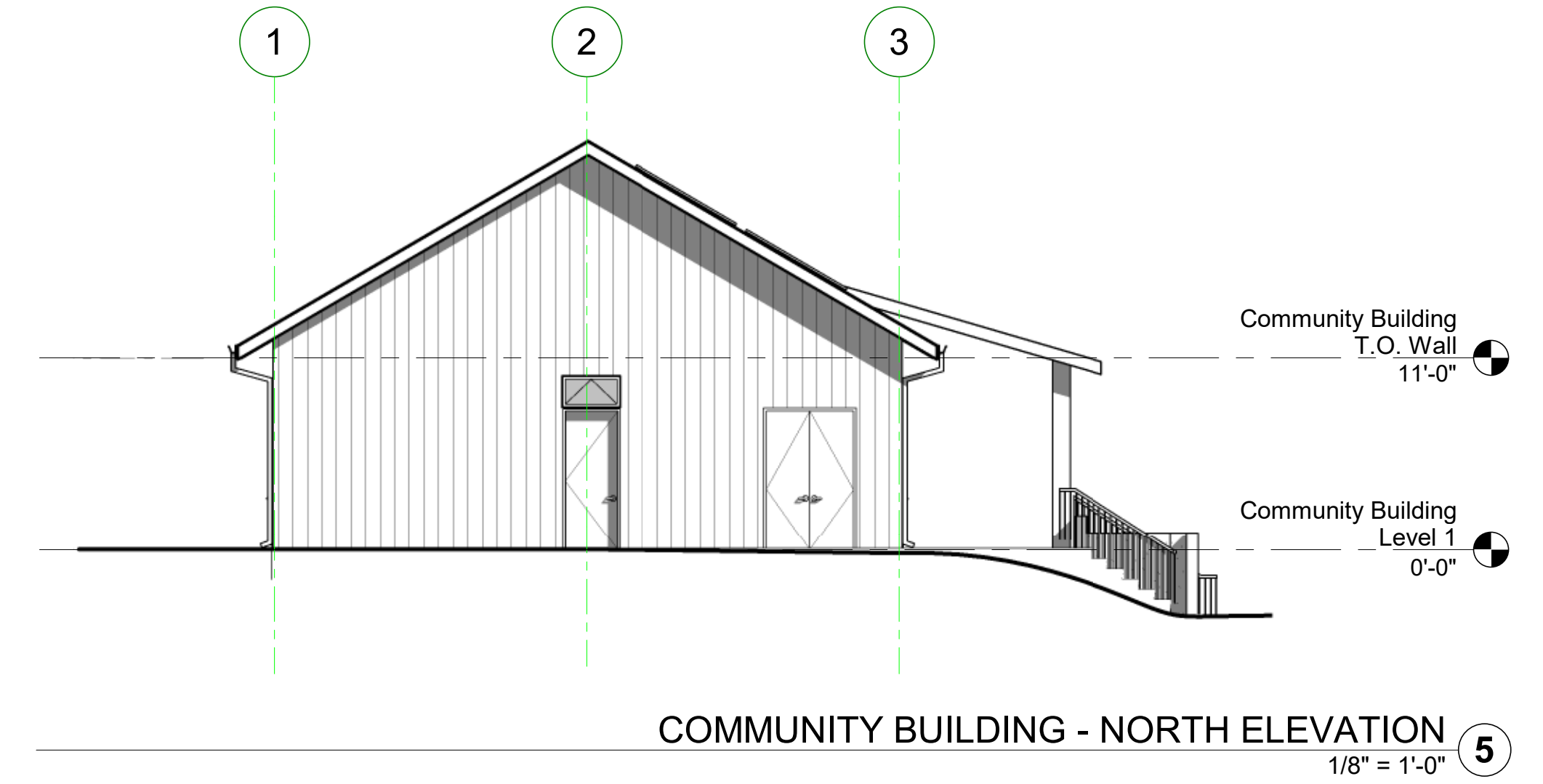
**A4.10**



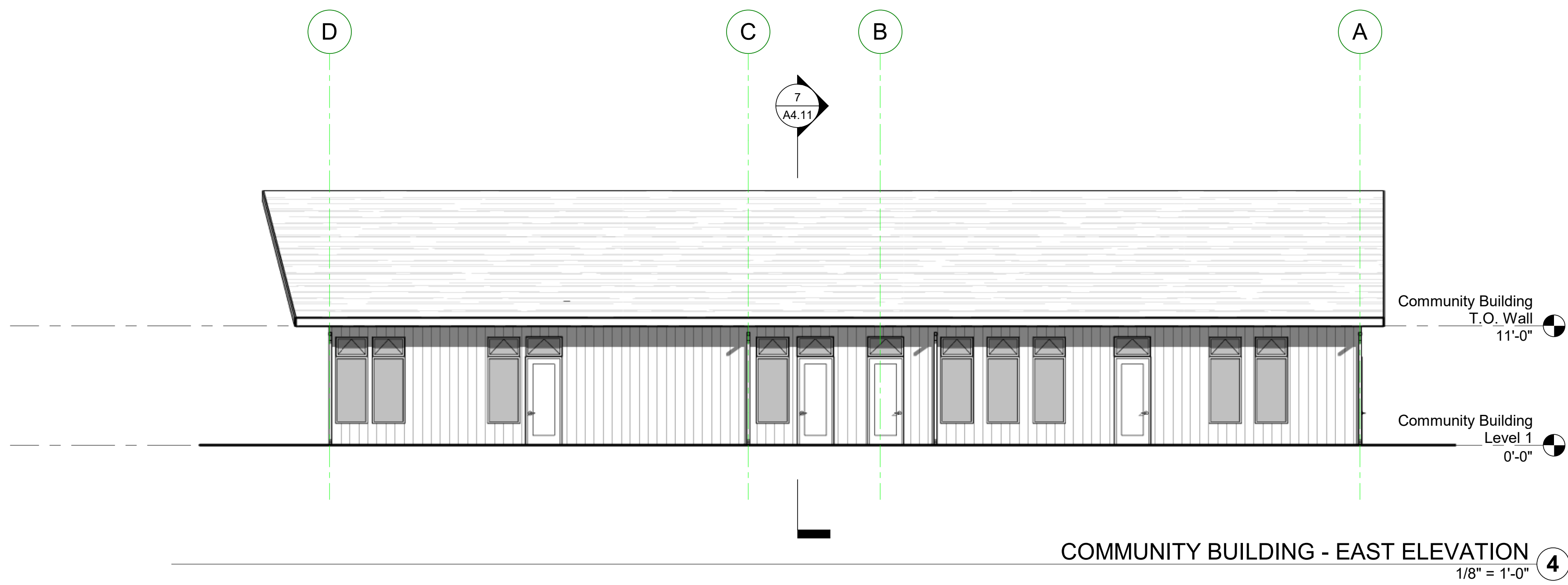
COMMUNITY BUILDING - SECTION 7  
1/8" = 1'-0"



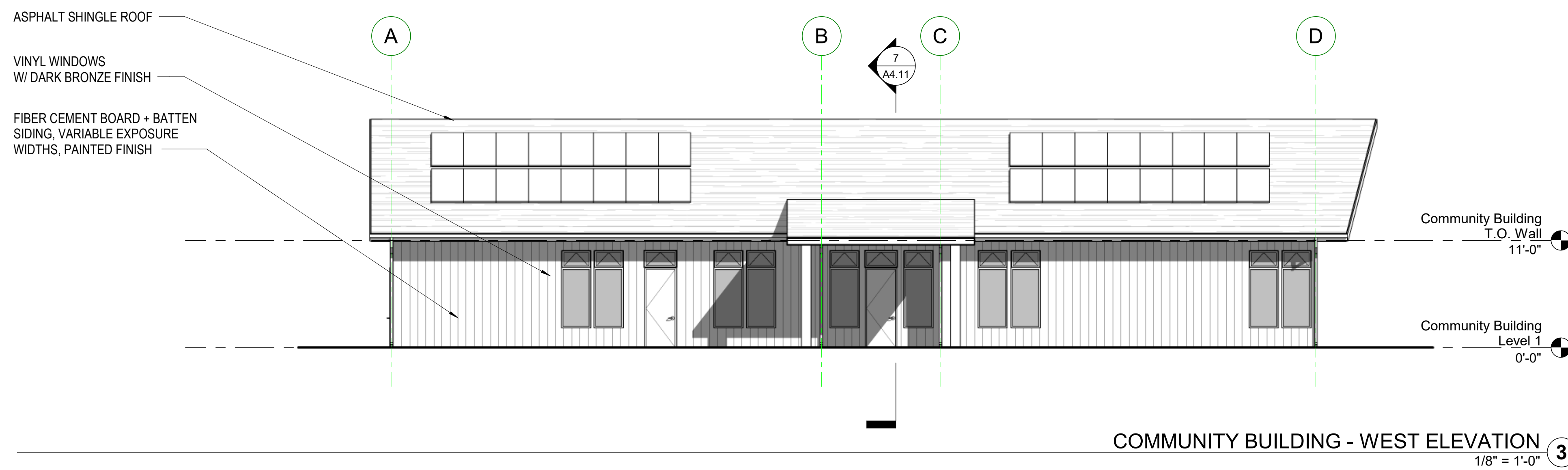
COMMUNITY BUILDING - SOUTH ELEVATION 6  
1/8" = 1'-0"



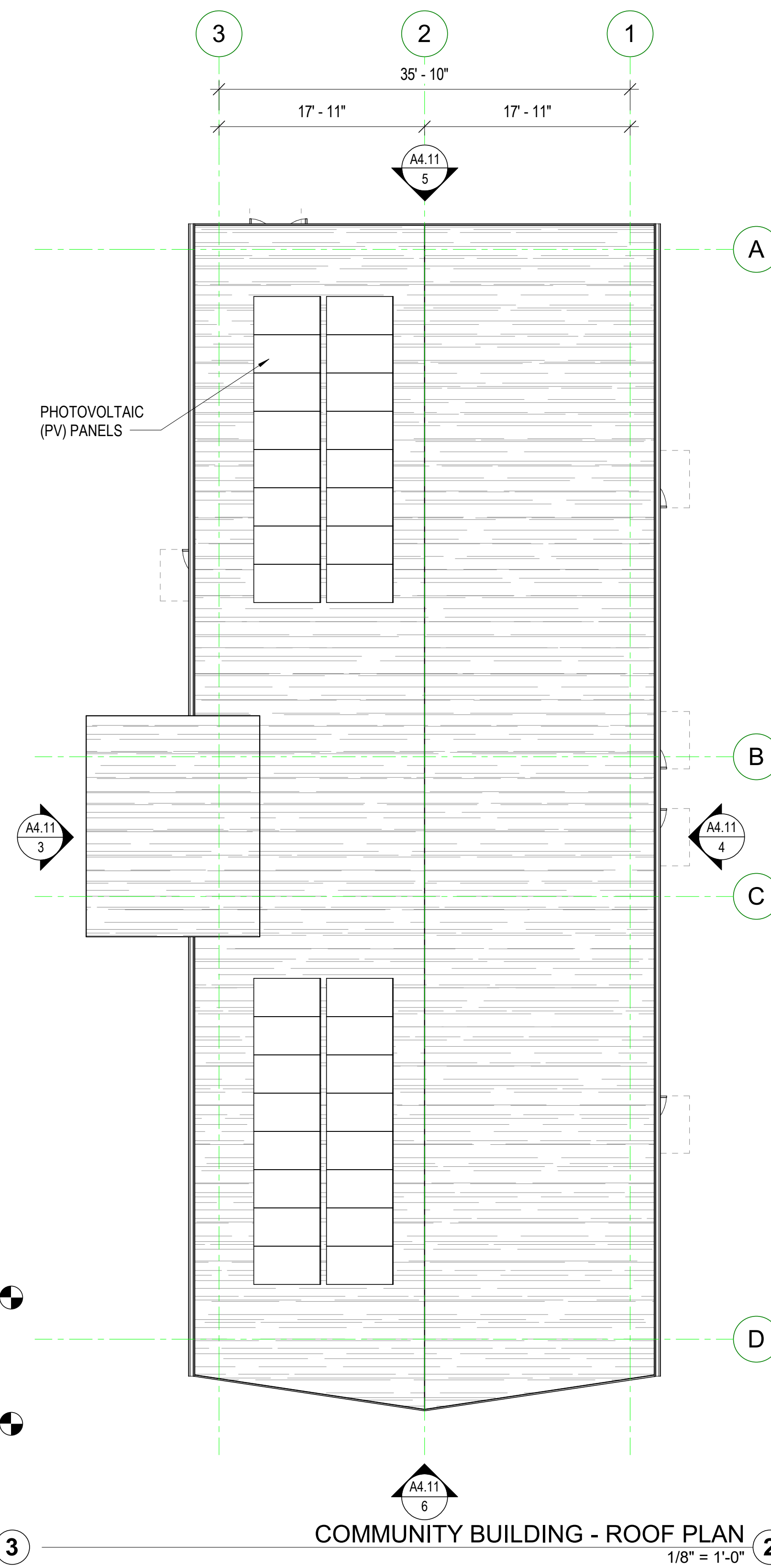
COMMUNITY BUILDING - NORTH ELEVATION 5  
1/8" = 1'-0"



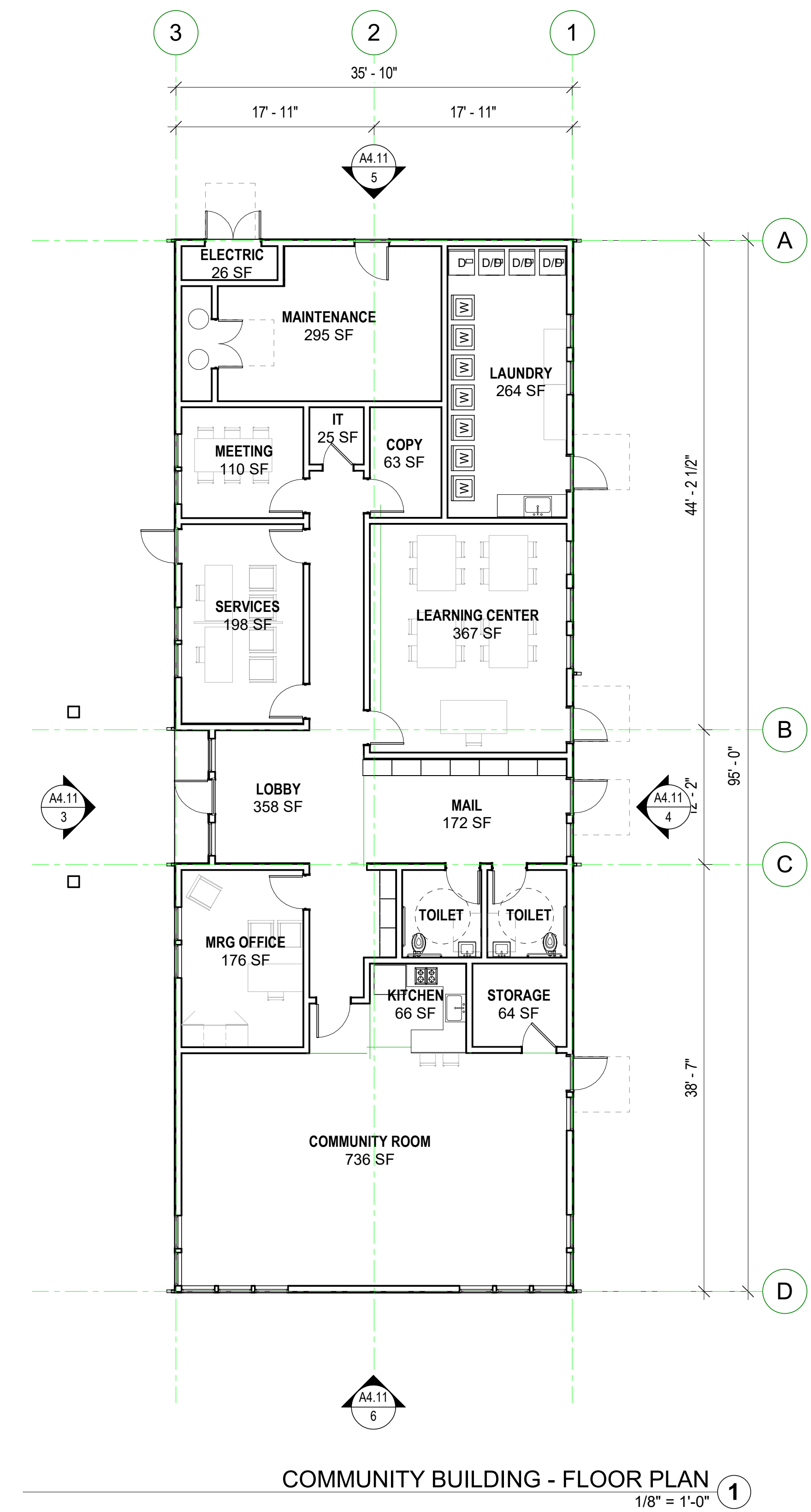
COMMUNITY BUILDING - EAST ELEVATION 4  
1/8" = 1'-0"



COMMUNITY BUILDING - WEST ELEVATION 3  
1/8" = 1'-0"



COMMUNITY BUILDING - ROOF PLAN 2  
1/8" = 1'-0"



COMMUNITY BUILDING - FLOOR PLAN 1  
1/8" = 1'-0"

ASPHALT SHINGLE ROOF  
VINYL WINDOWS  
W/ DARK BRONZE FINISH  
FIBER CEMENT BOARD - BATTEN  
SIDING, VARIABLE EXPOSURE  
WIDTHS, PAINTED FINISH



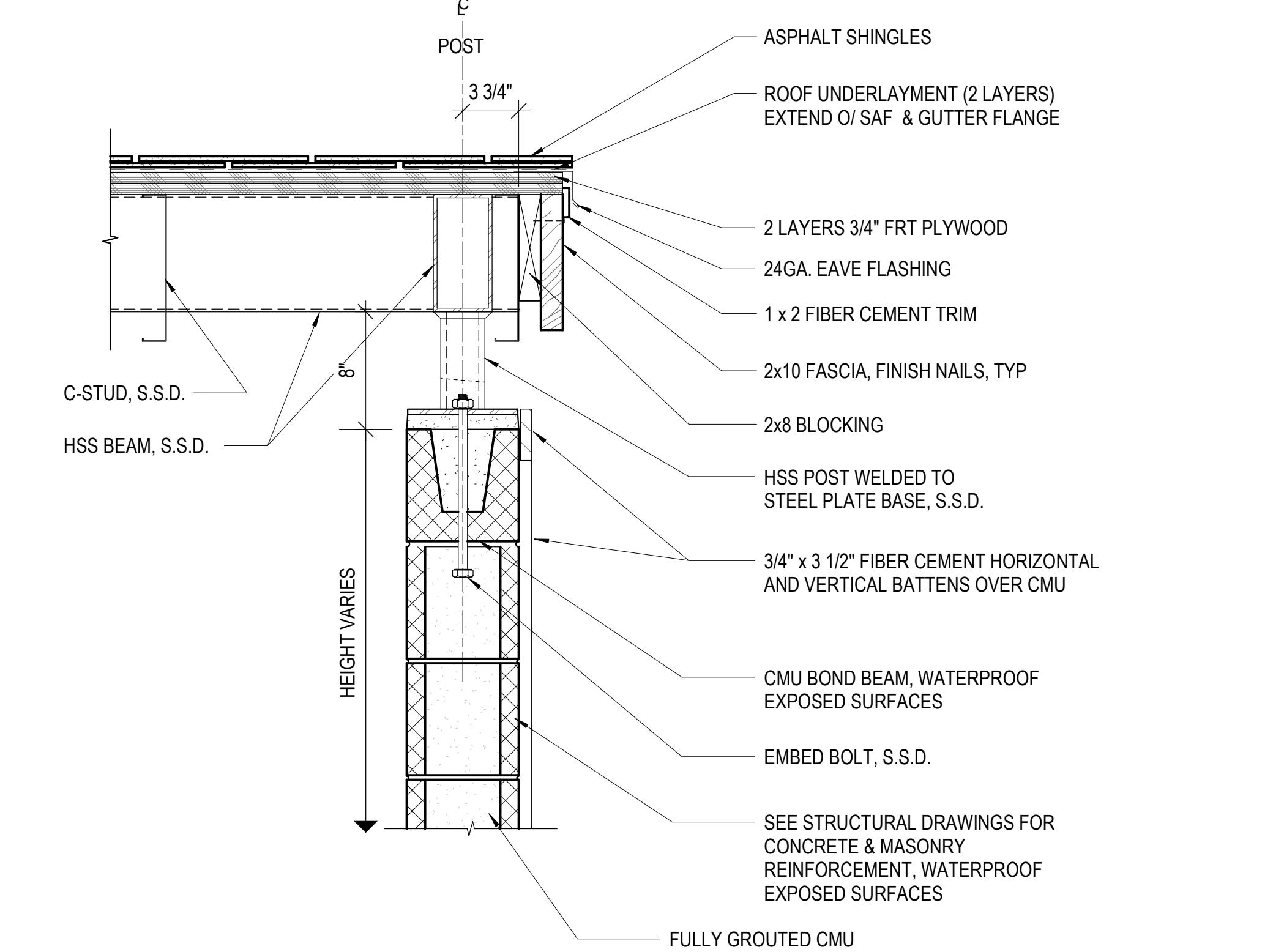
STAMP:

REVISION SCHEDULE		
NO.	ISSUE	DATE
1	Planning Resubmittal	03/25/19
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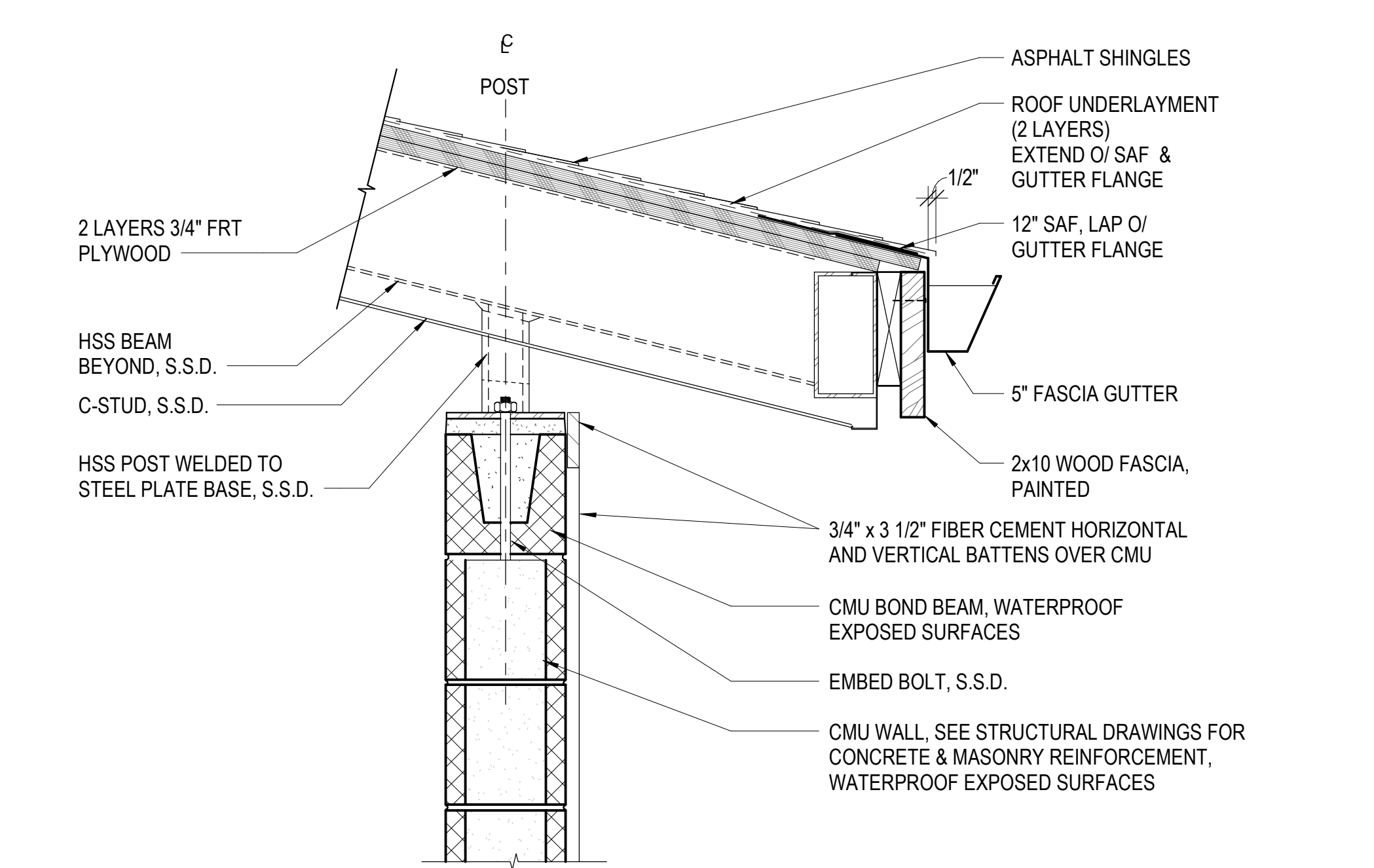
JOB NUMBER: 1603  
 DRAWN BY: GP  
 CHECKED BY: PW  
 DATE: June 24, 2022  
 SCALE: As Indicated  
 TITLE: BIKE STORAGE & WASTE ROOM DRAWINGS

SHEET:

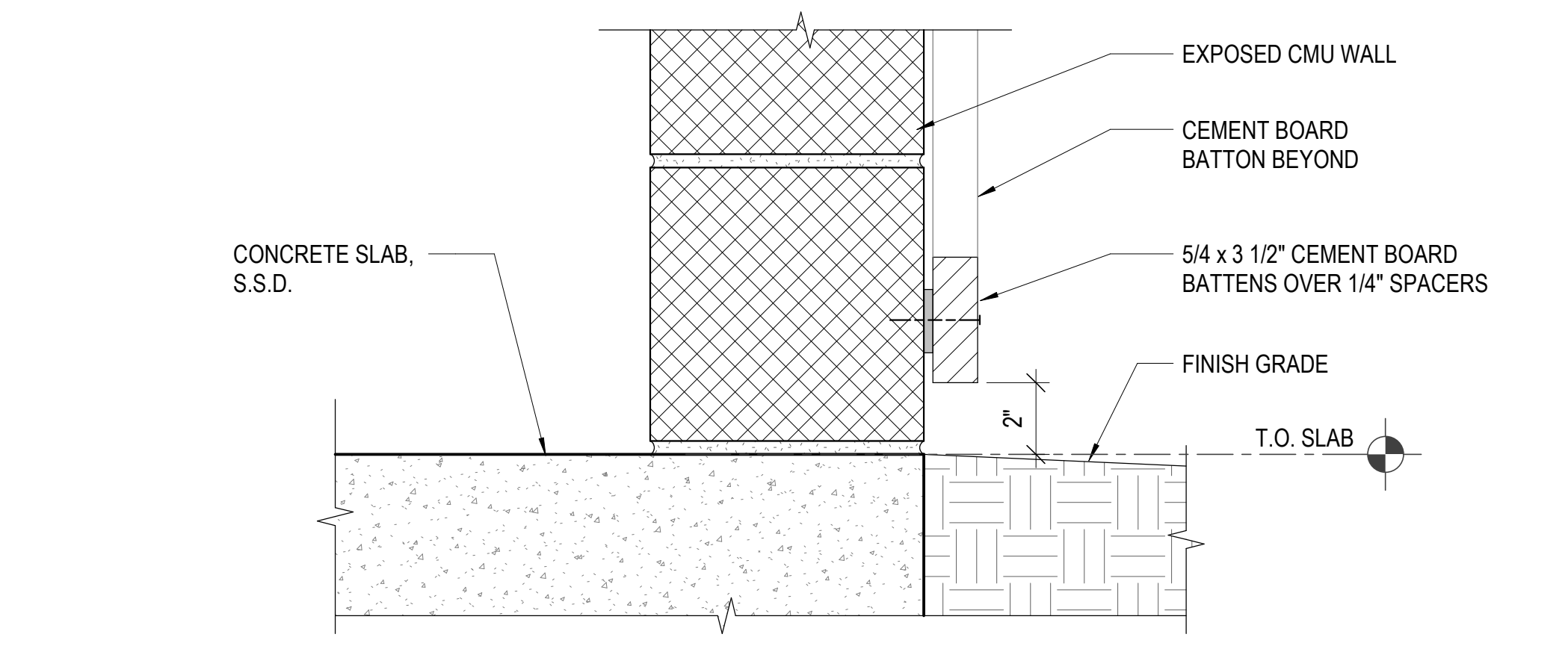
**A5.01**



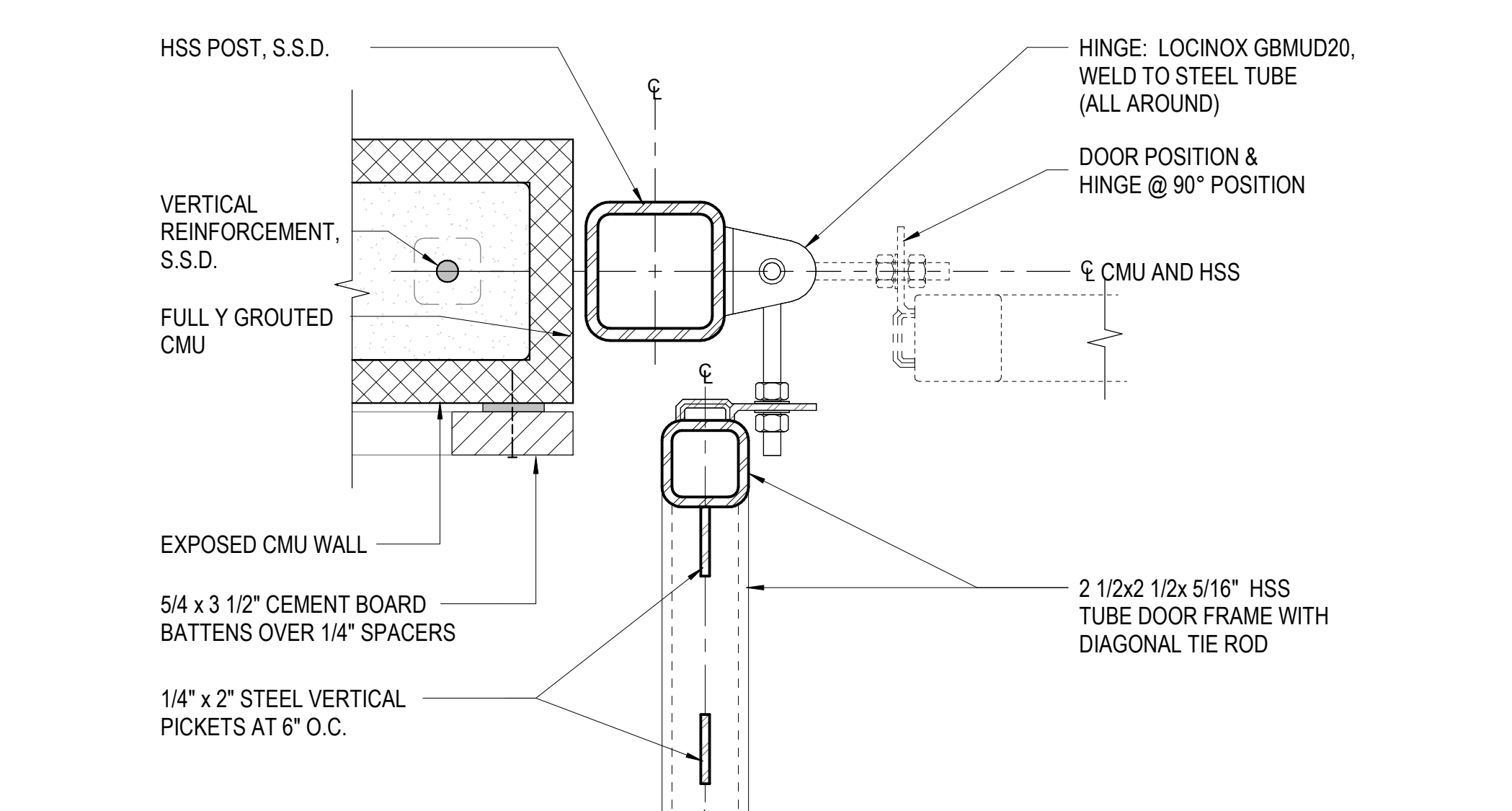
ROOF EDGE RAKE @ WASTE / BIKE STORAGE BUILDING  
 1 1/2" = 1'-0" 13



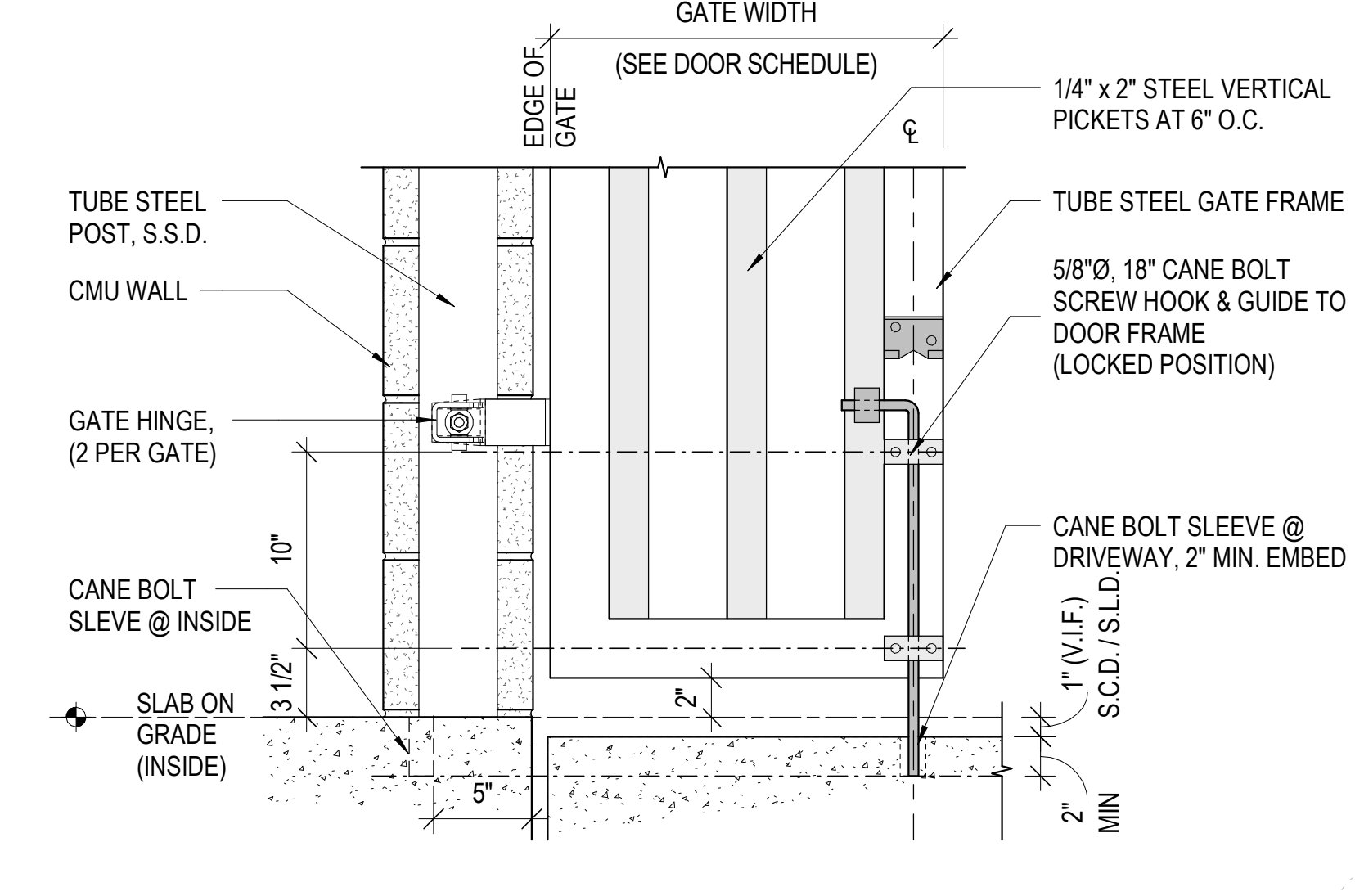
ROOF EAVE AT WASTE / BIKE STORAGE BUILDING  
 1 1/2" = 1'-0" 12



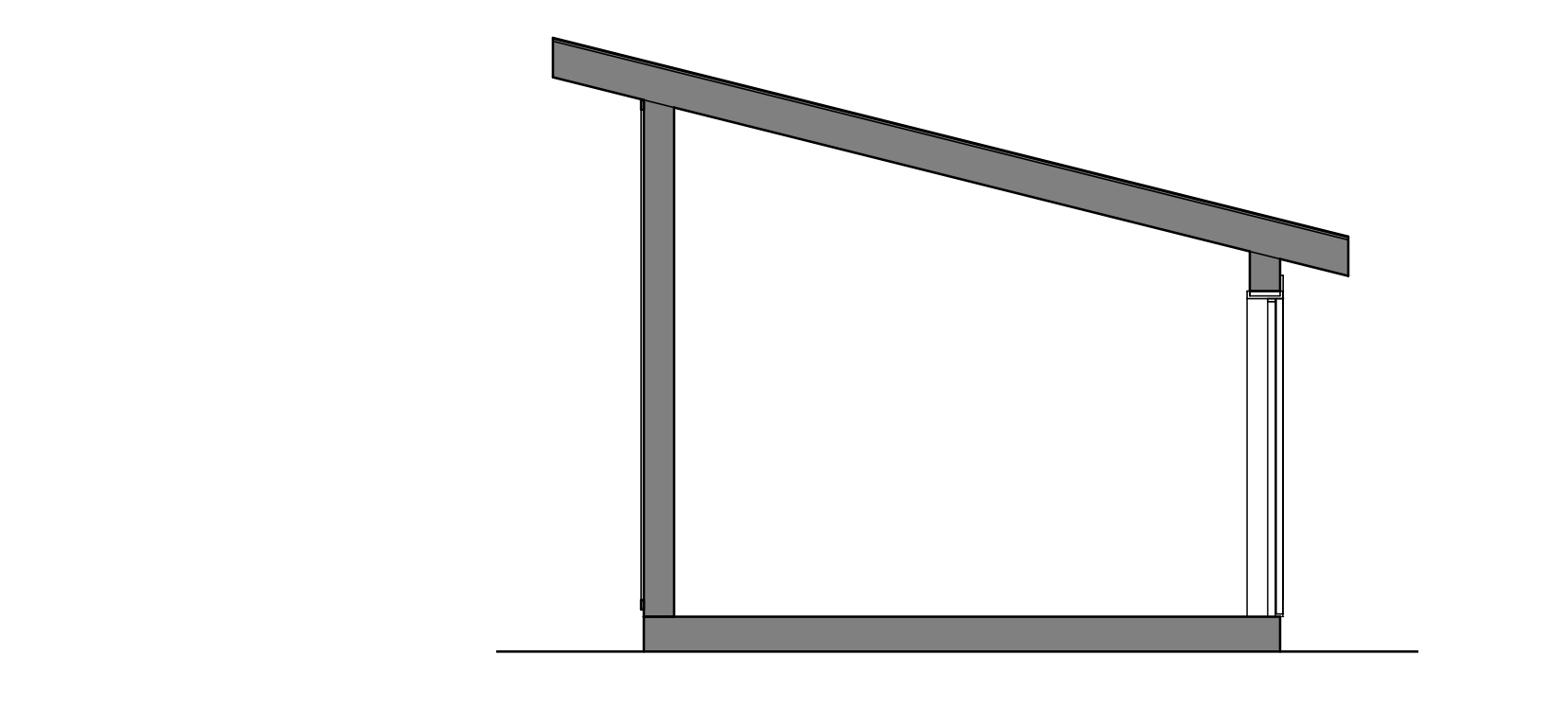
BASE OF WALL - BIKE & TRASH ENCLOSURE  
 3" = 1'-0" 11



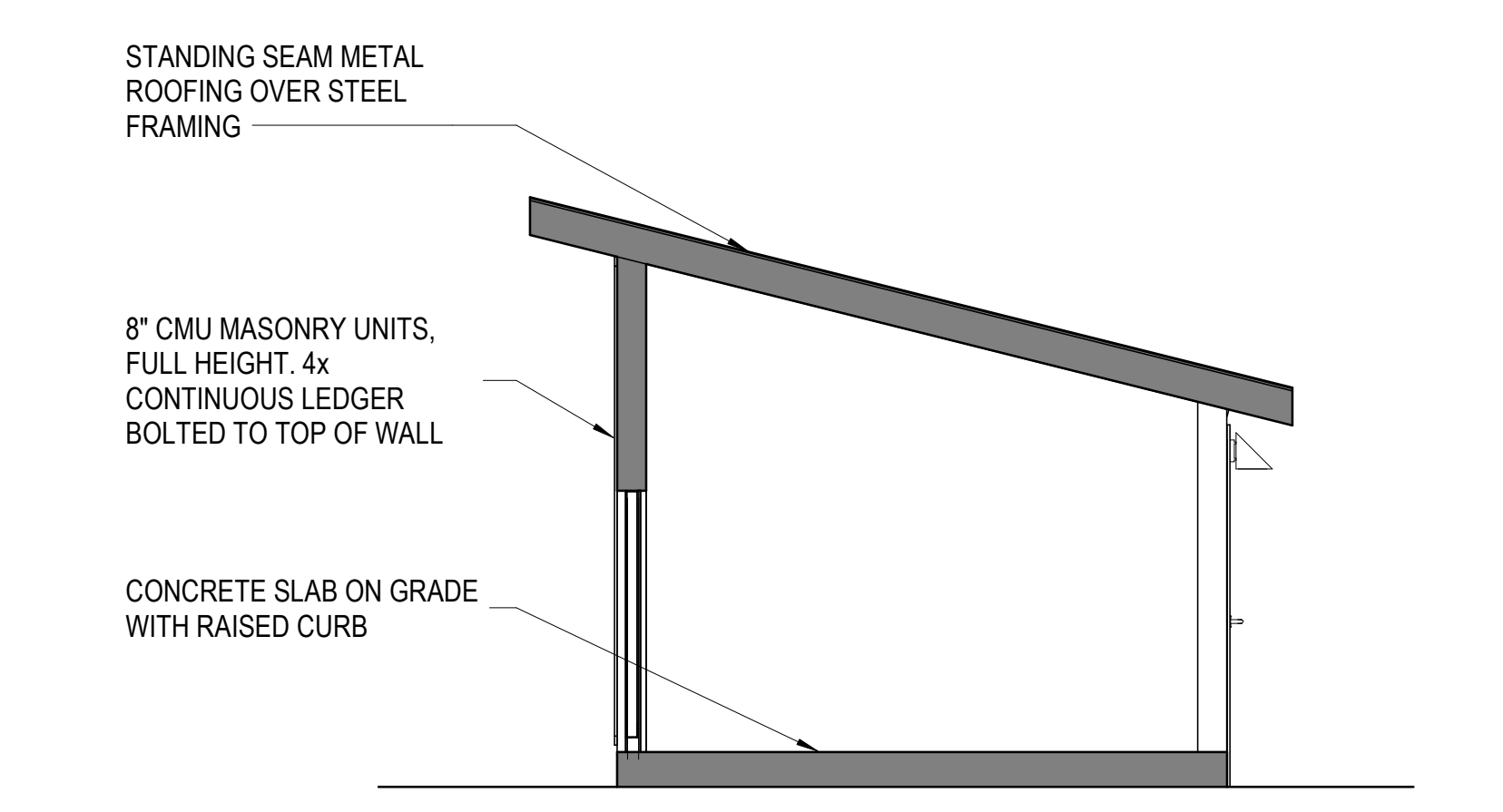
TRASH ENCLOSURE GATE JAMB  
 3" = 1'-0" 10



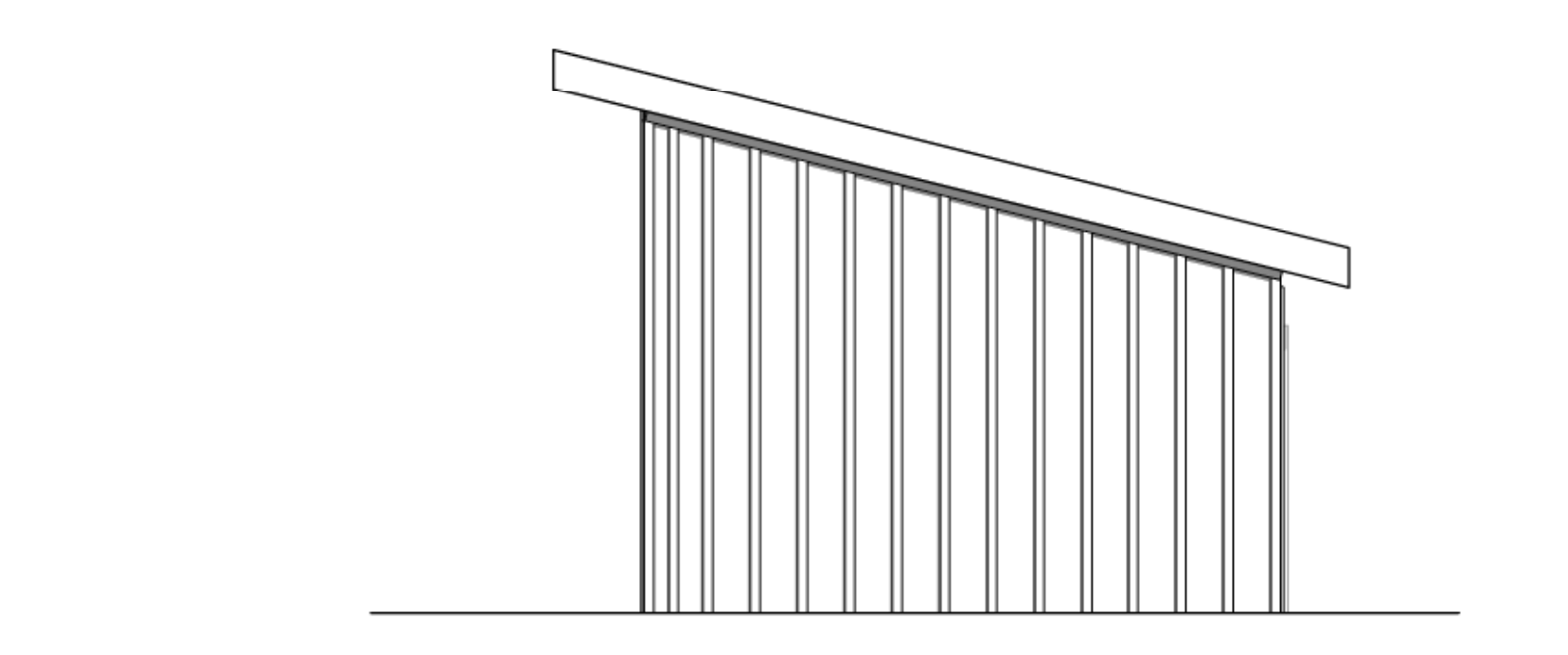
CANE BOLT (GATE AT OPEN POSITION)  
 1 1/2" = 1'-0" 9



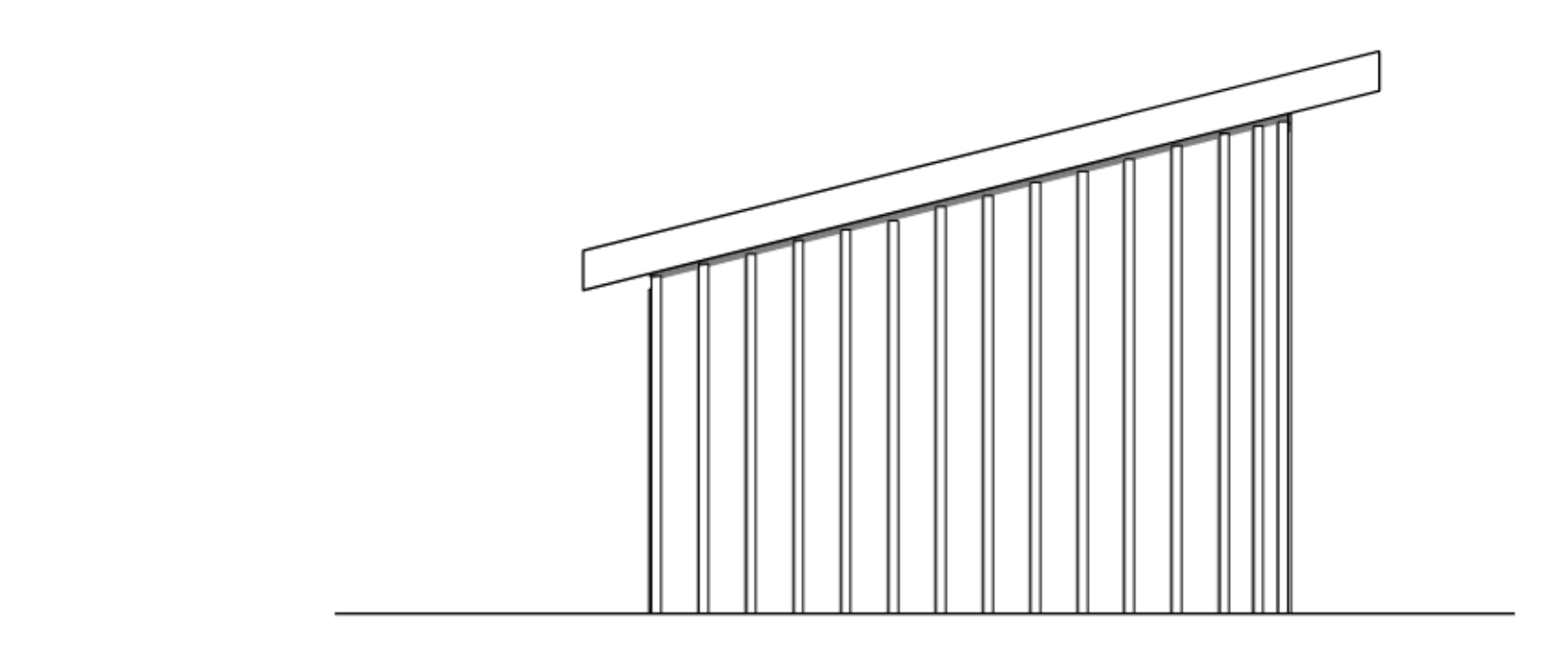
WASTE AND BIKE ENCLOSURE ELEVATION - SECTION 2  
 1/4" = 1'-0" 8



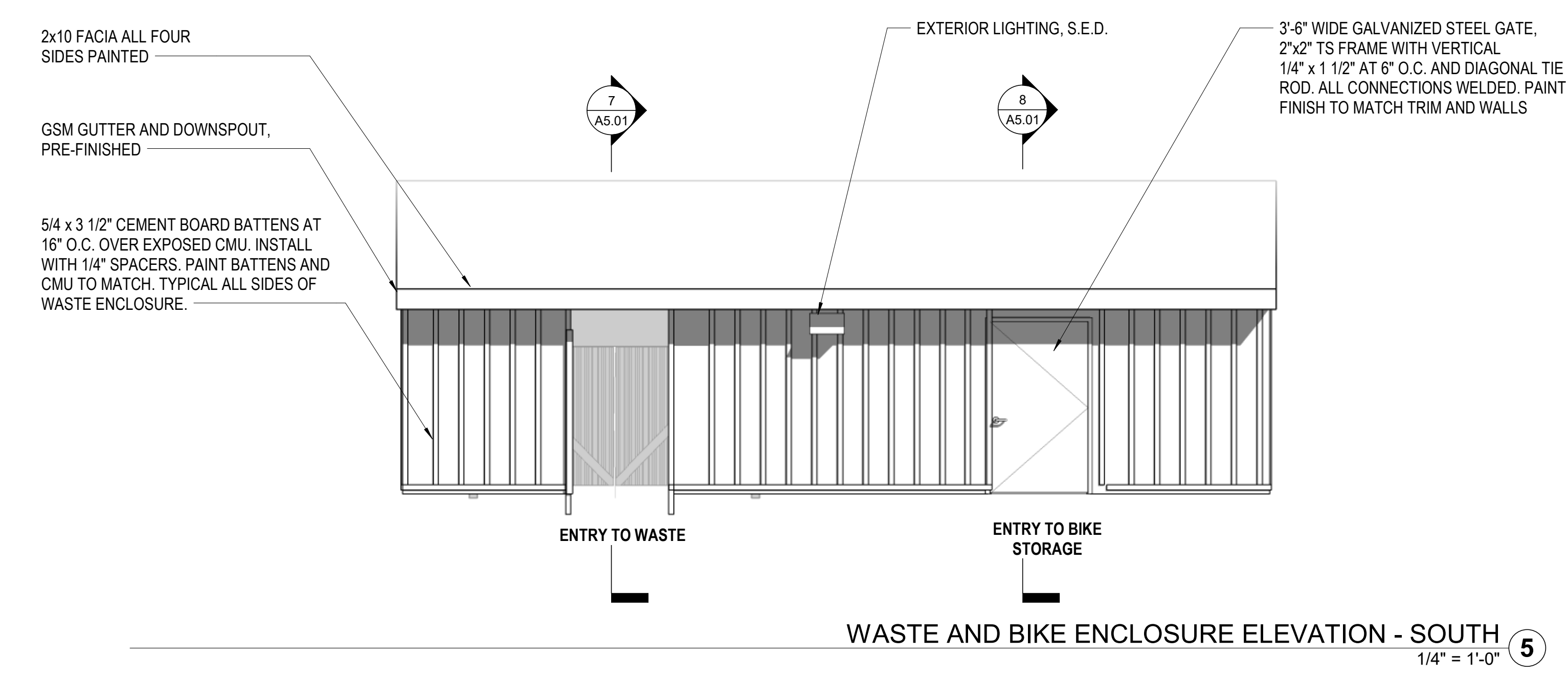
WASTE AND BIKE ENCLOSURE ELEVATION - SECTION 1  
 1/4" = 1'-0" 7



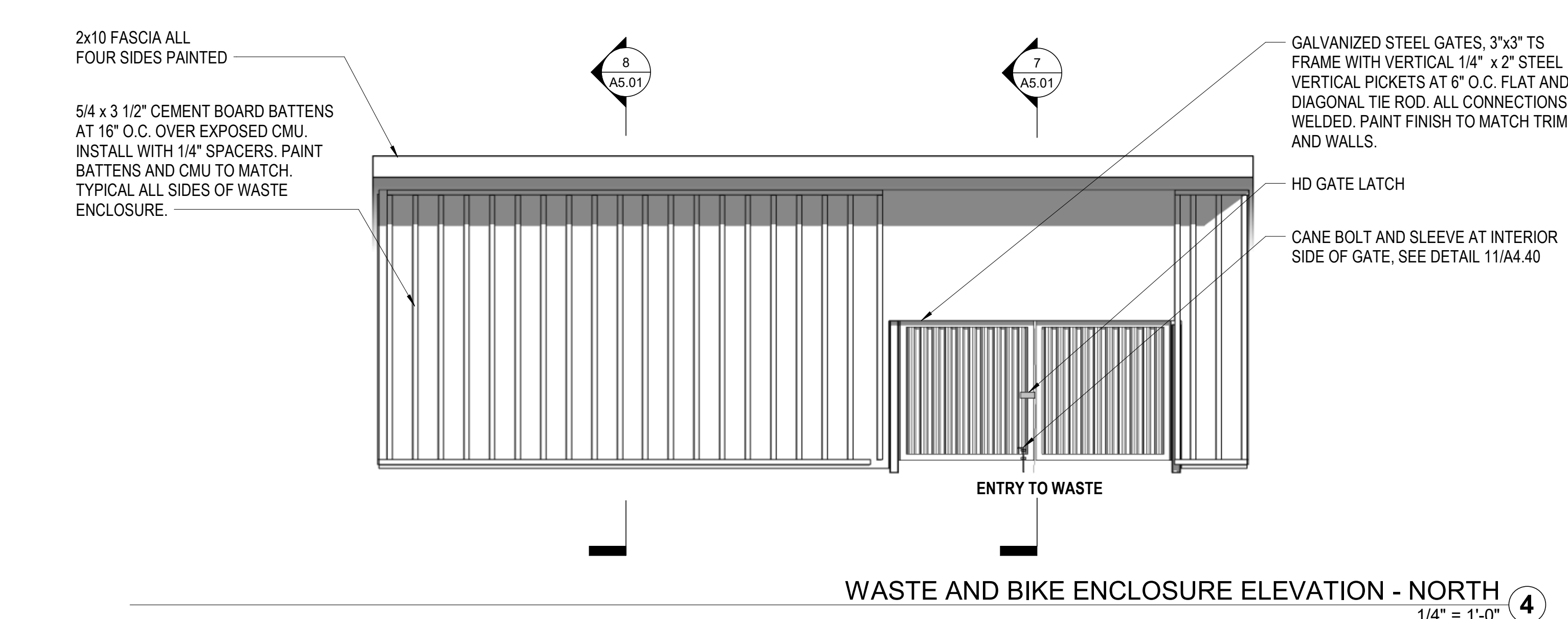
WASTE AND BIKE ENCLOSURE ELEVATION - WEST  
 1/4" = 1'-0" 6



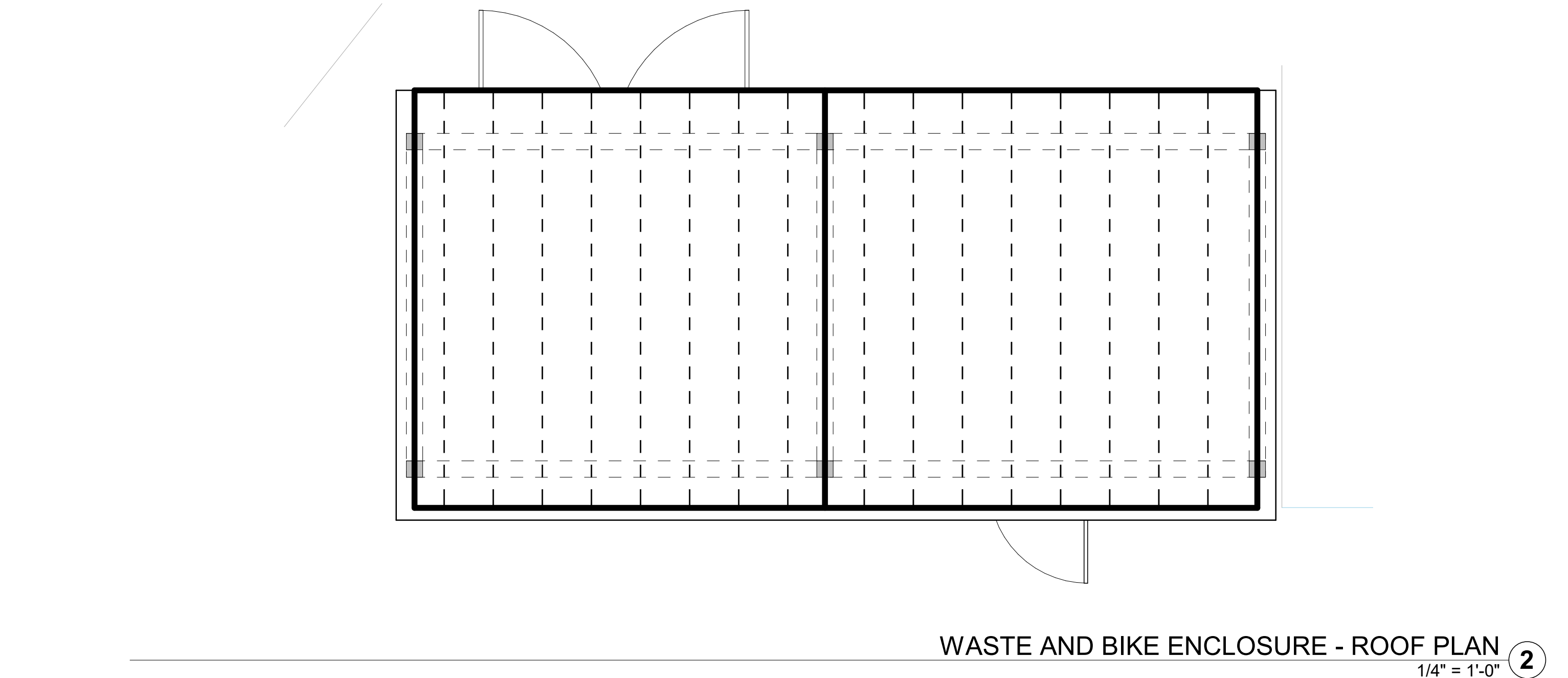
WASTE AND BIKE ENCLOSURE ELEVATION - EAST  
 1/4" = 1'-0" 3



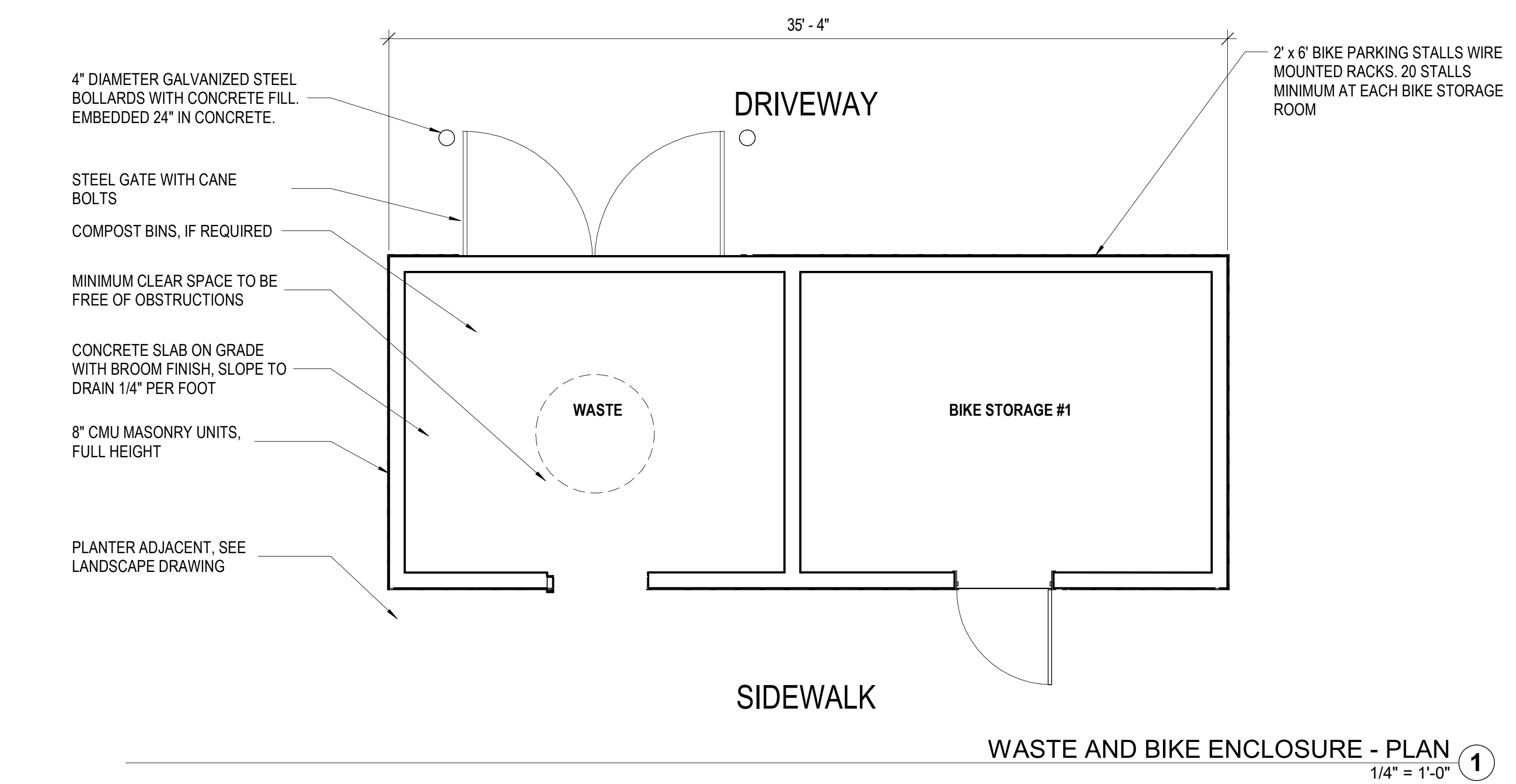
WASTE AND BIKE ENCLOSURE ELEVATION - SOUTH  
 1/4" = 1'-0" 5



WASTE AND BIKE ENCLOSURE ELEVATION - NORTH  
 1/4" = 1'-0" 4



WASTE AND BIKE ENCLOSURE - ROOF PLAN  
 1/4" = 1'-0" 2



WASTE AND BIKE ENCLOSURE - PLAN  
 1/4" = 1'-0" 1